

**4 OVAL ROAD, CAMDEN,
LONDON NW1 7EB**

Listed Building Consent application for concealed structural stabilisation works; replacement hall door; mechanical & electrical details inc. underfloor heating, radiator heating & ceiling lighting systems; replacement of part solid plasterwork to Bedroom 3; and new window shutter to Ensuite Shower-room – in connection with the previously-approved amalgamation of a flat and a maisonette to reinstate an original dwellinghouse (LBC Ref 2016/2071/L)

**Design & Access Statement
with Heritage Statement**

October 2016



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4 OVAL ROAD, CAMDEN, LONDON NW1 7EB

Further Listed Building Consent application for concealed structural stabilisation works; a replacement hall door; mechanical & electrical details inc. underfloor heating, radiator heating & ceiling lighting systems; replacement of a section of plasterwork in Bedroom 3; and a new window shutter to an Ensuite Shower-room – all relating to the previously-approved amalgamation of a flat and a maisonette to reinstate an original dwellinghouse (LBC Ref 2016/2071/L)

Design & Access Statement incorporating Heritage Statement

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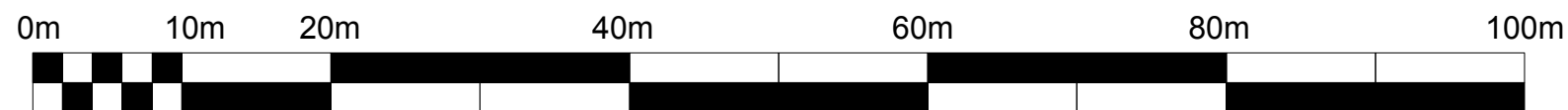
Appendix A – Selected Proposed Drawings - CH

1.0 Introduction

- 1.1 The owners of 4 Oval Road, James Marshall and Sharon Tan, have asked planning consultants Alistair Grills Associates (AGA) to assist their designers, Callender Howorth (CH) with the submission of a further Listed Building Consent application to London Borough of Camden (LBC) in respect of additional works to their 5 storey former dwellinghouse in Primrose Hill, previously split into a 3 bedroom maisonette and a 1 bedroom lower ground floor flat. No4, and its neighbours in the 5 house terrace, are listed Grade II for Group Value on Historic England's Statutory Register and all lie within the Primrose Hill Conservation Area.
- 1.2 In summary, the owners recently gained Full Planning and LBC approval for the amalgamation of the maisonette and flat in order to reinstate the original dwellinghouse; as well as internal & external alterations and a new glazed rear extension. On further inspection, however, it is clear the building requires urgent stabilisation involving additional structural works. In addition, CH has produced details of a replacement hall door requested by Building Control for Fire Regulation reasons; plus details of the proposed mechanical & electrical systems including underfloor heating; radiator heating & ceiling lighting.
- 1.3 This Design & Access Statement with Heritage Statement briefly describes the existing building; establishes an up-to-date planning history & LBC policy context; describes the further proposals; and assesses their impact on the affected heritage assets (the listed building and the Conservation Area); and access. The Statement concludes with an overall assessment of the proposals in terms of prevailing listed building policy and a set of conclusions & recommendations.



1 **SITE BLOCK PLAN**
Scale: 1:500



ISSUE: - DATE: March 2016 COMMENT: Issue for Planning & Listed Building Consent

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com
Job no.	Job title			
1198	4 OVAL ROAD			
Drawing no.	Drawing title			
711	BLOCK PLAN			
Scale	Size	Drawn	Revision	
1:500	A3	ML	-	

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers' recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.

2.0 Description of Existing and Previously-Approved Works

- 2.1 4 Oval Road is a 5 storey brick and stucco, terraced former single family dwellinghouse dating from c1835 on an attractive, tree-lined road in Primrose Hill (see Location Map & Block Plan over and reduced CH drawings & photographs in Appendices).. During the early 1970s, LBC granted approval (LBC App No 8152/R) for the sub-division of the property into a 3 bedroom maisonette (ground, first & second floor levels) and a one bedroom self-contained flat at lower ground floor level. A further approval (LBC App No PL/8401390) allowed the addition of a part-third floor with balcony to the maisonette at former roof level to provide a further bedroom. However, on 30.6.16, LBC granted Full Planning & LBC approval for the amalgamation, alteration and extension of the units and the strip out associated with the approved works is well underway.
- 2.2 The maisonette previously provided 154.27 sqm of accommodation (inc. vaults) and comprised a large Living/Reception Room and Kitchen in the main body of the house at ground level, with a Utility Room and Cloakroom in the traditional return. A balcony between the rear returns led down to a small courtyard garden. At first floor level, the simple rectangular floor plan of the main section of the house still has a large Reception Room overlooking the Street and a Study/Drawing Room to the rear. At second floor level there were 2 Bedrooms arranged around a central Family Bathroom. Finally, at third floor level, there was a further Bedroom with Dressing Room and Bathroom. As to the former self-contained 67.82 sqm lower ground floor flat, the main section contained a rear-facing Living Room with front facing Kitchen & Bedroom arranged around a central lobbied Bathroom. A Study was located within the rear return with direct access to the rear courtyard garden. Access to the flat was gained down a flight of stone steps from the street and 3 vaulted cellars are situated under the pavement off the resulting lightwell.
- 2.3 As previously advised, the terrace of dwellinghouses was added to English Heritage's Statutory Register with a Grade II Group Value listing in 1974, with the architectural style owing much to the late Georgian period, although it was most likely built during the reign of William IV. Although several of the properties in the terrace were sub-divided in the early 1970s, and No4 had a roof extension with terrace and No6 a roof terrace in the 1980s, little appears changed on the street frontage as, fortunately, the third floor extensions are located to the rear of the properties and the roof terraces are well-screened behind the high parapet. At the rear, however, the new third floor accommodation is conspicuous, with the original brick-gabled ends to several properties now built up to either side to form a full height third floor wall (see CH elevations & photographs). At lower levels, external changes were modest; comprising the infilling of a window in the end of the rear return at lower ground level and the replacement of a window with a door in the side of the return at ground floor level in order to access the rear balcony and steps constructed during the 1970s.

- 2.4 Internally, changes were more substantial, with the Seventies' conversion inevitably resulting in the opening up of several rooms and the sub-division of others to provide the required number of rooms & ancillary facilities for the separate maisonette and flat. Both the lower ground floor flat and the second floor of the maisonette had central bathrooms inserted into the more traditional plan forms. Several original fireplaces (and a number of later replacements) still remain within the building, as do nearly all of the chimney breasts, although they are no longer in use. The top section of the rear chimney breast appears to have been removed at second floor level to make way for the third floor extension. Original cornicing had been retained in several principal rooms, although bathrooms, ducts and storage cupboards had carved into this plasterwork in certain areas. Floor boards appeared to have been largely removed and replaced throughout the property in the 1970s and the former stair flight connecting ground floor and lower ground floor had disappeared completely.
- 2.5 The current owners gained approval for the amalgamation of the maisonette and flat in order to reinstate the original dwellinghouse; as well as undertaking works of repair and sympathetic alteration to meet the needs of a modern family (see CH's Approved Drawings). In so doing, they were well aware that any proposals had to be respectful of the remnants of the original layout and the remaining historic fabric within the greatly-altered listed building. Permission was also granted for the removal of the 1970s balcony, steps & lobby to the rear; the removal of sections of brickwork to the side of the rear return at lower ground floor level; and the introduction of a minimalist glass extension spanning between the rear returns - set back from their rear building line. Other changes to the external appearance of the building were minimal
- 2.6 Internally, the stair linking lower ground floor and ground floor was to be reinstated in its original location and many of the walls introduced during the 1970s removed. There would be minimal impact on the general layout and historic fabric throughout the rest of the house.
- 2.7 In essence, the proposals sought to remove much of the clutter resulting from the Seventies conversions to two units and to this end, the following changes were approved:
- Demolition of the 1970s rear ground floor level balcony with stair and lower ground floor lobby below; and removal of lean-to greenhouse;
 - Demolition of a section of brickwork and relocation of a window at lower ground floor level only to provide a door size opening;
 - Replacement of a later timber framed glazed door and panels at lower ground floor level to the front lightwell;
 - Replacement of existing open trellis on top of boundary wall to rear with close-boarded horizontal timber boards with natural finish to same height;

- Re-use and re-introduction of timber sash windows to the rear and side elevations of the rear return;
- Replacement of a door at ground floor level to the side of the return (formerly accessing the balcony) with a timber sash window to match existing;
- Introduction of a minimalist contemporary glass structure with Priva-Lite electrochromic glass spanning between the rear returns, set back from the rear building line; and linking into the lower ground level of the return to provide a Living Room;
- Conversion of lower ground floor vaults to front of property to accommodate ancillary uses, with the floor level of one vault lowered slightly;
- Removal of all 1970s walls at lower ground floor level within the main body of the house, including the former central Bathroom, to provide an open Kitchen and Dining Room;
- Removal of all later floor boarding throughout the house and replacement with more appropriate boarding;
- Replacement of existing screed floor to lower ground floor and replacement with new concrete floor with wet underfloor heating system;
- Re-painting of front door in black to match No2;
- Reinstatement of part of the original walls sub-dividing the Drawing Room and the Piano Room and the Entrance Hall and the Drawing Room at ground floor level;
- Reinstatement of original historic opening at end of Entrance Hall;
- Conversion of former Study at first floor level into a Master Ensuite and Dressing Area, with relocation of non-original fireplace surround to second floor Bedroom; and restoration of original cornice and lathe & plaster ceiling, retention & stopping up of door to Hallway and reversal of double doors to Master Bedroom;
- Minimal alterations at second floor level to include new bathroom furniture and cupboard to Bedroom 3;
- Existing patio windows, doors & patio tiles to 1970s third floor level to be replaced in similar fashion;
- Existing UPVC windows within dormers serving rear rooms at third floor level to be replaced with timber frame windows; and
- Internal stair enclosure accessing Summer Room at third floor level to be replaced by glass balustrade.

2.8 With regard to floor area, the approved replacement of the lobby below the former rear balcony and its replacement with a glass conservatory resulted in an increase in the Gross Internal Area (GIA) for the reinstated dwellinghouse of 6.46sqm at lower ground floor level, taking the total GIA for the amalgamated dwelling to 228.55 sqm.

2.9 Callender Howorth's approach to the interior decoration, which was partly stripped out in the early 1970s, is to take the remaining plasterwork and woodwork as a guide to the re-creation of the interior that would have existed when the dwelling was built in 1835, during the transitional late Georgian-early Victorian period. Existing plasterwork and woodwork, including cornices and internal doors, will be repaired and reinstated in like fashion and, where none remains, will be re-created to a similar design. This will include window shutters; plaster cornices, timber architraves, skirting boards and internal doors. Where exposed wooden floors are to be used, new timber floor boards of a size sympathetic to the period of the property have be specified. Existing original fireplaces will be restored. A few pieces of historic ironmongery, including sash window fasteners, still exist and, where possible, these will be reused. Any new ironmongery and electrical hardware will be sympathetic to the overall design language of the house.

3.0 Planning History

- 3.1 LBC's planning archive reveals a number of relevant applications for 4 Oval Road and these are arranged chronologically below, starting with the earliest:

LBC App No HB/8470231

The erection of a roof extension to provide additional residential accommodation,
Conditional LBC approval granted 29.10.84

LBC App No PL/8401390

The erection of a roof extension to provide additional residential accommodation,
Conditional Planning approval granted 29.10.84

LBC App No 9746

The construction of a glazed staircase enclosure at roof level
Approved 7.1.71

LBC App No 9179

The conversion of 4 Oval Road, NW1 to provide a self-contained flat on the basement floor and a maisonette on the upper floors
Conditional Planning Approval granted 13.8.70

LBC App No 8152/R

The conversion of 4 Oval Road, NW1 to provide a self-contained flat on the basement floor and a maisonette on the upper floors with timber stairs at the rear from the ground floor to the garden
Approved 18.3.70

LBC App No 2016/1406/F

The amalgamation of 2 residential units into a single family dwellinghouse and erection of glazed, single storey extension to rear, lower ground floor level and associated external works.
Approved 30.6.16

LBC App No 2016/2071/L

Erection of glazed, single storey extension to rear, lower ground floor level. Amalgamation of 2 residential units into a single family dwellinghouse and associated internal and external works.
Approved 30.6.16

3.2 A search of LBC's planning archive for recent works to other properties in the 5 dwelling terrace reveals the following entries:

2 Oval Road - LBC App No 2013/3788/P

Alteration to opening on rear elevation of single dwelling house (Class C3)

Planning permission granted 8.8.13

2 Oval Road - LBC App No 2013/2259/L

Alteration to opening on rear elevation of single dwelling house (Class C3)

Listed Building Consent granted 9.8.13

2 Oval Road - LBC App No 2013/2256/L

Internal alterations to partitions and external alterations to include painted walls to single dwelling house (Class C3)

Listed Building Consent granted 9.8.13

6 Oval Road - LBC App No 8802450

Erection of a two storey rear conservatory at lower ground and ground floor levels the erection of an additional storey at roof level and the change of use of the premises into two self-contained maisonettes

Conditional Planning Approval granted 13.7.89

6 Oval Road - LBC App No 8870370

Erection of a two storey rear conservatory at lower ground and ground floor levels the erection of an additional storey at roof level and the change of use of the premises into two self-contained maisonettes

Listed Building Consent granted 13.7.89

8 Oval Road - LBC App No 8670444

Works of conversion to form one self-contained flat at basement-level and external alterations to the front basement elevation

Listed Building Consent granted 2.3.87

8 Oval Road - LBC App No 8602126

Change of use including works of conversion to form one self-contained flat at basement-level and a self-contained maisonette above and external alterations at basement level

Conditional Planning Approval granted 21.1.87

3.3 Further detailed consideration of these entries and their relevance to the works now proposed can be found in the Heritage Statement within Section 6.0 of this report.

4.0 Description of Proposed Works

4.1 The further works now proposed are illustrated in CH's and CWPM's drawings and described in CWPM's Structural Report & Structural Calculations accompanying the application. In essence, they constitute a variation to the previous Listed Building Consent approval Ref 2016/2071/L and comprise structural works necessary to stabilise the property, (following evaluation of further problems exposed after initial strip out); the replacement of a hall door to ensure fire safety; clarification of the applicants' heating and lighting preferences; and the need for a privacy shutter to the new Ensuite Bathroom at first floor level. The impact of these further changes on the Grade II listed building is examined in Section 6.0 of this Statement.

4.2 In detail, the further changes comprise:

- The introduction/replacement of concealed steel beams and steel posts at lower ground floor/ground floor level in order to stabilise and brace the building structure. It is probable that the addition of the third storey in the 1980s has resulted in excessive loading of the central spine wall within the main body of the house; which is now sagging and causing distortion of the adjacent staircase and ground & first floor structure.
- The removal of the 1970s central bathroom at lower ground floor level and a number of concrete beams in the ceiling void requires the strengthening of the floor structure within this void by bolting 2No steel channels to the web of the existing beam and adding an end plate to allow its connection to a new section of steel beam to span the space.
- The insertion of two pins at the top of the front façade as this top section is bowing out and in danger of further movement and potential failure. The proposed pins will be completely inconspicuous in views of the front façade as they are buried in the structure.
- The replacement of an existing, but later, hinged cupboard door in the hallway with a sliding door, following the reinstatement of the stair linking ground and lower ground floors in its original location, in order to satisfy current Fire Regulation requirements
- The insertion of electric "Sticky Mat" underfloor heating to limited areas within bathrooms/shower-rooms on the ground, first, second & third floors (Note: a traditional water based underfloor heating system has already been approved for the lower ground floor).
- The installation/relocation of several radiators to optimise room layout and improve efficiency.

- The installation of a new lighting system throughout the property, with speakers in the new lower ground floor ceiling only
- The replacement of a section of plasterwork on the inside of the external wall to Bedroom 3 at second floor level, as water penetration from a leak in the roof terrace immediately above has caused it to come away from the wall.
- The addition of a traditional, split screen timber shutter to the window in the first floor Ensuite Shower-room for privacy reasons.

5.0 Planning Policy Framework

5.1 Overarching planning policy in respect of the alteration of listed buildings located within Conservation Areas derives from central government in the form of the National Planning Policy Framework. These policies have been incorporated in both the GLA's regional policy framework – the London Plan; and LB Camden's (LBC's) recently adopted Local Development Framework. Together, these documents form the development plan for the further proposed works at 4 Oval Road.

National Planning Policy

5.2 National planning guidance is prepared by Central Government and is set out in the *National Planning Policy Framework (NPPF)* adopted in March 2012.

5.3 At its core, the NPPF establishes a presumption in favour of sustainable development, noting that development that is sustainable should be allowed to go ahead without delay (paragraph 14). Paragraph 8 states "in order to achieve sustainable development, economic, social & environmental gain should be sought jointly and simultaneously through the planning system".

5.4 The NPPF explains that "sustainable development" meets the needs of the present without compromising the ability of future generations to meet their own needs and adopts the five guiding principles of sustainable development set out in the UK Sustainable Development Strategy.

5.5 In addition, good design is identified as a key aspect of sustainable development (NPPF paragraph 56).

5.6 New development should also be integrated into the existing natural, built and historic environment (NPPF paragraph 61).

5.7 Regarding the conservation and enhancement of the historic environment, the NPPF includes policies which used to be covered by PPS5 – Planning for the Historic Environment. Paragraph 126 advises that LPAs should take into account the desirability of sustaining and enhancing the significance of heritage assets.

5.8 NPPF paragraph 128 advises LPAs that, when determining applications, they should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. However, the level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum, the NPPF indicates that the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Paragraph 129

requires LPAs to take such assessments into account when determining applications.

- 5.9 Finally, NPPF Paragraph 132 states that, when considering the impact of the proposed development on the significance of a designated heritage asset, great weight should be given to the asset's contribution to the context area.

Regional Planning Policy

- 5.10 Turning to the GLA's regional London Plan, the Mayor of London published his Further Alterations to the London Plan (FALP) in March 2015.
- 5.11 As 4 Oval Road is a listed building within a Conservation Area, Policy 7.8 Heritage Assets and Archaeology is highly relevant. Part A states that London's heritage assets and historic environment, including, *inter alia*, listed buildings and conservation areas, should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account. Parts B, C & D of Policy 7.8 add the following requirements:

Strategic

B. Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site's archaeology.

Planning decisions

C. Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

D. Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

Local Planning Policy

- 5.12 LB Camden has adopted a number of planning documents that, alongside the Mayor's London Plan, form the 'development plan' for the Borough – the starting point for Listed Building Consent decisions. With regard to 4 Oval Road, these comprise:

- The Core Strategy Document (CS) - November 2010
- The Development Policy Document (DPD) - November 2010
- Camden Planning Guidance (CPG)
- The Primrose Hill Conservation Area Statement (PHCAS)

LBC Core Strategy

- 5.13 The LBC Core Strategy is the principal document in the Local Development Framework and provides the vision, objectives and spatial policies to guide development in the Borough up to 2025.
- 5.14 Core Strategy Policy CS14 - Promoting high quality places and conserving our heritage states that:

The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by, [inter alia]:

- a) requiring development of the highest standard of design that respects local context and character;*
- b) preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;*
- d) seeking the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible;*

LBC Development Management Document

- 5.15 LBC's Development Management Document 2010-2025 contributes towards delivering the Borough's Core Strategy by setting out detailed planning policies that the Council will use when determining applications in the borough to ensure they achieve the vision and objectives of the Core Strategy
- 5.16 Policy DP24 of the DMD, entitled Securing high quality design, advises:

The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider , [inter alia]:

- a) character, setting, context and the form and scale of neighbouring buildings;*
- b) the character and proportions of the existing building, where alterations and extensions are proposed;*
- c) the quality of materials to be used;*
- e) the appropriate location for building services equipment;*
- f) existing natural features, such as topography and trees;*
- i) accessibility.*

5.17 DMD Policy DP25 – Conserving Camden’s heritage sets out Council policy in respect to conservation areas and listed buildings:

Conservation areas

In order to maintain the character of Camden’s conservation areas, the Council will:

- a) take account of conservation area statements, appraisals and management plans when assessing applications within conservation areas;*
- b) only permit development within conservation areas that preserves and enhances the character and appearance of the area;*
- c) prevent the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area where this harms the character or appearance of the conservation area, unless exceptional circumstances are shown that outweigh the case for retention;*
- d) not permit development outside of a conservation area that causes harm to the character and appearance of that conservation area; and*
- e) preserve trees and garden spaces which contribute to the character of a conservation area and which provide a setting for Camden’s architectural heritage*

Listed buildings

To preserve or enhance the borough’s listed buildings, the Council will:

- e) prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;*
- f) only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the building; and*
- g) not permit development that it considers would cause harm to the setting of a listed building.*

5.18 Subsequent explanatory paragraph 25.13 records that, in order to protect listed buildings, the Council will control external and internal works that affect their special architectural or historic interest. In addition, consent is required for any alterations, including some repairs, which would affect the special interest of a listed building.

The Primrose Hill Conservation Area Statement

- 5.19 Finally, the Conservation Area Statement for the Primrose Hill Conservation Area also provides useful contextual background information and an indication of the Council's priorities in the area surrounding the site. In this instance, however, as the external changes are located to the rear of the property, listed building policies will be the key consideration in the assessment of the impact of the proposals on the Heritage Asset.

6.0 Heritage Statement

Introduction

- 6.1 AGA notes that the further works now proposed at 4 Oval Road really only impact on one of the Heritage Asset classifications affecting the property - its Grade II listing. The surrounding Primrose Hill Conservation Area is unaffected by the internal alterations and the proposed pinning works to the top of the front façade are buried in the structure and, consequently, inconspicuous

Historic England Grade II Listing

- 6.2 As previously advised, No 4 Oval Road, Primrose Hill was originally built as one of a terrace of 5 No dwellinghouses circa 1835, although several of the properties underwent sub-division and major alteration in the early 1970s. It was at that time that LB Camden granted approval for the sub-division of No4 into 2 units - a maisonette on the ground and upper floors and a self-contained flat on the lower ground floor. The current listing description for No4 reads as follows:

TQ2883NE

OVAL ROAD 798-1/76/1257 (East side)

14/05/74 Nos.2-10 (Even) and attached railings

GV II

Terrace of 5 houses. c1835. Yellow stock brick with rusticated stucco ground floor and plain 1st floor band. Symmetrical terrace with projecting end houses. 3 storeys and basements. 2 windows each. Plain stucco surrounds to doorways with fanlights, cornice-heads and panelled doors. Nos 2 and 10 with pilasters forming doorways and to ground floors carrying entablatures and cast-iron balconies. Nos 4-8 ground floor sashes with vermiculated keystones. Architraved sashes to upper floors; 1st floor with cornices and cast-iron window guards. End houses with stucco 2nd floor sill band continuing around the returns. Cornice and blocking course. INTERIORS: not inspected. SUBSIDIARY FEATURES: attached cast-iron railings with foliated finials to areas.

Significance of Existing Heritage Asset in terms of Listed Status

- 6.3 As the previous LBC process revealed, analysis of historic planning consents uncovered the layout of the original 1835 house, as well as the extent of historic fabric (including internal walls & decorative interior works) removed and new internal walls inserted in the early 1970s, following the conversion of the dwellinghouse to a maisonette and a flat and in the 1980s when the roof extension was added.
- 6.4 AGA and CH had previously prepared a set of plan, elevational and sectional drawings reflecting the age and, therefore, significance of the various architectural elements making up the building and its fabric, with the significance of the various aspects of the existing building scored from Level 1 – Very High Heritage Value to Level 5 – No Heritage Value. This system will also be used to assess the latest alterations.
- 6.5 CH's drawings revealed that much of the interior of the lower ground floor of No4 had been stripped out during the 1970's conversion; and little decorative work, remains, although decoration may well have been minimal at this "basement" level anyway. Moreover, whilst upper floor levels suffered less intervention, the installation of heating ductwork at first floor level; the insertion of a central bathroom at second floor level; and the 1980s roof extension did result in loss of material.
- 6.6 Elements meriting a Very High Grade 1 rating had previously been restricted to the front façade. Those scoring a Grade 2 rating, i.e. making a High contribution to the Asset's Heritage value, were restricted to the remnants of the original lower ground floor, ground floor, first floor and second floor layouts, namely: the rear return, front lightwell and vaults, the existing Entrance Hall & stairwell; the former ground floor Reception Room & Kitchen; and the former first floor Reception Room, as well as those elements comprising original walling, flooring, ceiling, door & window fabric dating from 1835 and coloured in red on the latest plans. Regrettably, AGA previously noted that some internal features which would usually warrant a Grade 2 value, such as sections of plasterwork, fire places and other internal fittings, had been stripped out of the building during the 1970s conversion.
- 6.7 As to aspects and elements making a Moderate contribution to the listed building (Significance Level 3), the remnants of original ground floor chimney breasts at basement level had also been graded 3 as it is recognised these should be retained in any proposed layout.
- 6.8 In respect of Level 4 - Low value items, this grading would normally be allocated to non-original material which has replaced original building fabric in a sympathetic fashion, and which, therefore, makes a contribution towards

retaining the original layout and/or appearance of the building. In this instance, however, there is little that falls into this category.

- 6.9 Finally, a score of 5 (no heritage value) is allocated to all of the building fabric introduced during the 1970s conversion, and subsequently, as this makes no positive contribution to the understanding of the layout of the original dwellinghouse and often obscures that layout. Grade 5 items include later internal partition walls; new timber flooring; non-original cupboards; and the 1980s third floor accommodation.
- 6.10 Overall, AGA considered the interior of 4 Oval Road to merit a modest Grade 3, largely due to the strip out of original fabric during the 1970s conversion and some unfortunate insertions/additions.

Proposed Further Alterations

- 6.11 When preparing their latest amendments, the applicants and CH have adhered to the relevant key principles established in the first LBC application, namely:
- To retain as much of the remaining original layout and internal fabric as possible; and
 - To restore the interior to reflect the original designs for the house, where possible.
- 6.12 The applicants had previously gained approval for the removal of much of the 1970s conversion work, including the central bathroom, internal walls and cupboards, to provide a simplified layout with a reinstated stair and improved circulation space. However, removal of original 1835 fabric was strictly limited. Consent is now sought for further necessary remedial work to address structural problems exposed by the strip out of the building as well as the replacement of a hall door for Fire Regulation reasons; details of the proposed heating and lighting systems; and a new shutter to the first floor ensuite. The further works are described in detail below.

Remedial Structural Works

- 6.13 It is necessary to replace and upgrade an existing, sagging, concealed steel beam at lower ground floor ceiling level as it is clearly carrying an excessive load, probably as a result of internal wall removal during the 1970s and additional loading from the 1980's roof extension. In addition, 3No square hollow section steel posts will be inserted in to the partition wall between the top of this new beam and the underside of the corresponding existing steel beam at ground floor ceiling level in order to strengthen and brace the building structure. This intervention is necessary to prevent further movement within the building, particularly in respect of the sloping staircase and the bowing ground & first floors. As CH's drawings show, the insertion of the steel beam and 3No posts

involves the removal of a strictly limited amount of original lathe and plaster walling and ceiling on the ground floor, but any replacement walling will match the original form of construction.

- 6.14 In addition, the removal of the 1970s central bathroom at lower ground floor level and a number of concrete beams in the ceiling void, requires the strengthening of the floor structure within this void by bolting 2No steel channels to the web of the existing beam and adding a bolted end plate in order to connect to a new section of steel beam to replace the unsatisfactory concrete beams. However, as this ceiling has already been replaced during the 1970s, little historic fabric will be affected and the structural engineers have confirmed the original ground floor joists can be retained as they are capable of carrying the new loads once the lower ground floor is opened up
- 6.15 At third floor level, however, the joists under the external terrace will require strengthening to safely support the proposed layout. However, CWPM advises this can be achieved by inserting additional timber joists between the existing joists, rather than removing everything.
- 6.16 CWPM also proposes another remedial detail to link the existing floor joists and prevent them from rotating – the introduction of timber noggins (solid block strutting) with two lines of noggins, equally spaced, being provided to each span of floor joists at each floor level.
- 6.17 Finally, it has recently been discovered that the top of the front façade is bowing out and is in severe danger of further movement and potential failure. Consequently, it is proposed to pin the top of the façade to the joist structure at third floor level using a bowtie in 1No location (see CH detail). In addition, it is necessary to reconnect a cracked party wall to the external façade using a “Cemtie” – a grout and adhesive mix inserted into a hole drilled deep into the party wall from the exterior (see CH detail). Both the bowtie and the Cemtie will be completely inconspicuous in views of the front façade as they are buried in the structure.

Replacement Hall Door

- 6.18 With the reintroduction of the stair flight linking ground floor and lower ground floor (with new kitchen) in its original position, Building Control has advised that the existing hinged timber door opening out into the hallway is incompatible with current Fire Regulations and should be replaced with a fire-resistant sliding door. This alteration would require the removal of the non-original cupboard door and a section of non-original walling.

Electric Underfloor Heating to Upper Level Bathrooms & Shower-rooms

6.19 In addition to the water-based underfloor heating system already approved for the lower ground floor, the applicants wish to install electric “Sticky Mat” underfloor heating to limited areas within the bathrooms and shower-rooms on the upper floors. CH’s drawings show the build up necessary to protect any original joists and ceilings below the heating mat from heat transfer and consequent damage. In addition, no original doors open into areas with the underfloor heating and, with only a thin build up of the existing floor level, there is minimal physical or visual impact on existing skirting boards, where they exist.

Central Heating Radiators & Pipework

6.20 The applicants also intend to install or relocate a number of radiators throughout the property in order to optimise room layout and improve the efficiency of the heating system. At lower ground level, 2 No new radiators are proposed, but as the floor is not original, and the walls are blank, this raises no issues in terms of historic impact. At ground floor level, it is intended to remove 4 No radiators, one of which will be replaced in exactly the same position – under the window in the Piano Room. In addition, a new radiator will be positioned below the window to the Drawing Room – echoing the relationship between window, paneling and radiator that exists in the Piano Room. The third new ground floor radiator will be positioned on a blank wall in the Hallway, whilst the fourth will be in the proposed Study – a room that is currently unheated. The new radiator in the Study and the one below the window in the Drawing Room each require the 80mm x 30mm notching of a single floor joist in order to install the necessary pipe work.

6.21 At first floor level, it is proposed to remove the existing radiator in the Master Bedroom and install 2 No new radiators, neither of which obscures any paneling. As with the ground floor, however, it is understood a single 80mm x 30mm notch will have to be cut in 3 No floor joists in order to install the associated pipe work.

6.22 At second floor level, a new radiator in Bedroom 2 will be relocated to the plain section of wall beneath the window with associated notching of 2 No floor joists.

6.23 Finally, whilst 2 No new radiators are proposed for the Summer Room and Walk-in Wardrobe on the third floor, the pipework associated with these will use existing cut outs, so there will be no further impact on the existing joists.

New Light Fittings & Speakers

6.24 The applicants propose to install a new lighting system throughout the property, with speakers in the lower ground floor ceiling only. At lower ground floor level, the entire ceiling was replaced in the 1970s with plasterboard, so the proposed recessed light fittings, pendant light fitting, LED light strip to ceiling coffer and 2 No speakers will not impact on any original building fabric. At ground floor level,

single pendant light fittings are proposed for both the Entrance Hall and the Drawing Room, requiring minimal loss of the original lathe and plaster ceilings in these spaces. Within the rear Study, 4 No recessed lights are proposed to be set into the lathe and plaster ceiling. At first floor level, 3 No recessed light fittings are intended for the new section of lathe and plaster ceiling, whilst 4 No similar fittings will be inserted in the remaining section of original lathe and plaster ceiling. At second floor, the entire ceiling has already been replaced with plasterboard, so it is not envisaged the proposed recessed lights or pendant light above the stairwell will cause any impact on historic fabric. Likewise, there will be no impact on the third floor as it comprises wholly modern ceiling construction.

Replacement of Section of Plasterwork to Bedroom 3

6.25 Following detailed inspection, it is necessary to replace a section of solid plasterwork on the inside of the external wall to Bedroom 3 at second floor level, as water penetration from a leak in the roof terrace immediately above has caused the existing plasterwork to come away from the wall. Once the terrace leak has been repaired, the missing section will be made good with a plaster mix to match the original plaster.

Timber Shutter to First Floor Ensuite

6.26 The original LBC approval failed to show how privacy would be achieved in First Floor Ensuite. As CH's detail shows, it is now intended to install traditional, timber split-panel shutters to the window opening, echoing those which already exist within the house.

Assessment of Impact of Further Proposed Works on Heritage Asset

6.27 AGA concludes the further works now proposed have no impact on the original layout, hierarchy of space or external appearance of the heritage asset – issues addressed under the previous LBC approval. However, AGA has assessed the impact of the further proposed works described above on the historic fabric of the listed building and concludes as follows:

- Historic Fabric – Lower Ground Floor

The proposed replacement and installation of structural beams at ceiling level is regarded as crucial to the long term survival of the dwelling. Fortunately, at lower ground floor level much of the work impacts on areas where 1970s conversion work has already left its mark with new ceilings and internal walls. As a consequence, there is minimal impact on historic fabric as a result of the new structural, heating and lighting proposals and, overall, no reason to amend the 3.5 – Medium-Low grading for the lower ground floor *vis a vis* impact on historic fabric as set out in the Heritage Statement for the previously-approved LBC.

- Historic Fabric - Ground Floor

The retention and restoration of the principal rooms at ground floor level, approved under the previous LBC, was assessed as having minimal impact on the listed fabric, resulting in a Grade 2 – High rating for this floor. The proposed replacement and installation of structural beams and posts at ground floor is more extensive than at lower ground floor level, but is just as important in providing a long term solution to the building's structural problems. At this level, a small amount of lathe and plaster walling and ceiling will be lost to allow the insertion and fixing of several of the structural posts into original internal walling (see CH drawings). Where such walling has to be removed, the applicants have agreed to make good with lathe and plaster to match the original specification. The replacement hall door, which involves the removal of no original material, is also located at this level, as is a small area of underfloor heating in the WC. Perhaps, the most conspicuous aspects of the latest changes are the new radiator positions which reflect current best practice by locating radiators below windows. The associated pipe work requires the cutting of a 80mm x 30mm notch into 2 No original joists, but this is considered essential as the Study has no existing heating; and the other new radiator position will allow the optimal layout and use of the Drawing Room. Finally, with regard to lighting, impact is minimal with only 2 No new pendant lights and 4No recessed lights in the rear Study. Overall, and primarily due to the loss of a small amount of lathe and plaster because of the unavoidable structural proposals, the Grading for this floor may just drop below Level 2 – High.

- Historic Fabric - First Floor

The overall impact of the previously approved works on historic fabric at first floor level was assessed as minor negative, resulting in a figure just below Grade 2 – High. The works now proposed do little to alter that overall assessment. Structurally, two lines of timber noggins, equally spaced, have to be provided to each span of floor joists, but this will result in no loss of original material. .In addition, that part of the Ensuite Shower-room closest to the window will be provided with underfloor heating, but this only abuts one wall – the external wall of the original room, and only marginally reduces the height of the existing skirting. It doesn't, for instance, affect any existing door thresholds or the opening of doors. With regard to central heating, the installation of 2 No new radiators in the Master Bedroom does not obscure any paneling and only requires one 80mm x 30mm notch to be cut in 3 No floor joists for the associated pipe work. In respect of ceiling lighting, the only location where recessed lighting is to be inserted into original

fabric is in the Ensuite where 4 No fittings are proposed. Overall, however, the further works at first floor level are assessed as broadly neutral in terms of impact.

- Historic Fabric - Second Floor

The “impact on historic fabric” rating for the previously approved second floor was assessed at 3.5 - Medium/Low, but this reflected the significant loss of original material resulting from the creation of the central bathroom in the 1970s. The works now proposed at this level include the noggin treatment to the joists; the underfloor heating to the retained central bathroom; the 2 No new radiator positions in Bedrooms 2 & 3 with associated notching of 4 No original floor joists the new recessed lighting in the existing plasterboard ceilings; and the replacement of a section of damp & badly blown plaster in Bedroom 3. However, it is considered these works do not affect the overall significance level to any substantial degree, so the impact grading remains at 3.5.

- Historic Fabric - Third Floor

The third floor roof extension and outdoor terrace date from the 1980s, although the floor joists and part of the perimeter walls & parapet are part of the original dwelling. Structurally, discreet pinning works to the front façade are proposed in 2 No locations, but these are essential repairs to prevent the further bowing, and eventual failure, of the top section. At this level, the pipe work for the new radiators will also utilise existing cutouts in the joists, so the only impact on floor structure will be from the noggins required to prevent further twisting of the timbers. Overall, therefore, the historic fabric impact assessment for the third floor remains at Grade 4 – Low, largely due to the amount of new material in its construction.

6.28 In summary, and with regard to impact on the original fabric of the heritage asset, AGA concludes that the latest works represent a well considered and proportionate response, given the high level of structural instability in the property. AGA concludes that the architects and engineers have understood the relative significance of the listed building’s appearance, layout and historic fabric and designed their proposals accordingly. Considered in the round, AGA assesses the works, and the structural works in particular, as having a slight negative impact on the fabric of the listed building. However, in this instance, it is a price worth paying to secure the long term future of the heritage asset.

7.0 Construction Management Plan (CMP)

- 7.1 The applicants appointed SLS Builders (SLS) in January 2016 to consider all issues pertaining to the Construction Management Plan (CMP) and their multi-document CMP accompanied the previous application. The approved CMP comprised a text summary of the main issues and was backed up by drawings and detailed reports in Appendices. One section of the CMP addressed the protection of the subject and adjacent listed buildings and, with the addition of the further works, SLS reiterates their recognition of the historic importance of the building and the need to ensure care will be taken when working on, or in the vicinity of, the external & internal historic fabric that is to remain. SLS is also committed to the careful implementation of the original Construction Method Statement (CMS) within the CMP, suitably amended to take account of the latest works, and the constant monitoring of the property during the works.

8.0 Access

- 8.1 AGA concludes that the further works now proposed do not have any access implications for the listed building.

9.0 Policy Assessment of Proposals

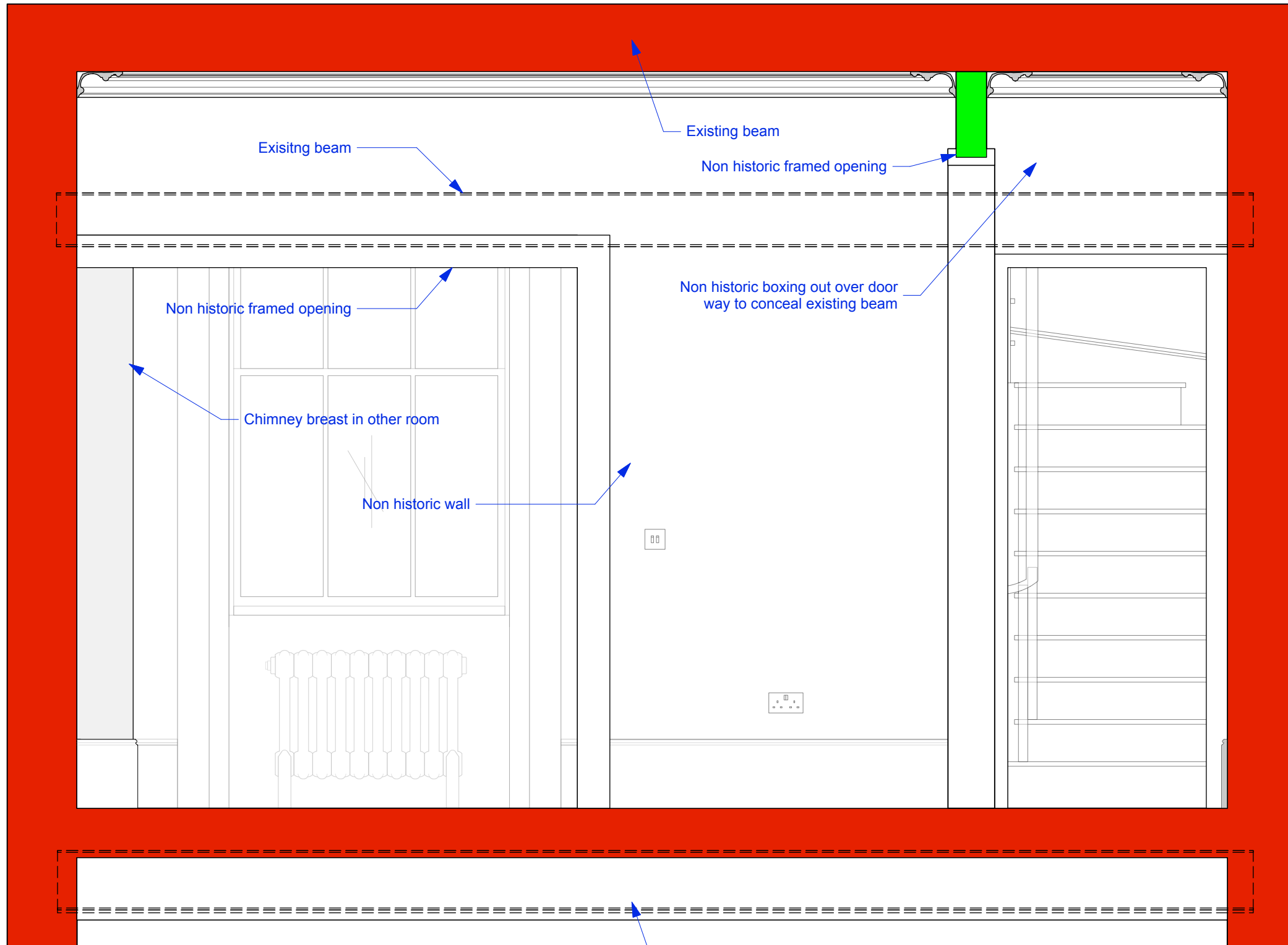
Heritage Policy

- 9.1 AGA's concludes that CH's & CWPM's further proposals have been prepared on the basis of the appropriate historical record drawings; the previously approved proposal drawings; and a thorough heritage assessment, as required by NPPF paragraph 128 and the Further Alterations to the London Plan (FALP) Policy 7.8 Part A. The original analysis work confirmed the interior of the former dwellinghouse had been negatively impacted by its sub-division into a maisonette and a flat in the early 1970s, when many internal walls; much of the timber flooring; and some decorative features including plasterwork and fireplaces were stripped out.
- 9.2 Turning to the latest proposals, AGA confirms they will have no impact on the hierarchy of space, amended layouts or external appearance aspects of the building as approved under LBC App No 2016/2071/L on 30.6.16. The main works are structural in nature – required to stabilise the building, but will not be apparent in the restored room interiors. As the Heritage Assessment in Section 6.0 has shown, the only area where the new works will impact on the heritage asset is in relation to the original building fabric. The intrusive structural alterations and the lighting proposals will result in the loss of a small amount of original lathe and plaster wall & ceiling, whilst the installation of new and relocated radiators necessitates the notching of a small number of original joists at ground, first & second floor levels – the floor boarding is not original. However, the fact that the applicant has agreed the repairs to lathe and plaster walls & ceilings and solid plaster walls should be undertaken using the original construction method and using materials to match mitigates the impact somewhat. Overall, AGA assesses the further works as having a slight negative impact on the remaining historic fabric, but this is offset by the like-for-like making good and the greatly improved structural stability of the property which should secure the long term future of the reinstated dwellinghouse.
- 9.3 AGA concludes, therefore, that the intrusive structural proposals do seek to minimise their impact on the listed building; that the other proposals are modest in nature and reflect the previous consent, and that, consequently, the further works are in line with the heritage protection & enhancement measures set out in NPPF paragraphs 61, 126 and 132; Further Alterations to the London Plan (FALP) Policy 7.8 Parts B, C & D; and LBC's Core Strategy Policy CS14 - Promoting high quality places and conserving our heritage; and DMD Policies DP24 - Securing high quality design and DP25 – Conserving Camden's heritage.

10.0 Conclusions & Recommendations

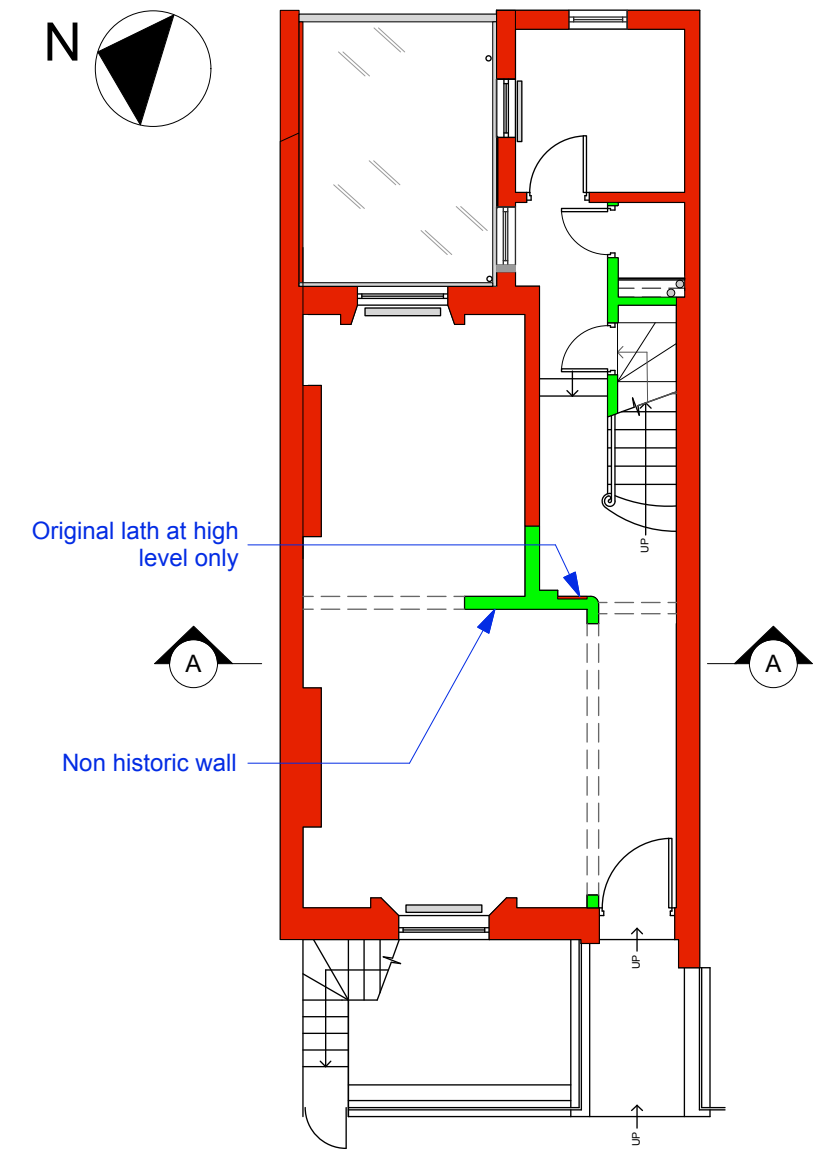
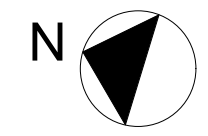
- 10.1 In summary, AGA concludes the further proposed works at the Grade II listed dwellinghouse at 4 Oval Road are based on a sound understanding of the character and fabric of the Heritage Asset; and meet the vast majority of relevant national, regional and local planning policies. Specifically:
- The latest proposals follow on from the previous Heritage Statement with historic plans which confirmed that the character of the interior of the Listed Building (Heritage Asset) had been compromised by the conversion works during the early 1970s, prior to its statutory listing by English Heritage.
 - The additional works have no impact on the Primrose Hill Conservation Area (Heritage Asset).
 - As the detailed heritage assessment in this Statement confirms, the further works will have no impact on the restored hierarchy of space or amended layouts within the building, or the external appearance of the building, as approved under LBC App No 2016/2071/L on 30.6.16
 - The latest proposals only involve minor demolition of historic fabric, sufficient to insert the necessary structural remedial works and part of the heating & lighting proposals. These works result in a slight negative impact on the remaining historic fabric, but this is offset by the improved structural stability of the reinstated dwellinghouse and the sensitive nature of the “making good”.
 - The latest proposals will not impact on the previously approved interior decoration works within the flat, including plaster cornicing & ceiling roses; timber picture rails; skirtings; and timber flooring, intended to recreate the period style of the original 1835 dwelling, and thus restore part of the original character lost in the 1970s.
- 10.2 As a consequence, AGA concludes there are no material reasons why Listed Building Consent should not be granted for the further works and respectfully requests the Council to grant the necessary approval.
- 10.3 The applicants, AGA and other members of the consultancy & contractor team would be pleased to attend a site visit to discuss matters further with LBC's Conservation Officer if this would be of assistance.

Appendix A – Selected Drawings of Proposed Further Works – CH



1 SECTION AA
Scale: 1:20

LEGEND	
	Existing Walls
	Existing Non Historic Walls (Post 1973) to be demolished
	New walls
	Existing Originals Historic Wall (C 1835) to be demolished
	Existing Non Historic Walls (Post 1973)

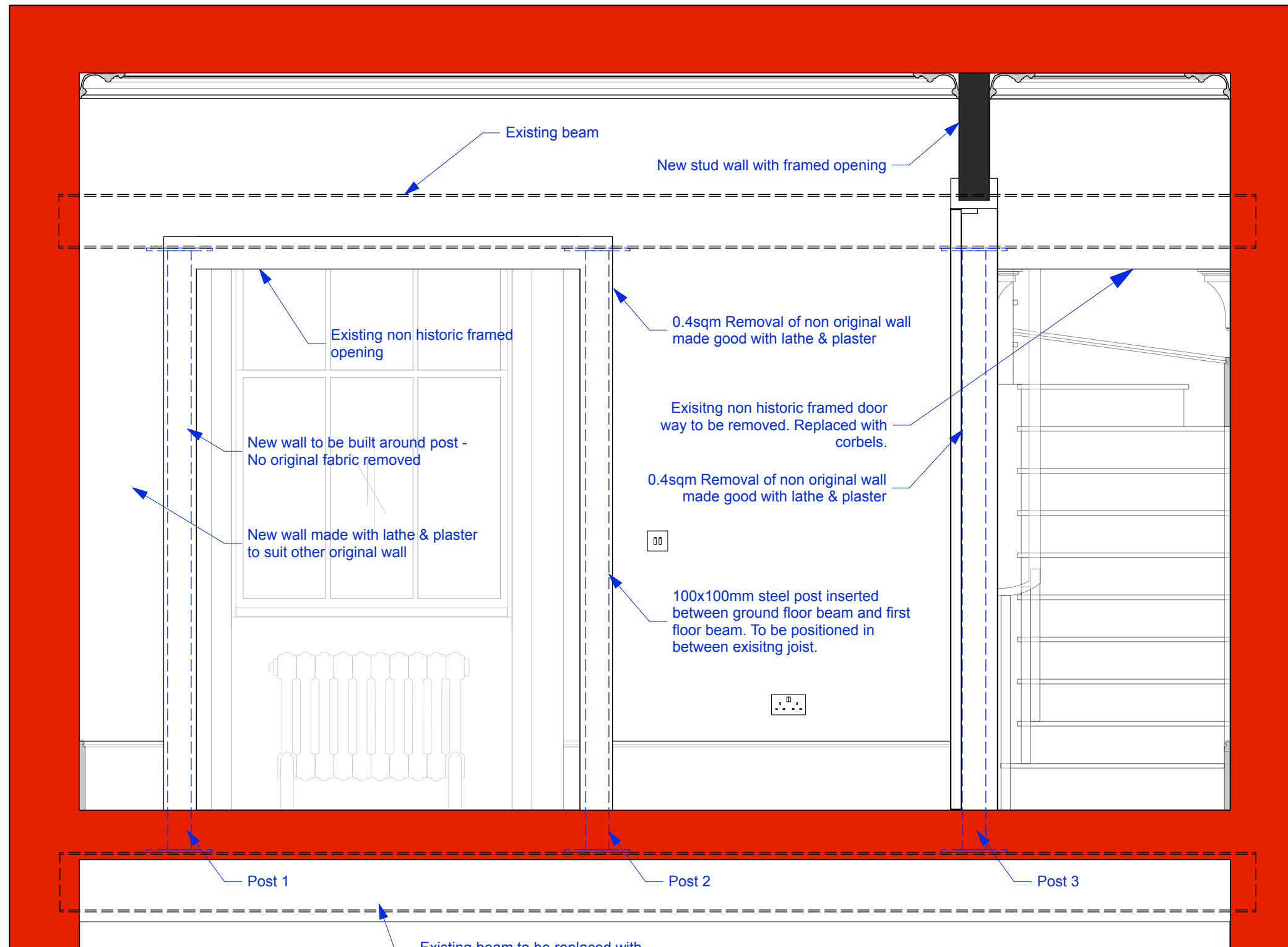


2 PLAN
Scale: 1:100

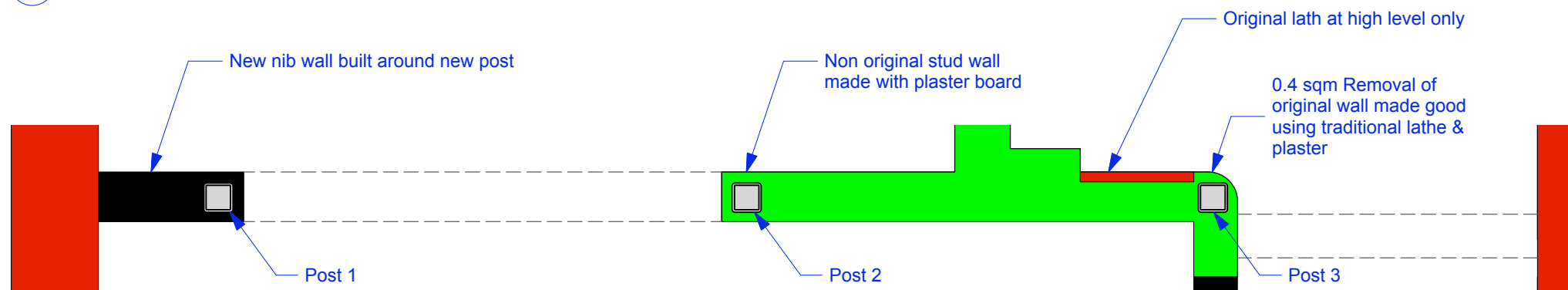
ISSUE:	DATE:	COMMENT:
-	OCT 16	Issue for planning and listed building consent

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	Job title				
1198	4 OVAL ROAD				
Drawing no.	Drawing title				
115	EXISTING GROUND FLOOR. STRUCTURAL ALTERATIONS				
Scale	Size	Drawn	Revision		
1:20	A3	ML	-		

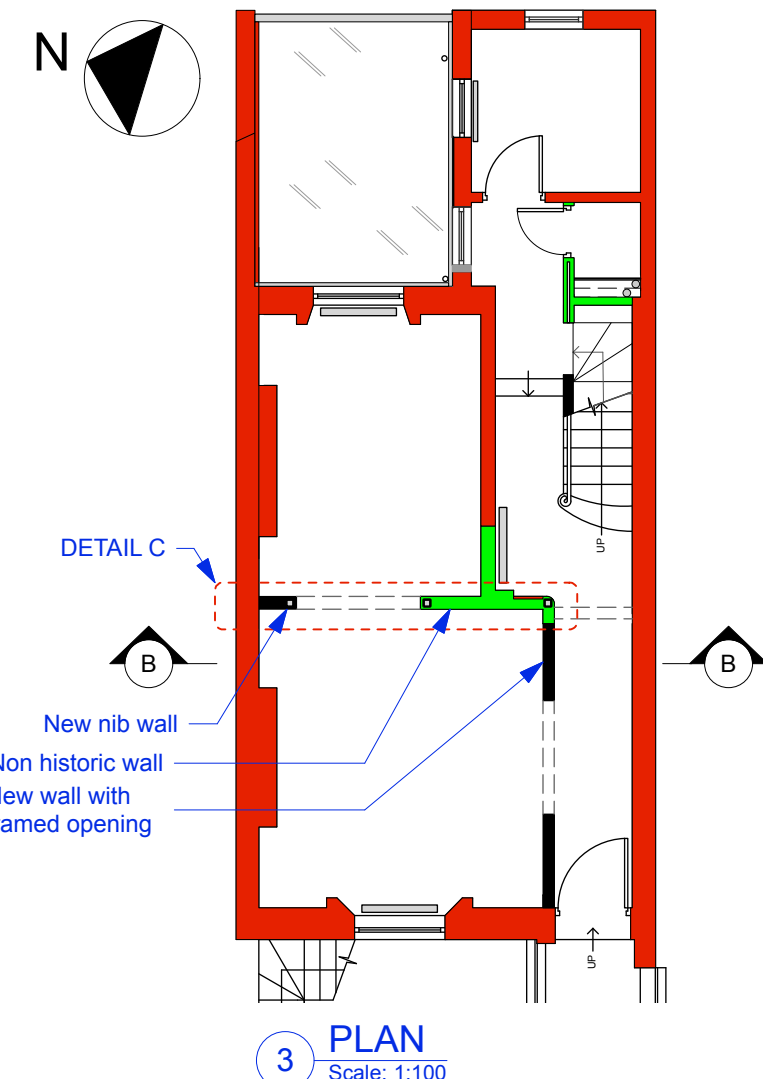
All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.



1 SECTION BB
Scale: 1:20



2 PLAN DETAIL C
Scale: 1:20

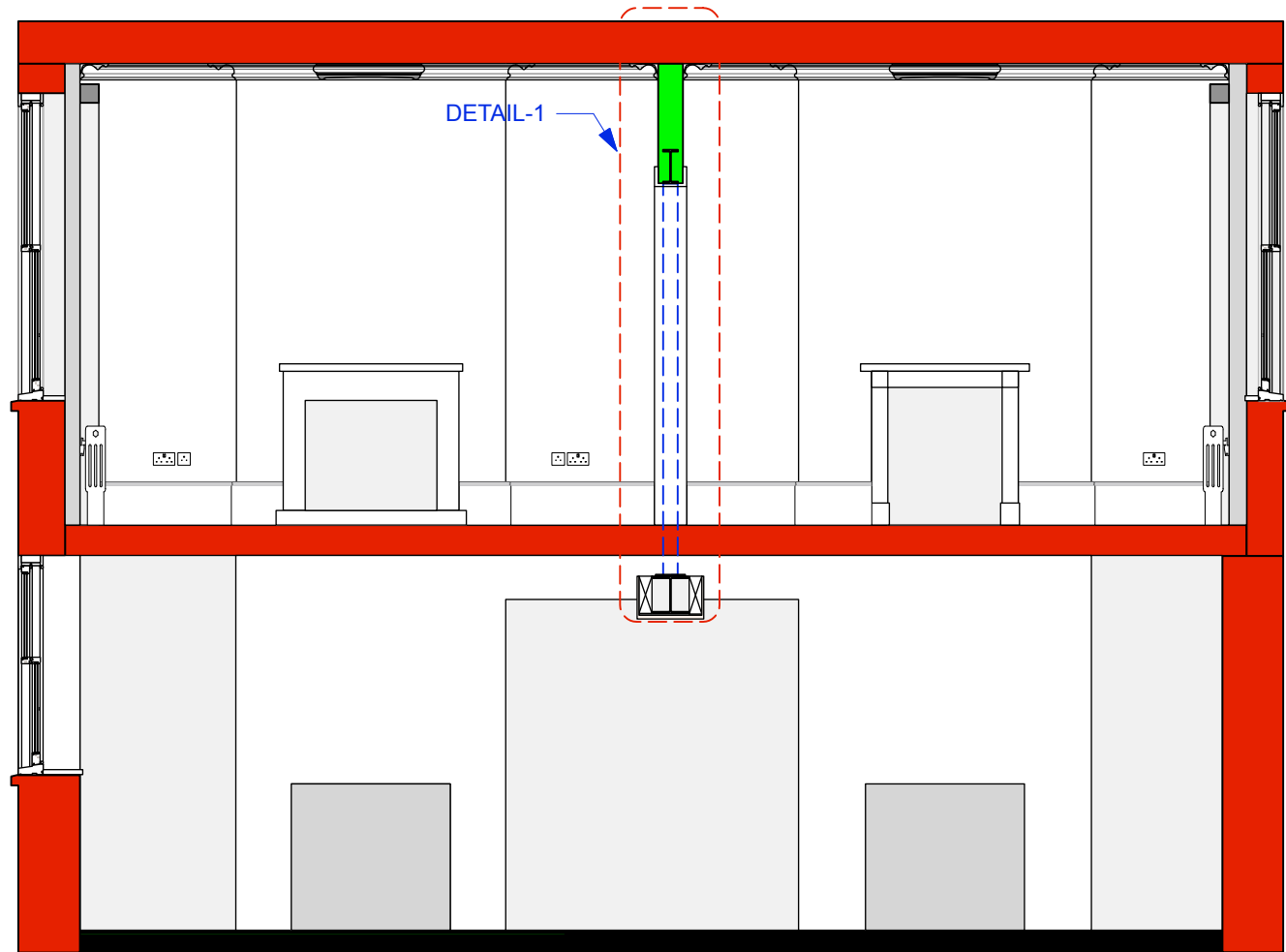


LEGEND

- █ Existing Walls
- █ Existing Non Historic Walls (Post 1973) to be demolished
- █ New walls
- █ Existing Originals Historic Wall (C 1835) to be demolished
- █ Existing Non Historic Walls (Post 1973)

ISSUE:	DATE:	COMMENT:
	OCT 16	Issue for planning and listed building consent
CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com
Job no.	Job title	
1198	4 OVAL ROAD	
Drawing no.	Drawing title	
116	PROPOSED GROUND FLOOR STRUCTURAL ALTERATIONS	
Scale	Size	Drawn
1:20	A3	ML
		Revision
		-

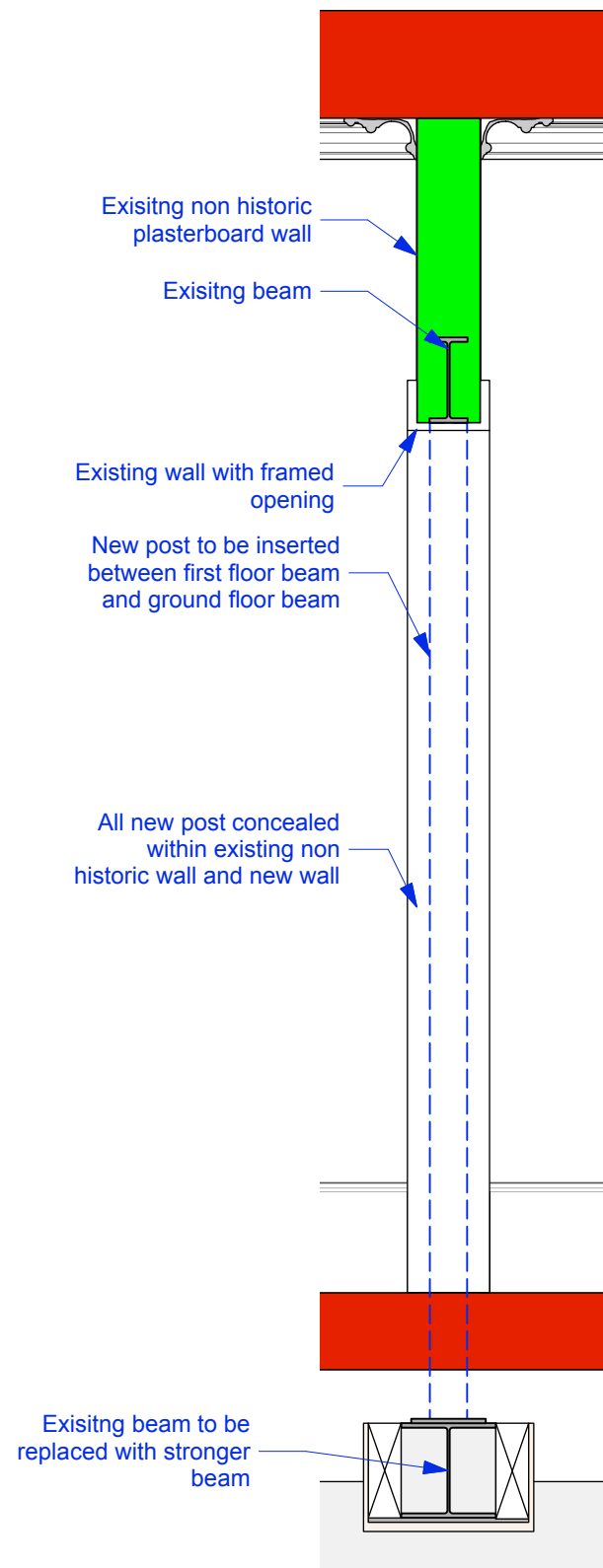
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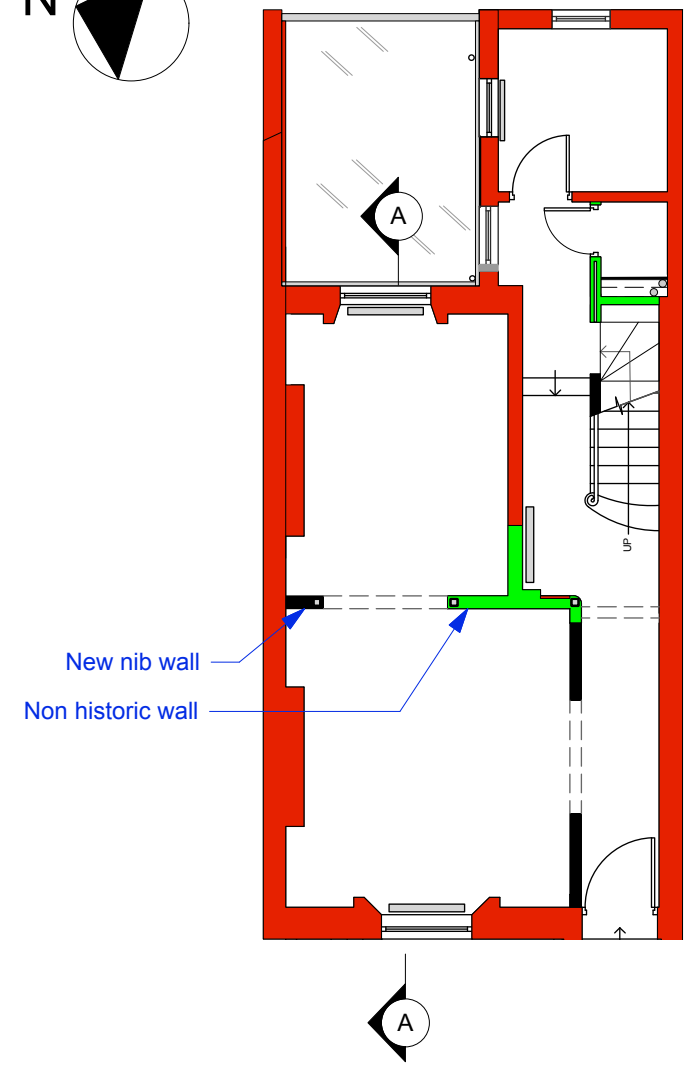
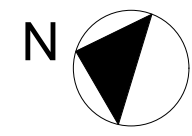
1 SECTION AA
Scale: 1:50

LEGEND

	Existing Walls
	Existing Non Historic Walls (Post 1973) to be demolished
	New walls
	Existing Originals Historic Wall (C 1835) to be demolished
	Existing Non Historic Walls (Post 1973)



2 DETAIL-1
Scale: 1:20



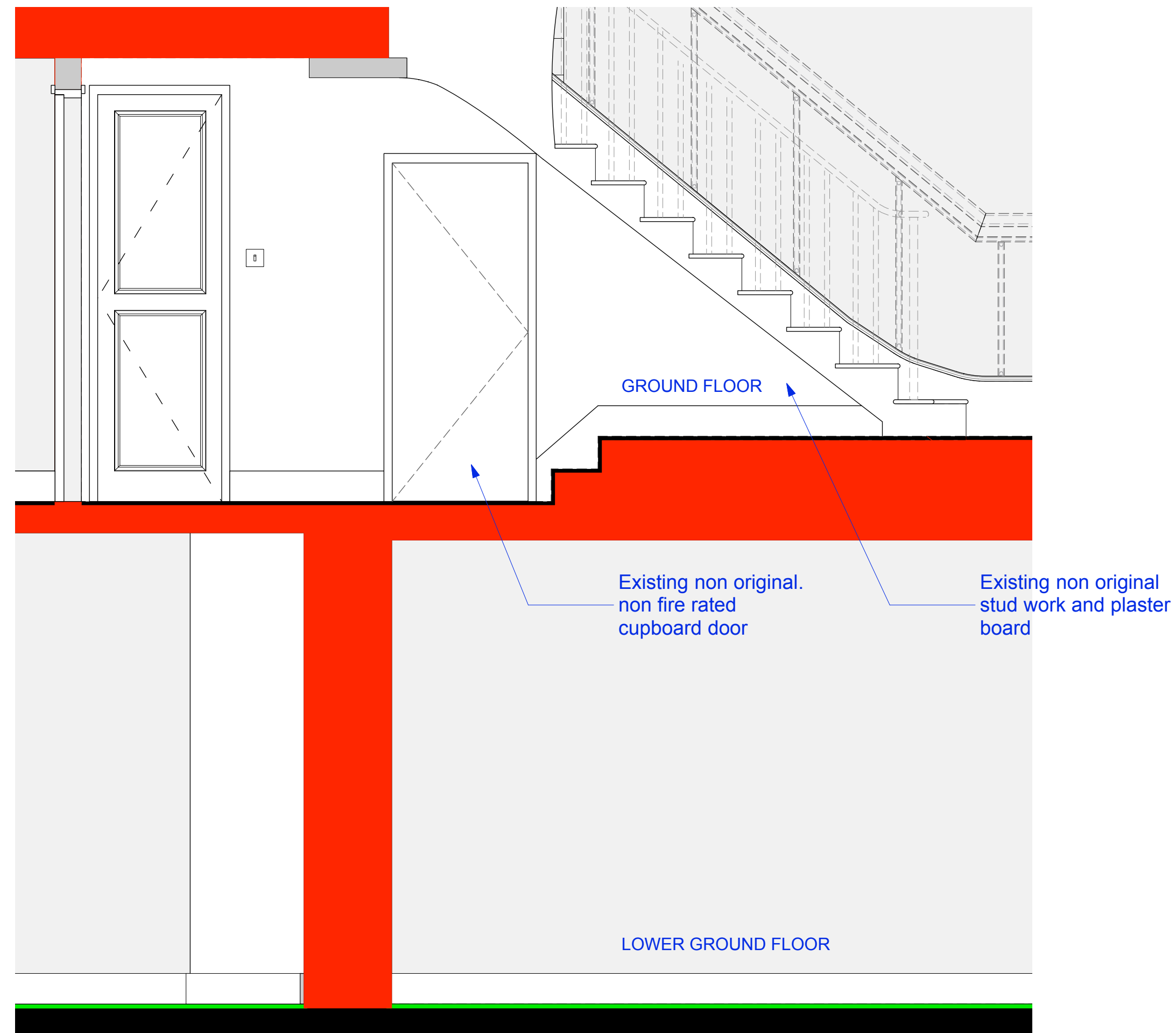
3 PLAN
Scale: 1:100

ISSUE: DATE: COMMENT:

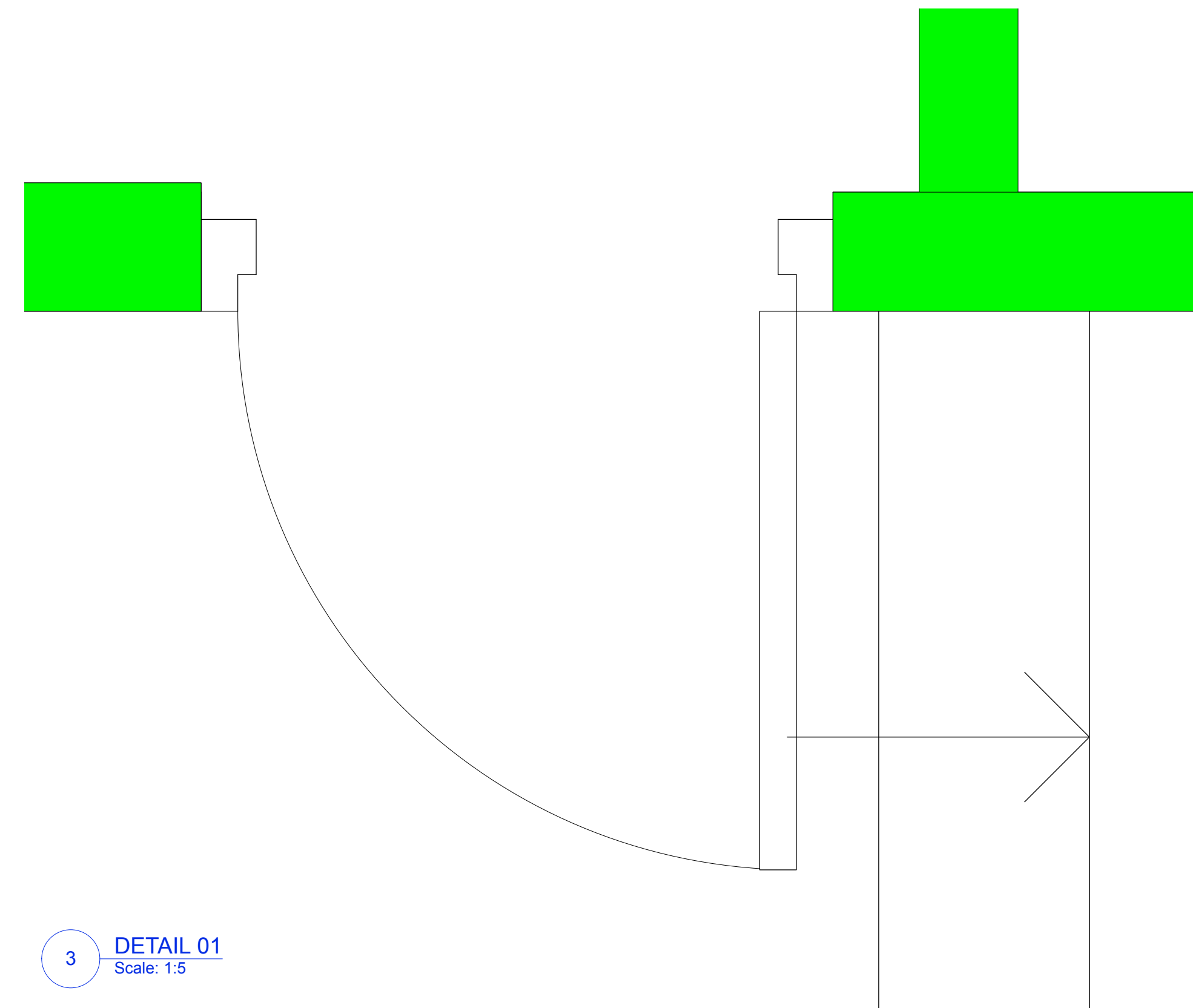
OCT 16 Issue for planning and listed building consent

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	Job title				
1198	4 OVAL ROAD				
Drawing no.	Drawing title				
117	PROPOSED GROUND FLOOR STRUCTURAL ALTERATIONS				
Scale	Size	Drawn	Revision		
1:20 1.:50	A3	ML	-		

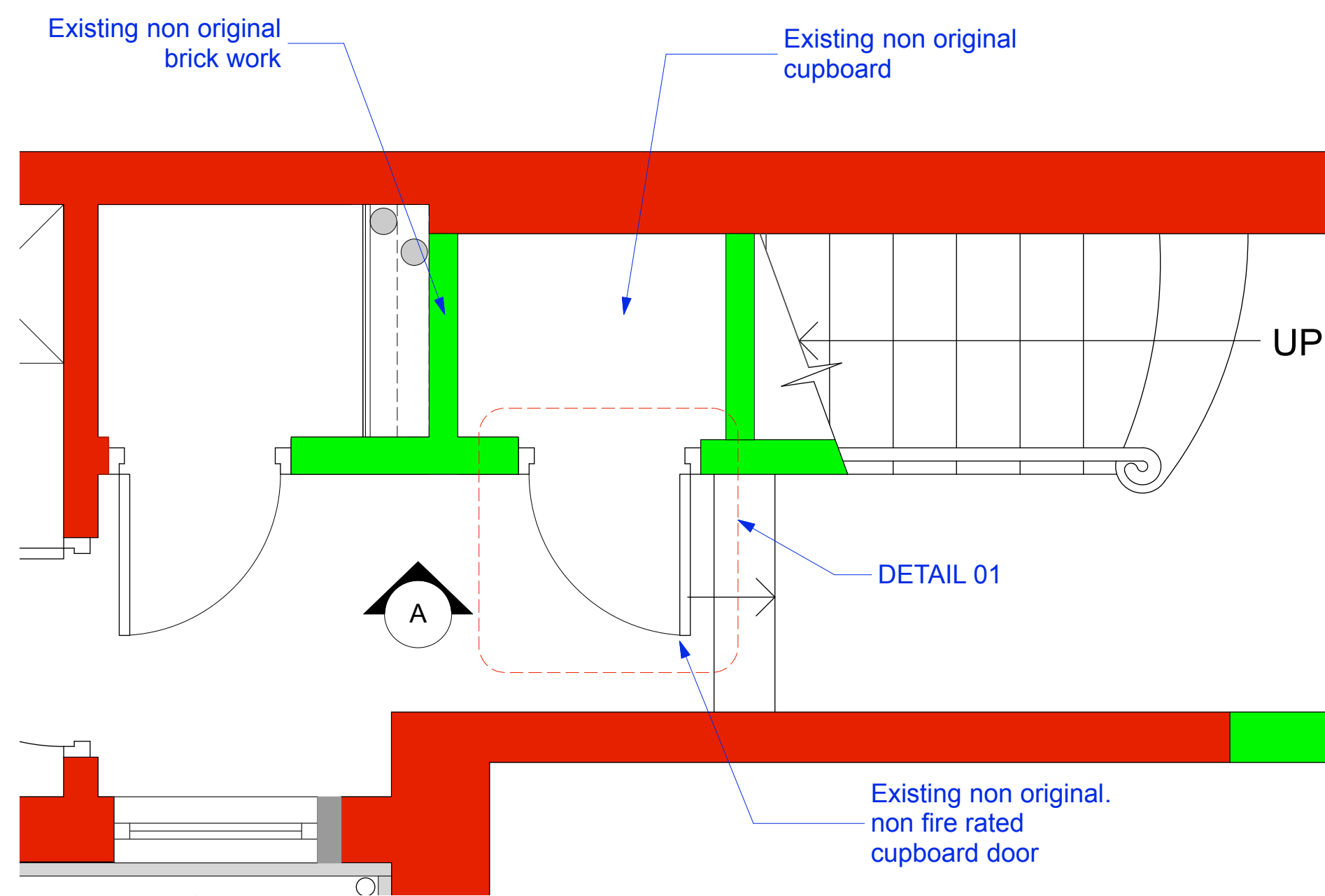
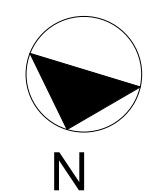
All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.



1 EXISTING ELEVATION A
Scale: 1:20



3 DETAIL 01
Scale: 1:5

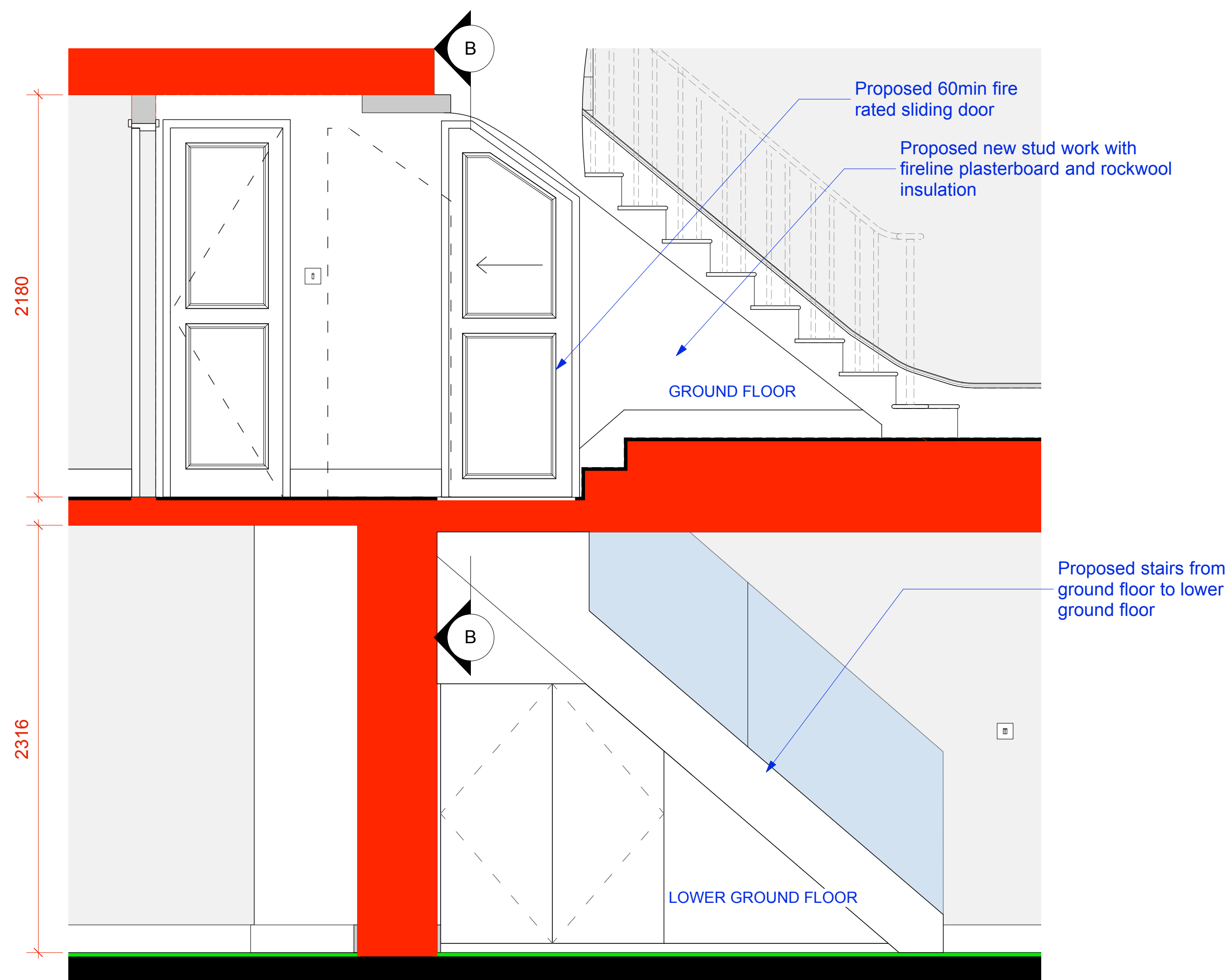


2 EXISTING GROUND FLOOR PLAN
Scale: 1:20

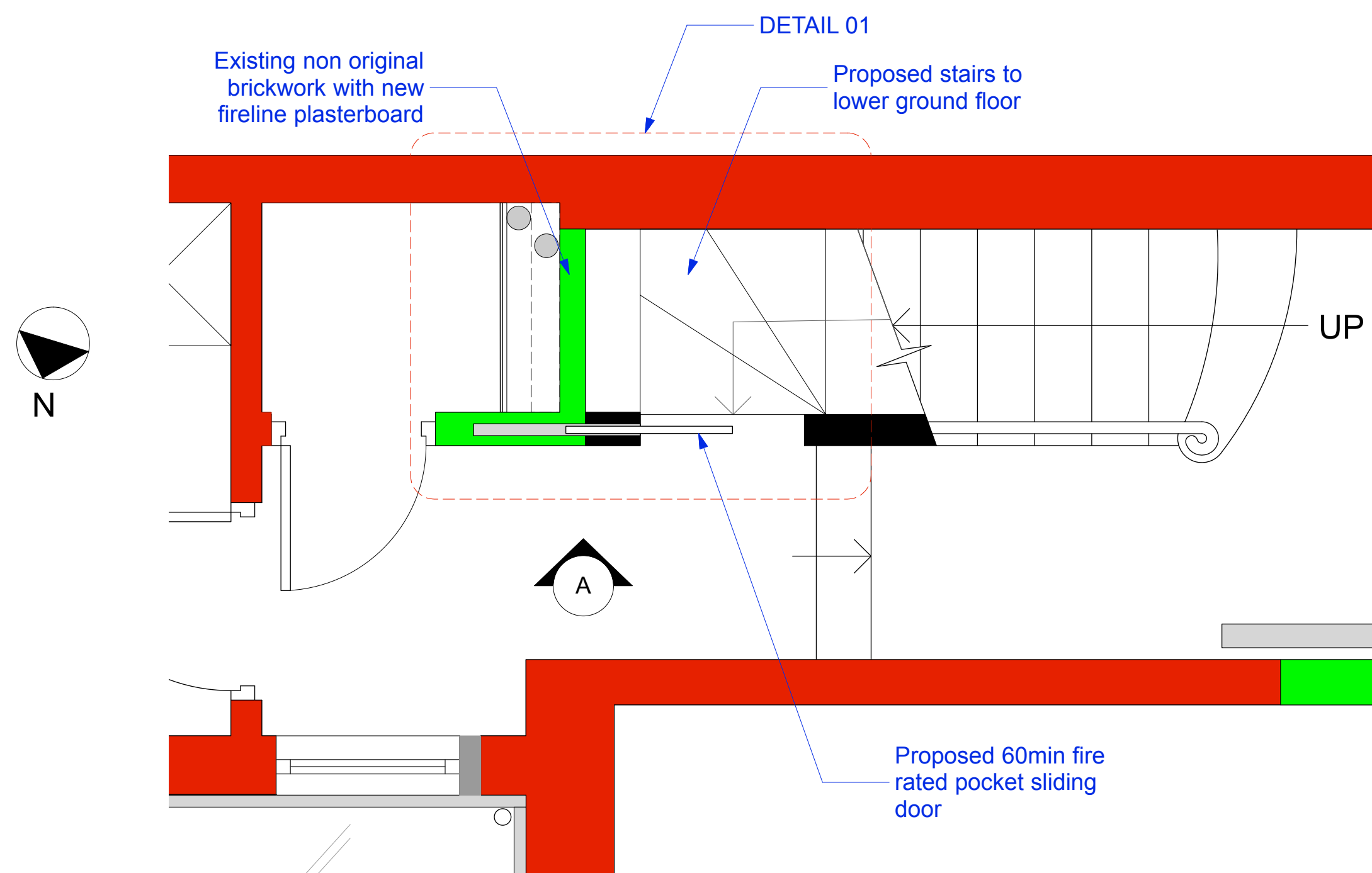
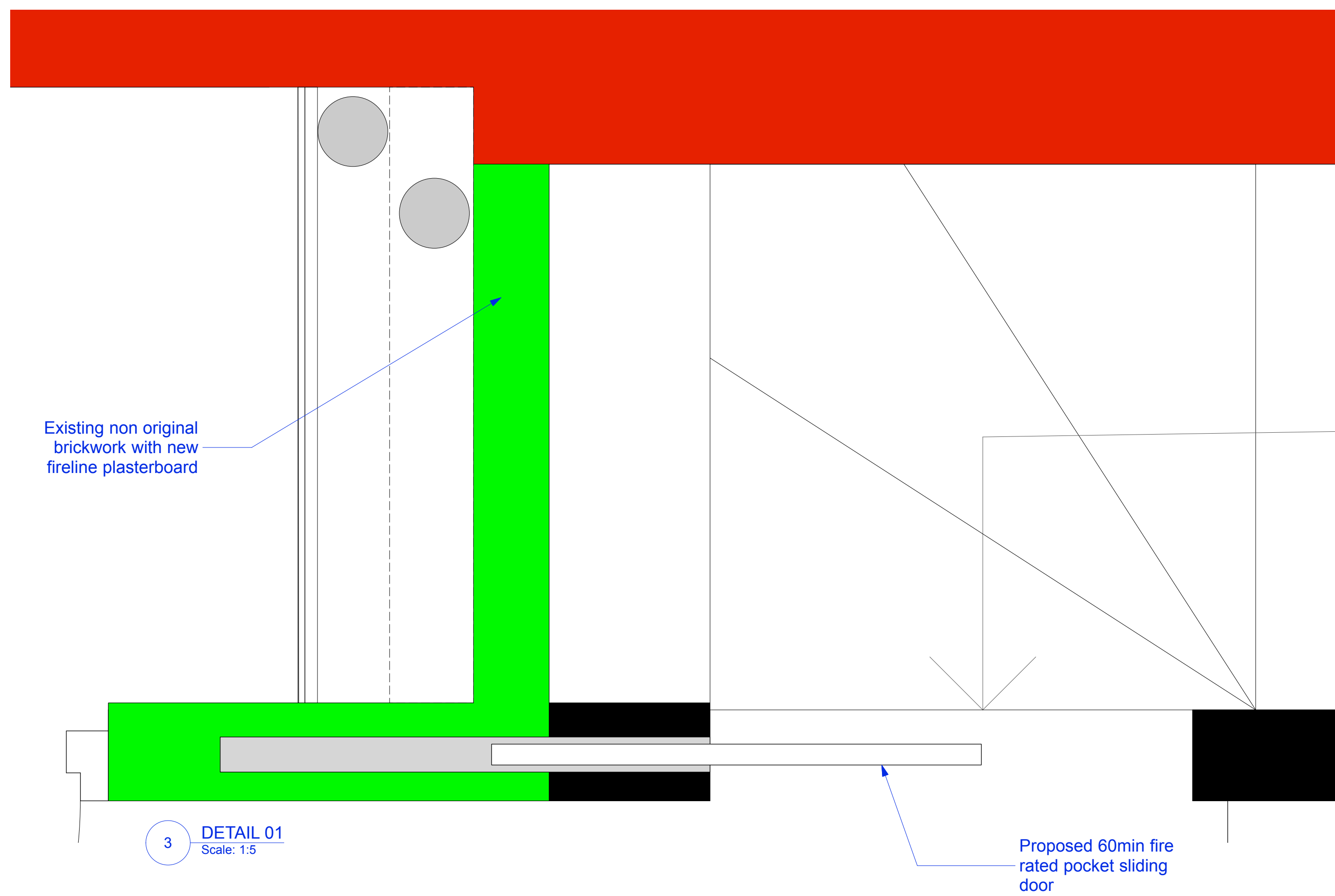


LEGEND	
█	Existing Walls
	Existing Non Historic Walls (Post 1973) to be demolished
	New walls
	Existing Originals Historic Wall (C 1835) to be demolished
	Existing Non Historic Walls (Post 1973)

ISSUE:	DATE:	COMMENT:
	OCT 16	Issue for planning and listed building consent
job no.	1198	
job title	4 OVAL ROAD	
drawing no.	118	
drawing title	EXISTING GROUND FLOOR HALL DOOR	
Scale	1:20	1:10
Size	A1	ML
Drawn	ML	
Revision		



1 PROPOSED ELEVATION A
Scale: 1:20



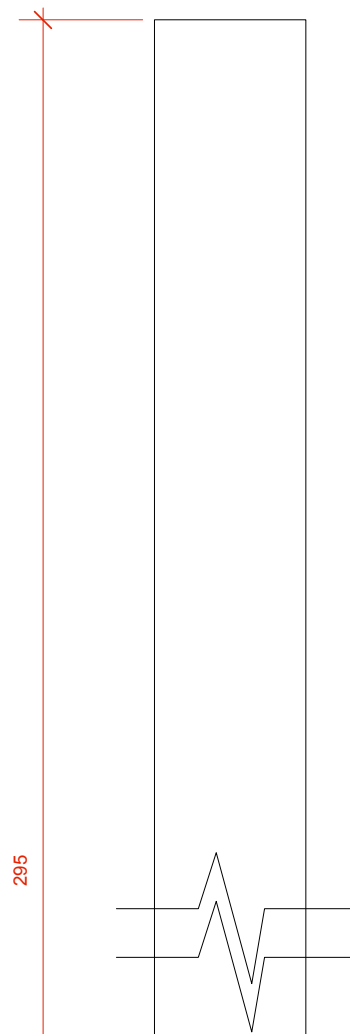
2 PROPOSED GROUND FLOOR PLAN
Scale: 1:20



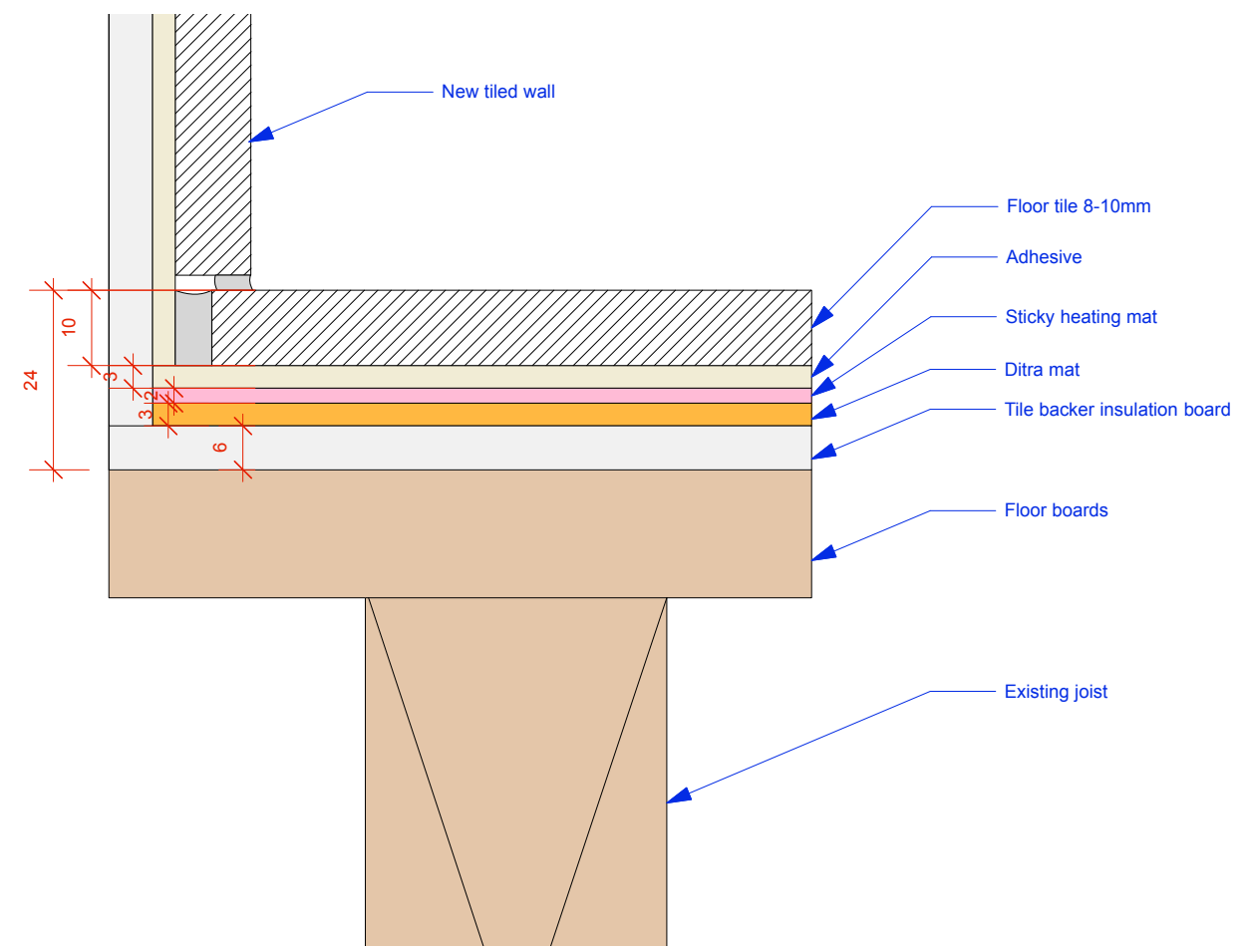
LEGEND

- Existing Walls
- Existing Non Historic Walls (Post 1973) to be demolished
- New walls
- Existing Originals Historic Wall (C 1835) to be demolished
- Existing Non Historic Walls (Post 1973)

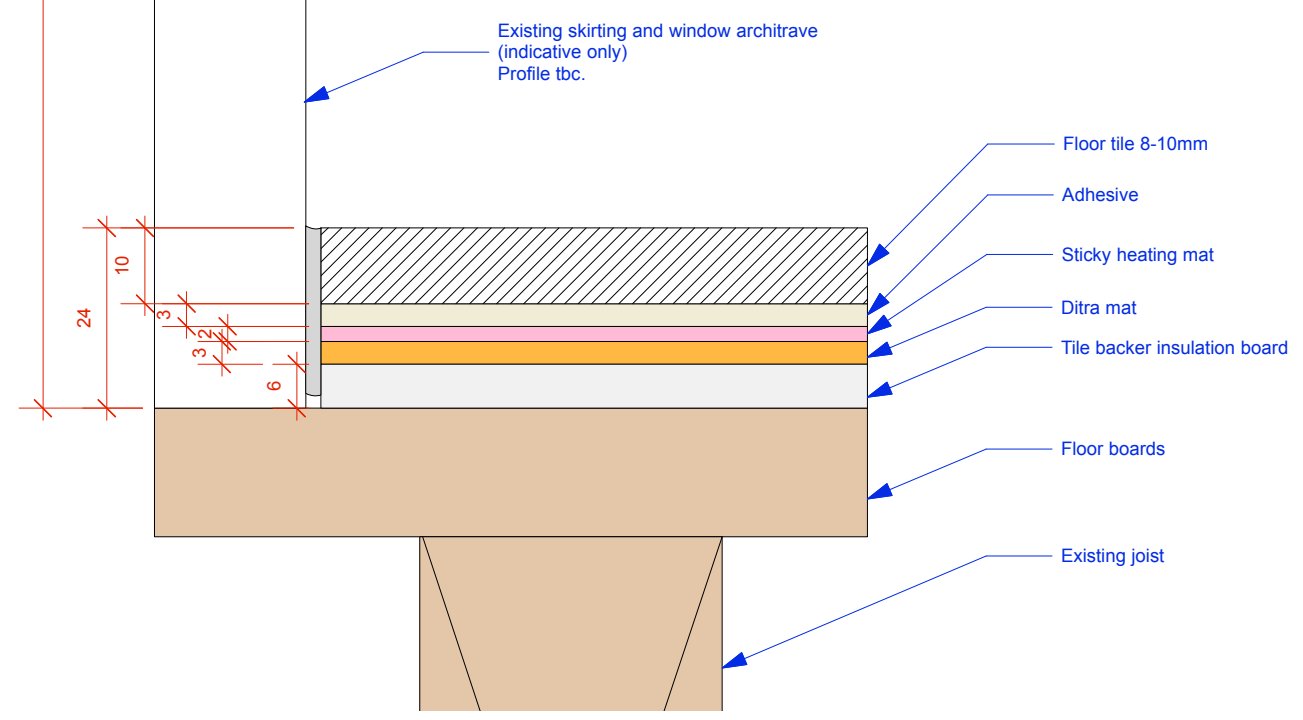
ISSUE:	DATE:	COMMENT:
	OCT 16	Issue for planning and listed building consent
Job no.	1198	4 OVAL ROAD
Drawing no.	119	PROPOSED GROUND FLOOR REPLACEMENT HALL DOOR
Scale:	1:20	1:10
Size:	A1	ML
Drawn:		
Revised:		



Note:
 Under floor electric mat heating to first floor ensuite and second floor bathroom.
 In en-suite new floor tiles to butt up close to existing skirting and window architrave with mastic.
 On second floor non original bathroom, to have all new internal bathroom walls.



2 UNDER FLOOR HEATING - SECOND FLOOR
 Scale 1:1



1 UNDER FLOOR HEATING - FIRST FLOOR
 Scale 1:1

STICKY MAT SYSTEM
 Warmup > Browse Products > Electric Systems > Sticky Mat
 Electric underfloor heating mat with pressure sensitive adhesive for the fastest installation

Guide Price
 from £86.24 /m²
 ex. VAT

GET A QUOTE



Warmup StickyMat system is suitable for all projects: new-build, retrofits and refurbishments.

The StickyMat System consists of a thin loose wire evenly spaced and taped to a glassfibre mesh with pressure sensitive adhesive, which allows for the fastest and most secure installation method of electric underfloor heating. The system is available in a choice of 150 W/m² and 200 W/m² heat outputs.

Safety Net Installation Guarantee
 If you accidentally damage the heating system during installation, return it to Warmup and we will replace it with another heater of the same make and model free.

Lifetime Limited Warranty
 This product comes with a Lifetime Warranty.

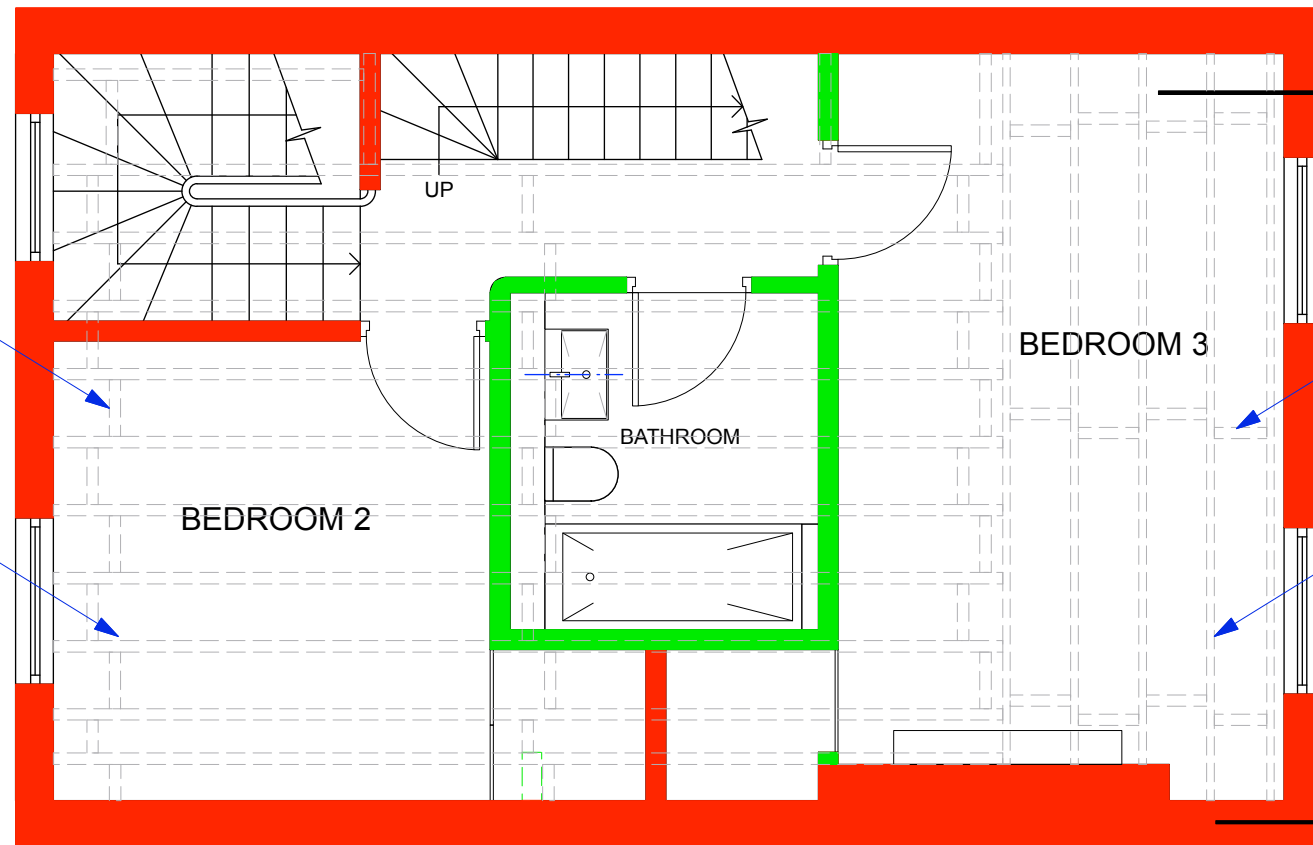
ISSUE:	DATE:	COMMENT:
	OCT 16	Issue for planning and listed building consent
CallenderHoworth <small>Morelands 5-23 Old Street London EC1V 9HL</small>		<small>T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com</small>
Job no.	Job title	
1198	4 OVAL ROAD	
Drawing no.	Drawing title	
121	PROPOSED UNDER FLOOR HEATING BUILD UP	
Scale	Size	Drawn
1:1	A3	ML
		Revision
		-

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.

Add new solid timber block strutting at bearing ends and at mid span. Set 25mm below from top of joist to allow for services, pipes, etc

Existing joist

1 SECOND FLOOR RCP
Scale: 1:50



RB02

Add new solid timber block strutting at bearing ends and at mid span. Set 25mm below from top of joist to allow for services, pipes, etc

Existing joist

RW04
'L' Shaped ties

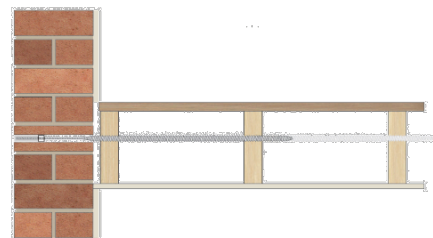
RB02

Restraining a Bowed Solid Wall using BowTie HDs into Joist Side

METHOD STATEMENT

1. Mark the positions for the BowTie HD clearance holes on the external wall.
2. Drill the clearance hole (normally 16mm) through the masonry to line up with the joist in the middle third of the timber away from the edges.
3. Clean out the hole to clear any dust or debris.
4. Fit the driver into an SDS hammer drill, set to rotary only. Insert the BowTie HD into the driver.
5. Screw the BowTie HD through the first and second joists (and the third if specified).
6. Place the sleeve over the tie and push it to the back of the hole in the outer leaf masonry.
7. Inject HeliFix PolyPlus resin into the hole to fill it completely.
8. Allow the resin to gel (normally 15 to 20 minutes).
9. Make good all holes at the surface with brick dust or matching mortar or leave ready for any decoration.
10. Clean PolyPlus tools with a suitable solvent.

N.B. Ensure ceiling void is free of pipes and cables.



RECOMMENDED TOOLING

For drilling and insertion of BowTies.....SDS rotary hammer drill 650/700w
For installation of BowTies.....BowTie HD driver
For injection of PolyPlus resin.....Applicator gun

Specification Notes

The following criteria are to be used unless specified otherwise:
A. BowTie HD penetration into the side grain of the last timber joist must be a minimum of 75mm or the tie should be driven through the joist.
B. The maximum horizontal spacing between BowTies is 600mm.

The above specification notes are for general guidance only and HeliFix reserves the right to amend details/notes as necessary.

GENERAL NOTES

If your application differs from this repair detail or you require specific advice on your particular project, call the HeliFix Technical Sales Team on 020 8735 5222. Our Technical Department can provide you with a full support service including:

- Advice, assistance and recommendations on all structural repair matters
- Devising and preparing complete repair proposals for specific situations
- An Insurance-backed warranty via our Approved Installers scheme

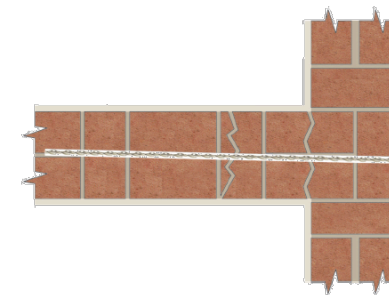
RW04

Reconnecting a Cracked Party Wall to an External Solid Wall using CemTies

METHOD STATEMENT

1. Mark positions for holes on the outer face of the wall.
2. Drill a 16mm clearance hole through the outer wall and to the required depth.
3. Clean out ALL dust from the hole and thoroughly flush with water. Where the substrate is very porous or flushing with water is inappropriate, use HeliPrimer WB. Ensure the hole is damp or primed prior to commencing step 8.
4. Attach the required length of CemTie pinning nozzle to the gun.
5. Mix HeliBond cementitious grout using a power mixer and load into the HeliFix Pointing Gun HD.
6. Pump grout to fill the nozzle.
7. Wind the CemTie into the nozzle and ensure that it is fully covered in grout.
8. Insert the nozzle to the bottom of the drilled hole and pump the grout.
9. Make good all holes at the surface with matching mortar and brick dust make good the crack using an appropriate HeliFix bonding agent depending on the width of the crack or leave ready for any decoration.
10. Clean tools with clean, fresh water.

N.B. If diamond core drilling is used, the internal surface of the hole must be roughened to ensure a good bond.



RECOMMENDED TOOLING

For drilling.....SDS rotary hammer drill 650/700w or diamond core drill
For mixing HeliBond.....3-jaw-chuck drill with mixing paddle
For insertion of the CemTies.....HeliFix Pointing Gun HD with pinning nozzle
For smoothing pointing.....Standard finger trowel

Specification Notes

The following criteria are to be used unless specified otherwise:
A. CemTies are to be installed at a vertical spacing of 450mm.
B. CemTies are to extend at least 500mm past the crack.
C. Depth of hole to be CemTie length +25mm.
D. CemTies are to be installed within the centre third of the wall.
E. In hot conditions ensure the masonry is well wetted or primed to prevent premature drying of the HeliBond due to rapid de-watering. Ideally additional wetting of the hole should be carried out just prior to inserting the CemTie.
F. Do not use HeliBond when the air temperature is +4°C and falling or apply over ice. In all instances the hole must be thoroughly damp or primed with HeliPrimer WB prior to injection of the HeliBond grout.

The above specification notes are for general guidance only and HeliFix reserves the right to amend details/notes as necessary.

GENERAL NOTES

If your application differs from this repair detail or you require specific advice on your particular project, call the HeliFix Technical Sales Team on 020 8735 5222. Our Technical Department can provide you with a full support service including:

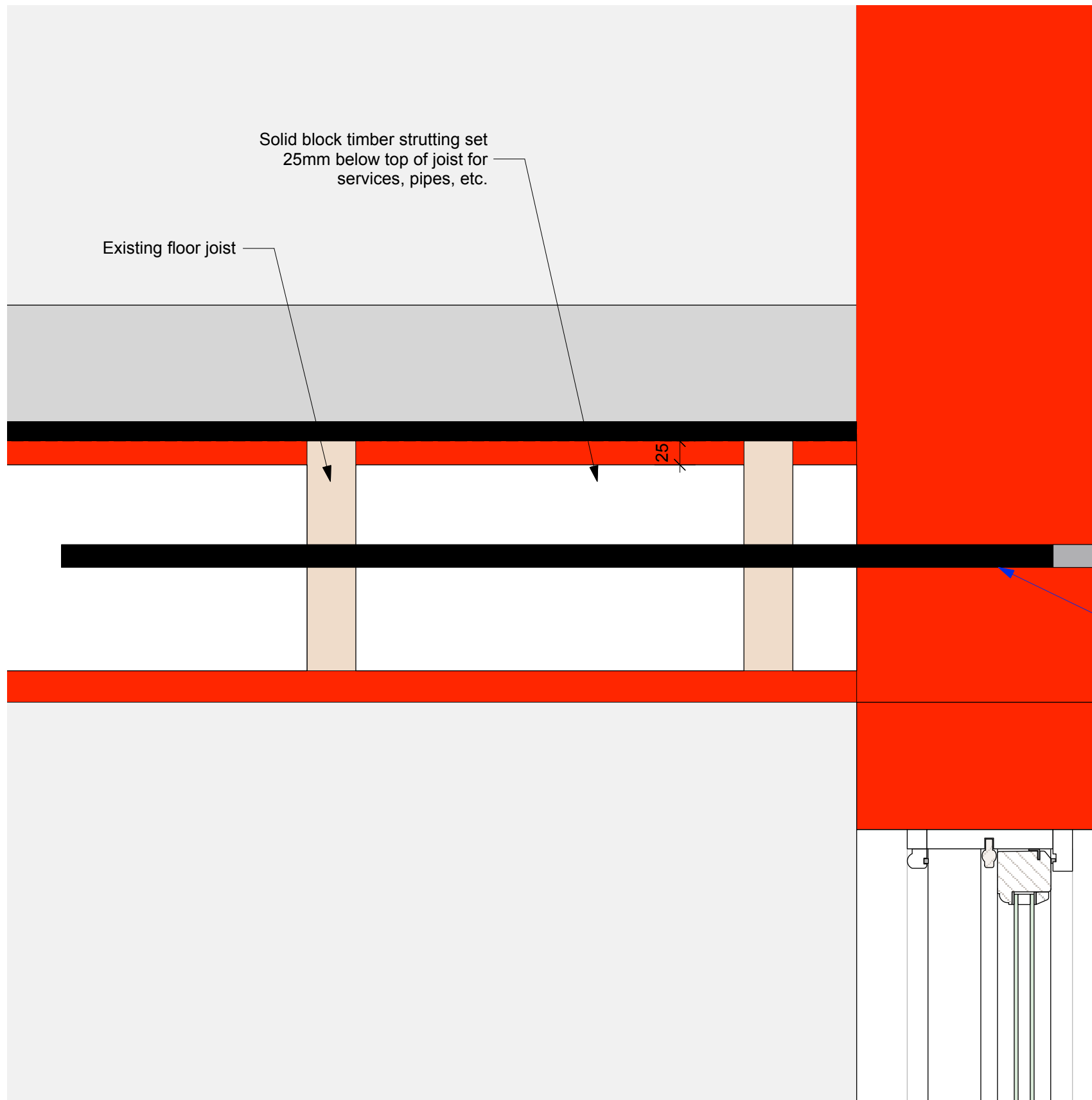
- Advice, assistance and recommendations on all structural repair matters
- Devising and preparing complete repair proposals for specific situations
- An Insurance-backed warranty via our Approved Installers scheme

ISSUE: DATE: COMMENT:
- OCT 16 Issue for planning and listed building consent

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	Job title				
1198	4 OVAL ROAD				
Drawing no.	Drawing title				
122.01	PROPOSED WALL PINING				
Scale	Size	Drawn	Revision		
1:1	A3	ML	-		

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.

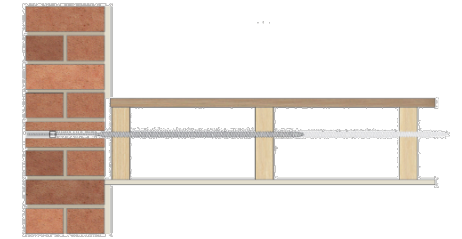
RB02 Restraining a Bowed Solid Wall using BowTie HDs into Joist Side



METHOD STATEMENT

1. Mark the positions for the BowTie HD clearance holes on the external wall.
2. Drill the clearance hole (normally 16mm) through the masonry to line up with the joist in the middle third of the timber away from the edges.
3. Clean out the hole to clear any dust or debris.
4. Fit the driver into an SDS hammer drill, set to rotary only. Insert the BowTie HD into the driver.
5. Screw the BowTie HD through the first and second joists (and the third if specified).
6. Place the sleeve over the tie and push it to the back of the hole in the outer leaf masonry.
7. Inject Helifix PolyPlus resin into the hole to fill it completely.
8. Allow the resin to gel (normally 15 to 20 minutes).
9. Make good all holes at the surface with brick dust or matching mortar or leave ready for any decoration.
10. Clean PolyPlus tools with a suitable solvent.

N.B. Ensure ceiling void is free of pipes and cables.



RECOMMENDED TOOLING

For drilling and insertion of BowTies.....SDS rotary hammer drill 650/700w
 For installation of BowTies.....BowTie HD driver
 For injection of PolyPlus resin.....Applicator gun

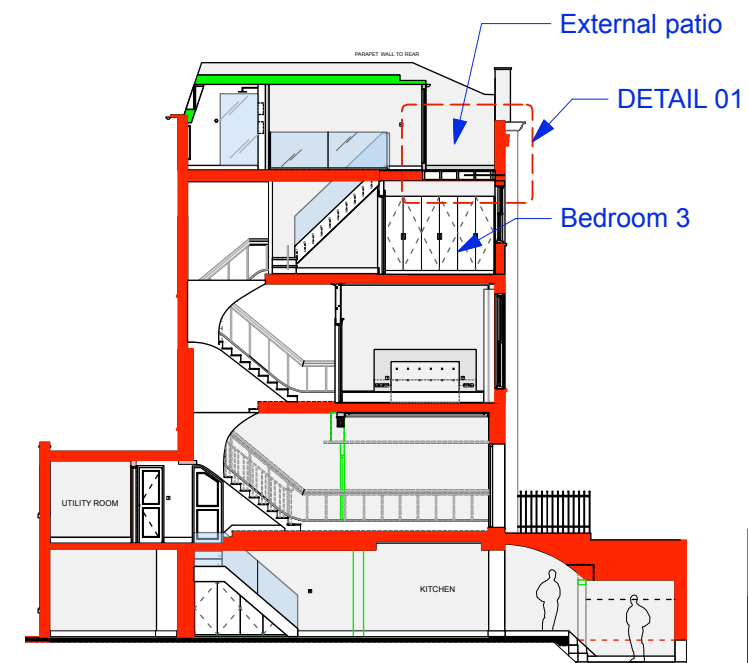
Specification Notes

The following criteria are to be used unless specified otherwise:
 A. BowTie HD penetration into the side grain of the last timber joist must be a minimum of 75mm or the tie should be driven through the joist.
 B. The maximum horizontal spacing between BowTies is 600mm.
 The above specification notes are for general guidance only and Helifix reserves the right to amend details/notes as necessary.

GENERAL NOTES

If your application differs from this repair detail or you require specific advice on your particular project, call the Helifix Technical Sales Team on 020 8735 5222. Our Technical Department can provide you with a full support service including:

- Advice, assistance and recommendations on all structural repair matters
- Devising and preparing complete repair proposals for specific situations
- An insurance-backed warranty via our Approved Installers scheme

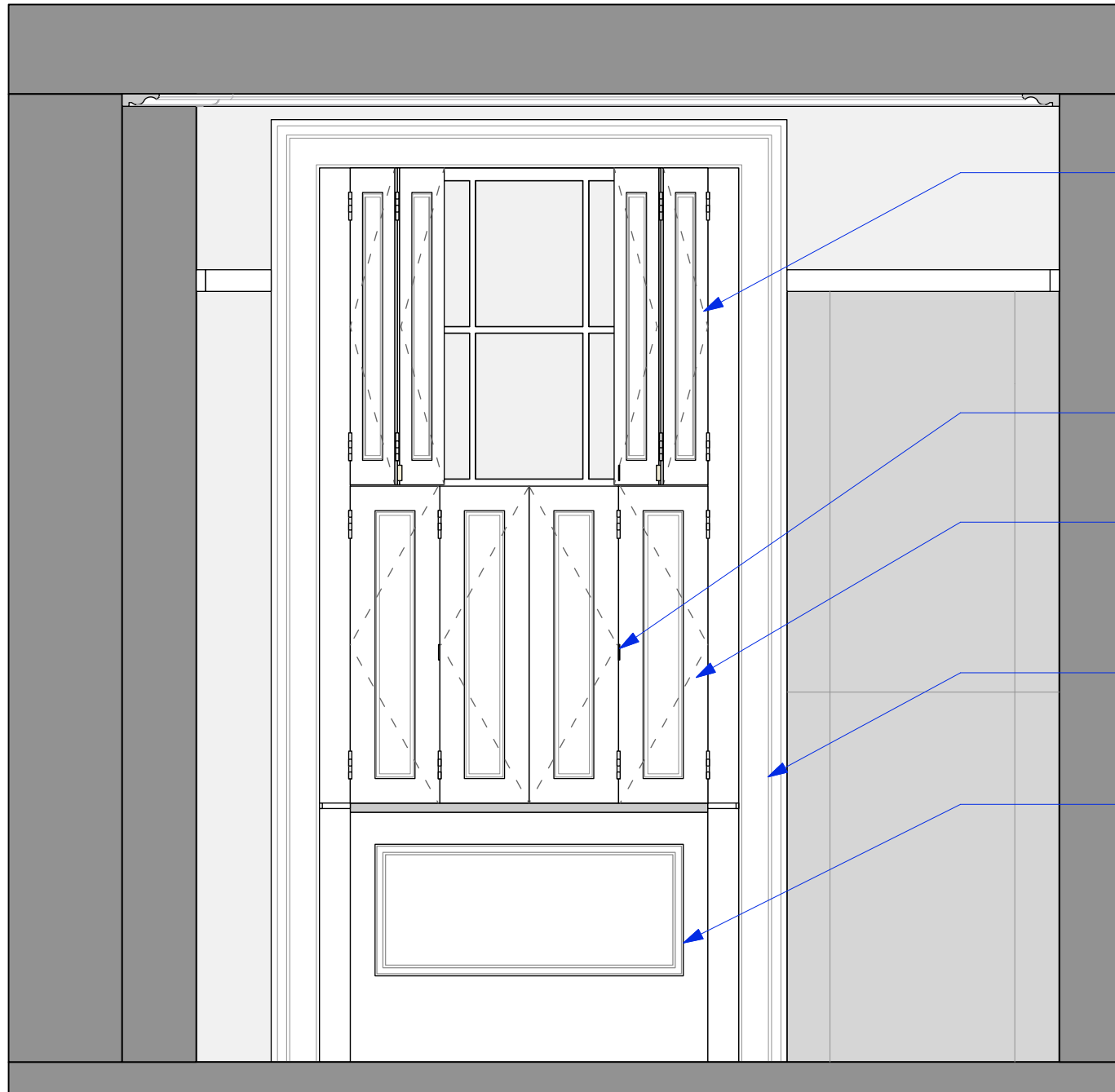


ISSUE: DATE: COMMENT:
 - OCT 16 Issue for planning and listed building consent

CallenderHoworth Morelands 5-23 Old Street London EC1V 9HL T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com			
Job no. 1198	Job title 4 OVAL ROAD		
Drawing no. 122.02	Drawing title PROPOSED WALL PINING		
Scale 1:1	Size A3	Drawn ML	Revision -

1 SECTION DETAIL 01
Scale: 1:5

2 SECTION
Scale: 1:200



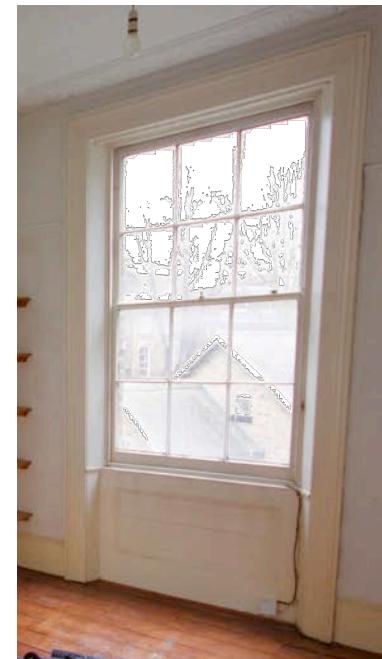
Top half shutters half open

Discreet pull handles tbc

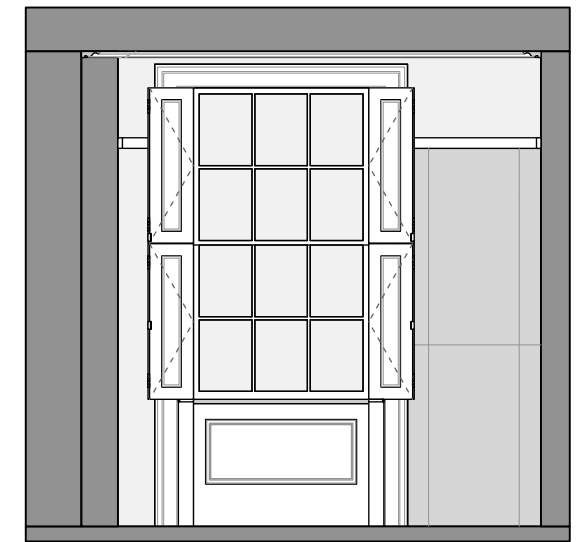
Bottom half shutters closed

Existing window reveal

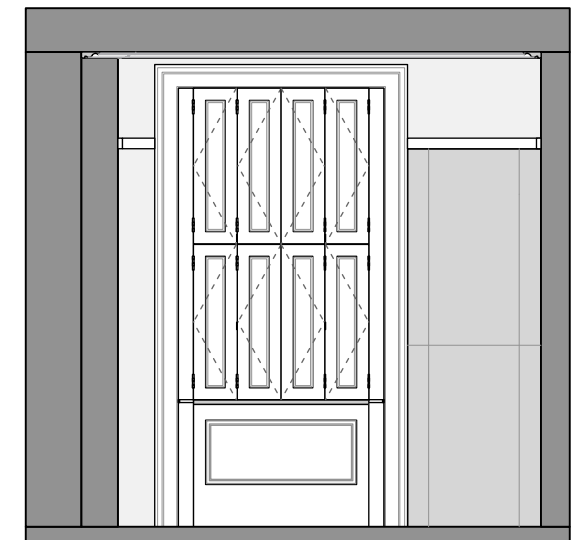
Existing paneling



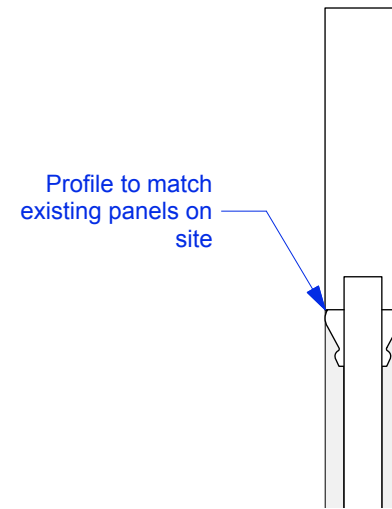
EXISTING WINDOW



3 ELEVATION - SHUTTERS OPEN
Scale: 1:50



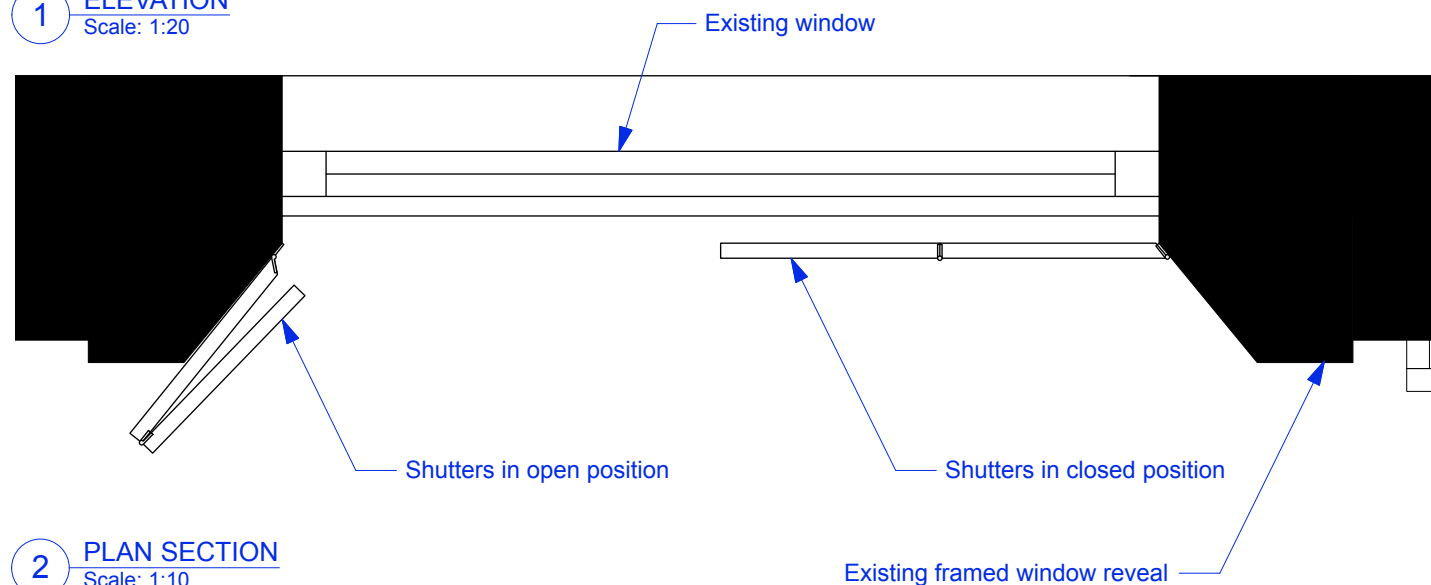
4 ELEVATION - SHUTTERS CLOSED
Scale: 1:50



Profile to match existing panels on site

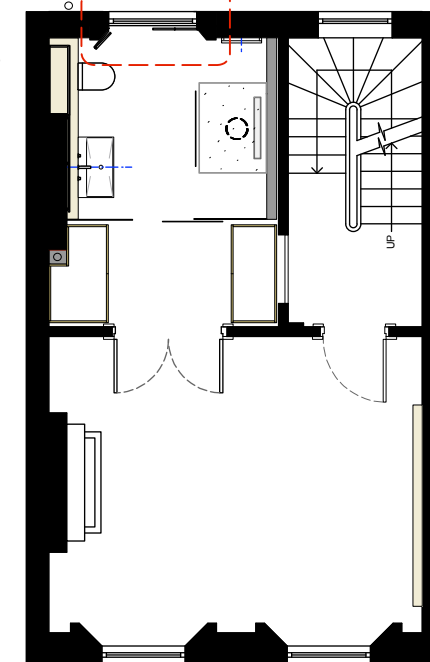
5 SECTION PROFILE DETAIL
1:2

1 ELEVATION
Scale: 1:20



2 PLAN SECTION
Scale: 1:10

WINDOW SHUTTER



6 FIRST FLOOR PLAN
Scale: 1:100

Note:
New painted timber shutters to be introduced to existing window reveal to match existing front windows.
Profile and style to match existing paneling

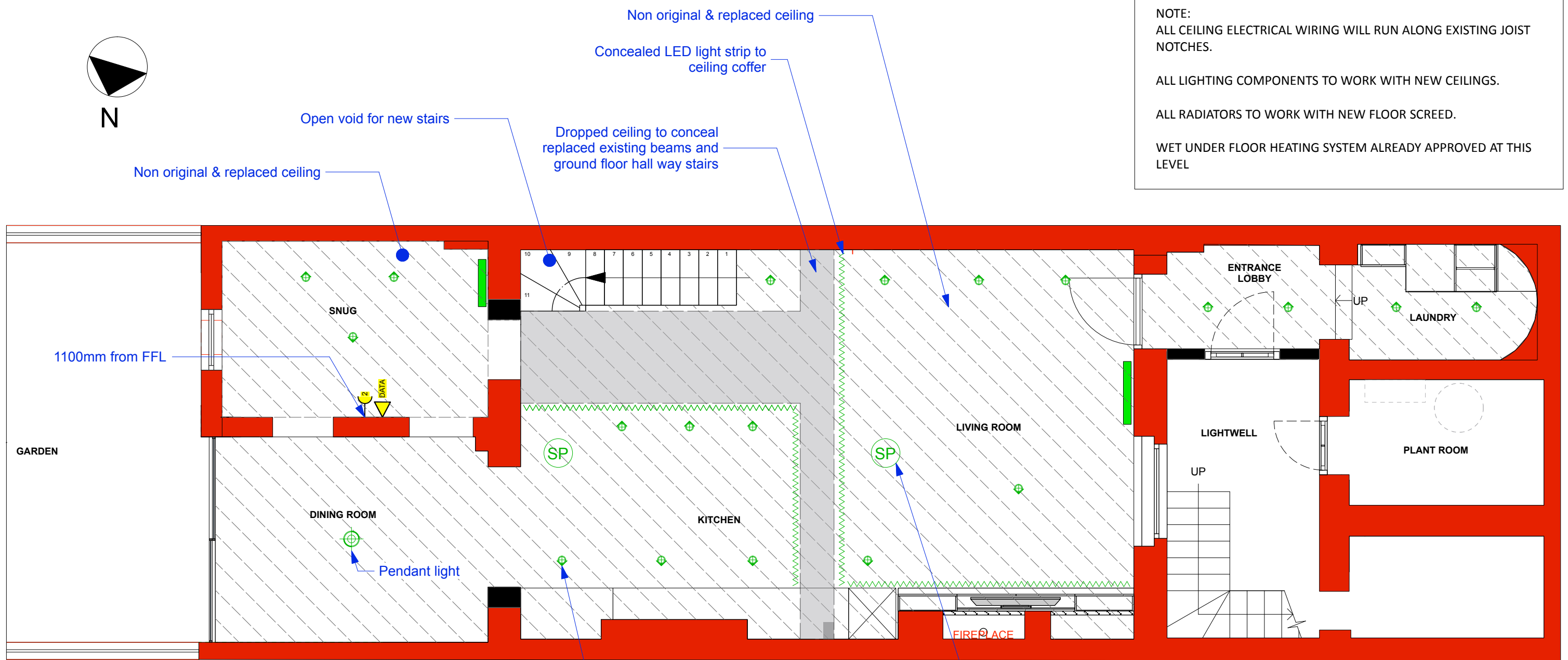
ISSUE: DATE: COMMENT:

OCT 16 Issue for planning and listed building consent

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	Job title				
1198	4 OVAL ROAD				
Drawing no.	Drawing title				
123	PROPOSED MASTER EN-SUITE WINDOW SHUTTER				
Scale	Size	Drawn	Revision		
Varies	A3	ML	-		

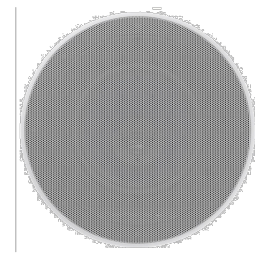
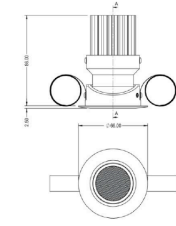
All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.

NOTE:
 ALL CEILING ELECTRICAL WIRING WILL RUN ALONG EXISTING JOIST NOTCHES.
 ALL LIGHTING COMPONENTS TO WORK WITH NEW CEILINGS.
 ALL RADIATORS TO WORK WITH NEW FLOOR SCREED.
 WET UNDER FLOOR HEATING SYSTEM ALREADY APPROVED AT THIS LEVEL



1 PROPOSED LOWER GROUND FLOOR M&E AMENDMENTS
 Scale: 1:50

LEGEND - RADIATORS
 PROPOSED RADIATOR POSITION
 EXISTING RADIATOR POSITION



LEGEND

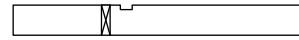
- █ Existing Walls
- - - Existing Non Historic Walls (Post 1973) to be demolished
- █ New walls
- - - Existing Originals Historic Wall (c 1835) to be demolished
- █ Existing Non Historic Walls (Post 1973)



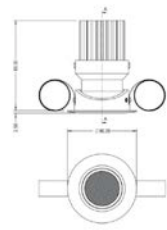
ISSUE: DATE: COMMENT:
 - - Issue for Planning Only

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	1198	Job title	4 OVAL ROAD		
Drawing no.	130	Drawing title	PROPOSED LOWER GROUND FLOOR M&E AMENDMENTS		
Scale	1:50	Size	A3	Drawn	ML
				Revision	-

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.



NOTE:
ALL CEILING ELECTRICAL WIRING WILL RUN ALONG EXISTING JOIST NOTCHES.



Removal of potential original fabric for recessed adjustable lights 57mm dia. cut out

Proposed spot light inserted into modern plaster board ceiling

Building regulations reject current hinged door and request sliding door to comply with fire regs

Rad proposed more suitable location and better BTU circulation.

Removal of potential original fabric. 57mm dia.

New location of light switch due to current location switch plate dimensions not suitable

Notch in joist

Under floor heating

Existing rad location to be removed to more suitable location and better BTU circulation

ENTRANCE HALL

Existing radiator to be removed

Removal of potential original fabric. 57mm dia.

VOID / LIGHTWELL BELOW

OVAL ROAD

New rad position. No existing heating in this room.

STUDY

WC

UP

UP

UP

A

RAD-04

PIANO ROOM

DRAWING ROOM

RAD-03

1 PROPOSED GROUND FLOOR M&E AMENDMENTS
Scale: 1:50

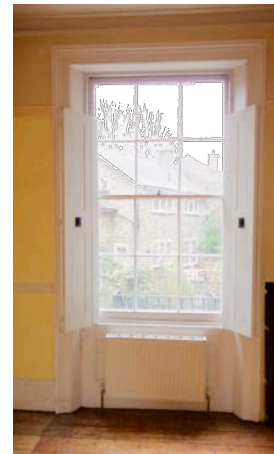
Existing radiator location. Replace with new rad.

New radiator location to be positioned to match opposite window rad position an to assist structural integrity of oist. Current radiator size and location does not suit BTU requirements. New notches may be required in joist for new rad positions.

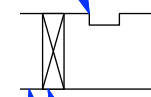
Replacement shutter details to follow



Proposed Bisque classic radiator. Colour tbc



Notch in joist for new rad pipes 80x30mm



New noggings put next to notches to strengthen joist

Existing joist



LEGEND - RADIATORS

- PROPOSED RADIATOR POSITION
- EXISTING RADIATOR POSITION



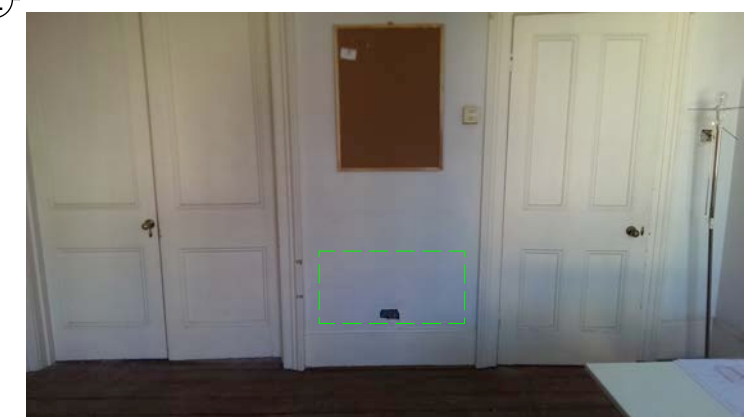
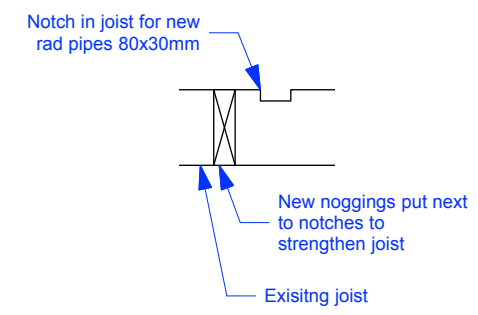
ISSUE: DATE: COMMENT:
- - Issue for planning Only

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	1198	Job title	4 OVAL ROAD
Drawing no.	131	Drawing title	PROPOSED GROUND FLOOR M&E AMENDMENTS
Scale	1:50	Size	A3
		Drawn	ML
		Revision	-

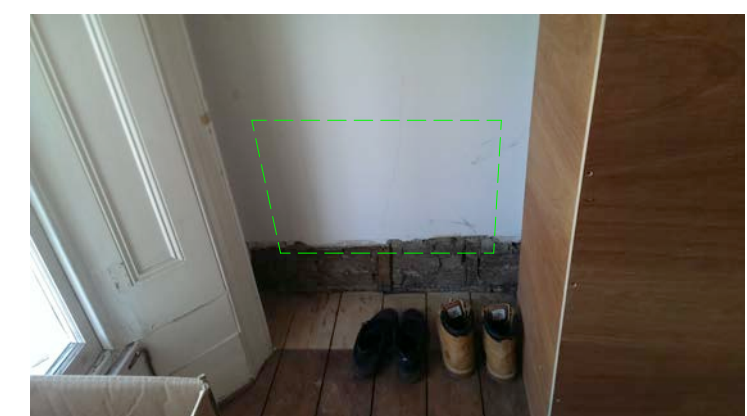
All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturers recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.



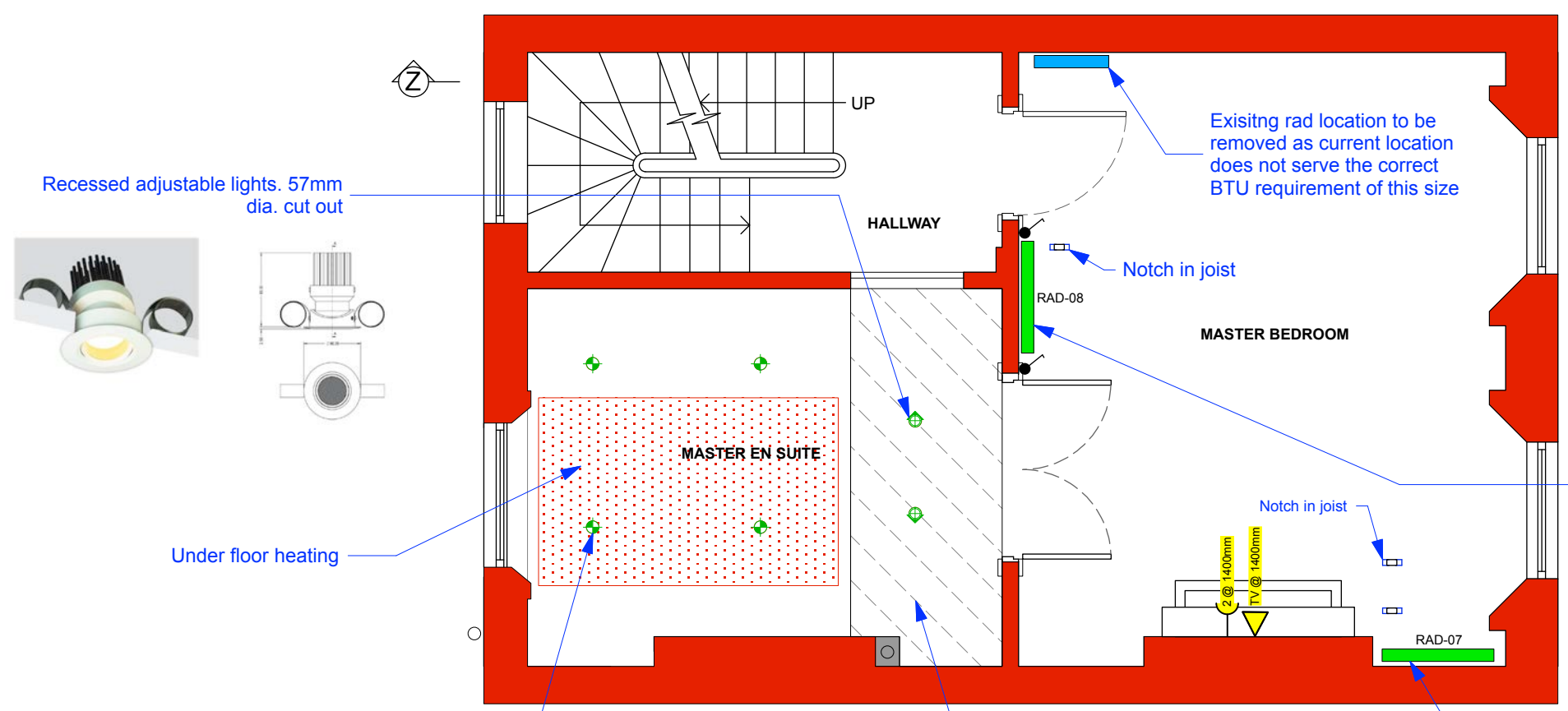
NOTE:
ALL CEILING ELECTRICAL WIRING WILL RUN ALONG EXISTING JOIST NOTCHES.



Proposed new radiator location to work best with the existing M&E configuration and BTU requirements. Existing plain wall. New notches may be required in joist for new rad pipes.



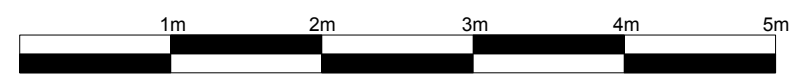
Proposed new radiator location to increase BTU output. Existing plain wall. New notches in joist may be required for new rad positions.



1 PROPOSED FIRST FLOOR M&E PLANNING AMENDMENTS
Scale: 1:50

LEGEND - RADIATORS
 PROPOSED RADIATOR POSITION
 EXISTING RADIATOR POSITION

LEGEND
 Existing Walls
 Existing Non Historic Walls (Post 1973) to be demolished
 New walls
 Existing Originals Historic Wall (c 1835) to be demolished
 Existing Non Historic Walls (Post 1973)



ISSUE:	DATE:	COMMENT:
Issue for Planning Only		
CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com
Job no.	1198	Job title 4 OVAL ROAD
Drawing no.	132	Drawing title PROPOSED FIRST FLOOR M&E PLANNING AMENDMENTS
Scale	Size	Drawn
1:50	A3	ML
		Revision
		-

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturer recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.

NOTE:
 ALL CEILING ELECTRICAL WIRING WILL RUN ALONG EXISTING JOIST NOTCHES.
 DUE TO THE CURRENT CONDITION OF MODERN PLASTERBOARD CEILING TO BE RE-BOARDED.
 ALL LIGHTING COMPONENTS TO WORK WITH REPLACEMENT CEILING.

DUE TO THE CURRENT CONDITION OF MODERN PLASTERBOARD CEILING TO BE RE-BOARDED.

ALL LIGHTING COMPONENTS TO WORK WITH REPLACEMENT CEILING.

Non original and replaced ceiling

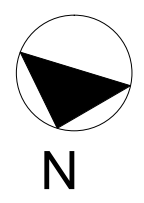
Note:
 Plumbing to run along existing joist

Non original and replaced ceiling

Non original and replaced ceiling

Under floor heating

Proposed new radiator to increase required BTU for room size. Plain painted wall.

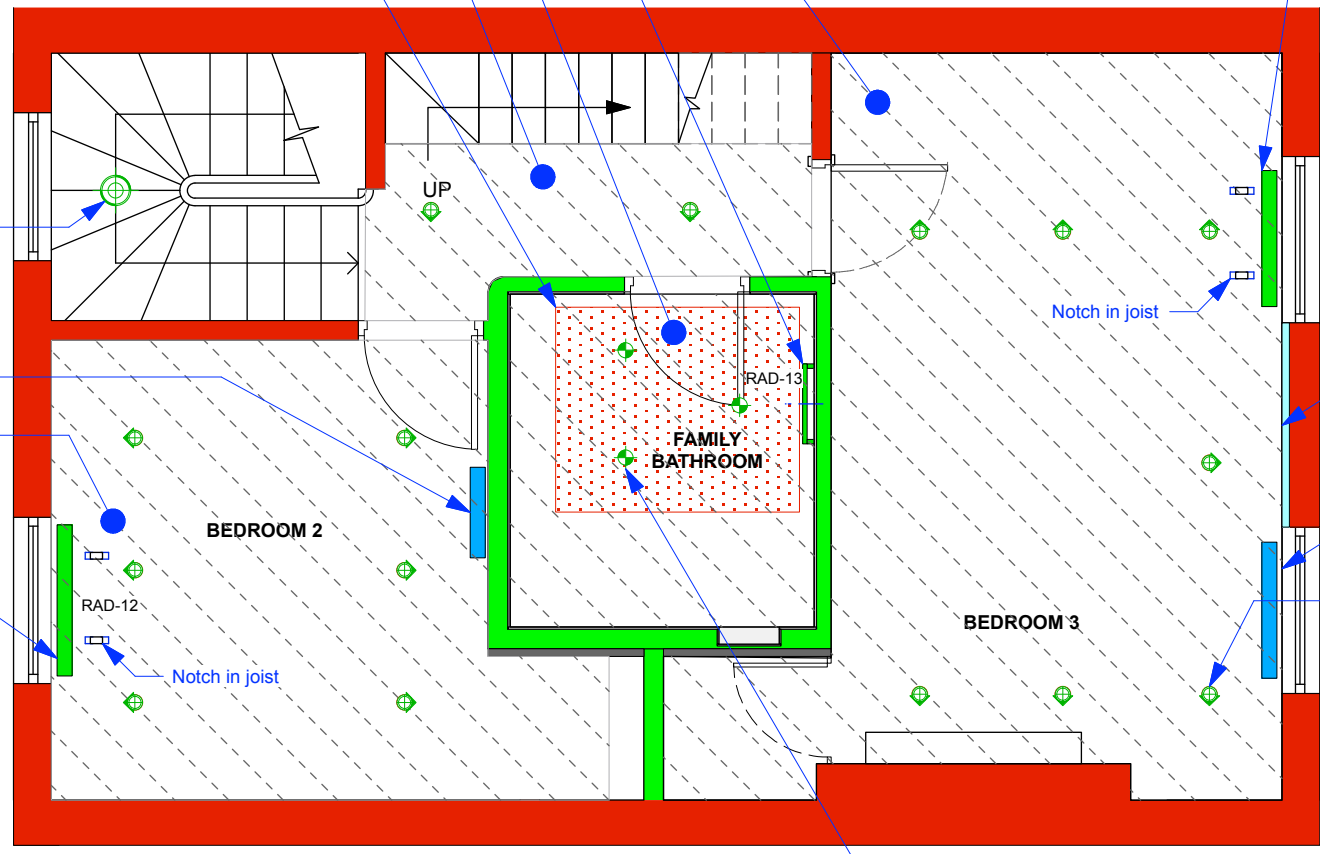


Pendant light

Existing radiator to be removed to new location

Non original and replaced ceiling

New radiator location to allow structural integrity and increase in dimensions to suit required BTU. Existing plain wall. New notches in joist may be required for new rad position pipes.

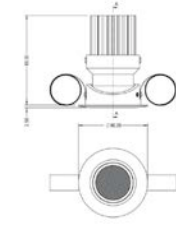


Notch in joist

Current original plaster with modern skim blown due to water damage. Propose to remove damaged plaster and re-plaster with traditional plaster.

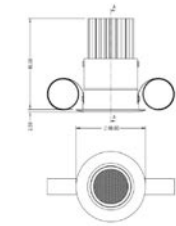
Existing radiator position to be kept

Recessed adjustable spot lights to ceiling above 66mm dia.

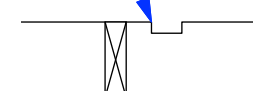


1 PROPOSED SECOND FLOOR M&E PLANNING AMENDMENTS
 Scale: 1:50

Recessed spot lights to ceiling above 66mm dia.



Notch in joist for new rad pipes 80x30mm



New noggings put next to notches to strengthen joist

Existing joist

LEGEND - RADIATORS
 PROPOSED RADIATOR POSITION
 EXISTING RADIATOR POSITION



LEGEND
 Existing Walls
 Existing Non Historic Walls (Post 1973) to be demolished
 New walls
 Existing Originals Historic Wall (c 1835) to be demolished
 Existing Non Historic Walls (Post 1973)
 Existing wall proposed to be re-plastered using traditional plaster

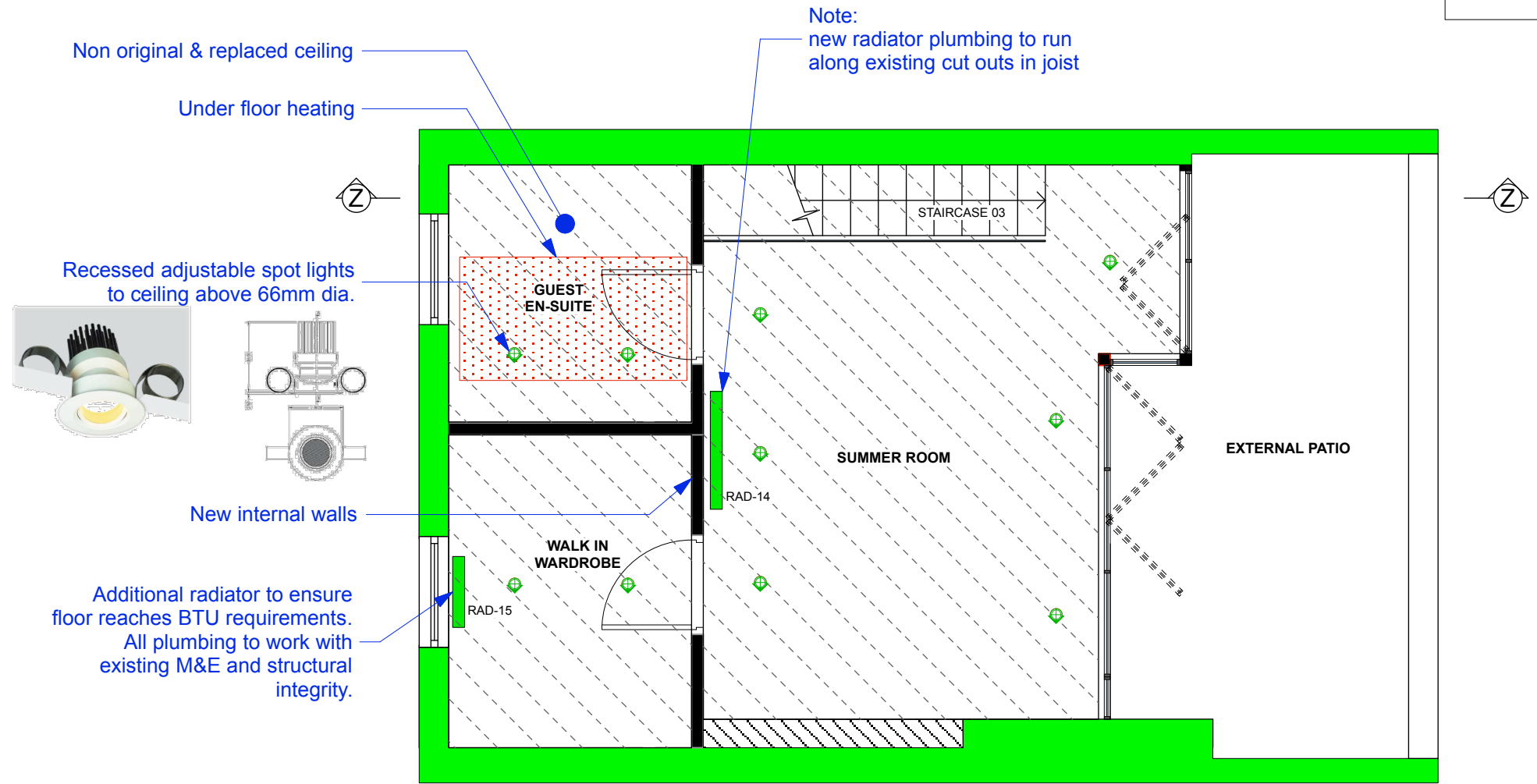
ISSUE: DATE: COMMENT:
 Issue for Planning Only

CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL		T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com	
Job no.	1198	Job title	4 OVAL ROAD		
Drawing no.	133	Drawing title	PROPOSED SECOND FLOOR M&E PLANNING AMENDMENTS & REPLACEMENT PLASTER		
Scale	1:50	Size	A3	Drawn	ML
		Revision			-

All works to be in accordance with relevant standards, British building codes, and other relevant codes, and with manufacturer recommendations and instructions. All dimensions to be checked on site. Do not scale from this drawing.



NOTE:
 ALL CEILING ELECTRICAL WIRING WILL RUN ALONG EXISTING JOIST NOTCHES.
 ALL LIGHTING COMPONENTS TO WORK WITH NEW CEILINGS.



1 PROPOSED THIRD FLOOR PLANNING AMENDMENTS
 Scale: 1:50

LEGEND - RADIATORS
 PROPOSED RADIATOR POSITION
 EXISTING RADIATOR POSITION



LEGEND
 Existing Walls
 Existing Non Historic Walls (Post 1973) to be demolished
 New walls
 Existing Originals Historic Wall (c 1835) to be demolished
 Existing Non Historic Walls (Post 1973)

ISSUE:	DATE:	COMMENT:
-	-	Issue for Planning Only
CallenderHoworth		Morelands 5-23 Old Street London EC1V 9HL T: 020 7336 8560 F: 020 7549 2152 W: www.callenderhoworth.com
Job no.	1198	Job title 4 OVAL ROAD
Drawing no.	134	Drawing title PROPOSED THIRD FLOOR M&E PLANNING AMENDMENTS
Scale	Size	Drawn
1:50	A3	ML
		Revision
		-

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