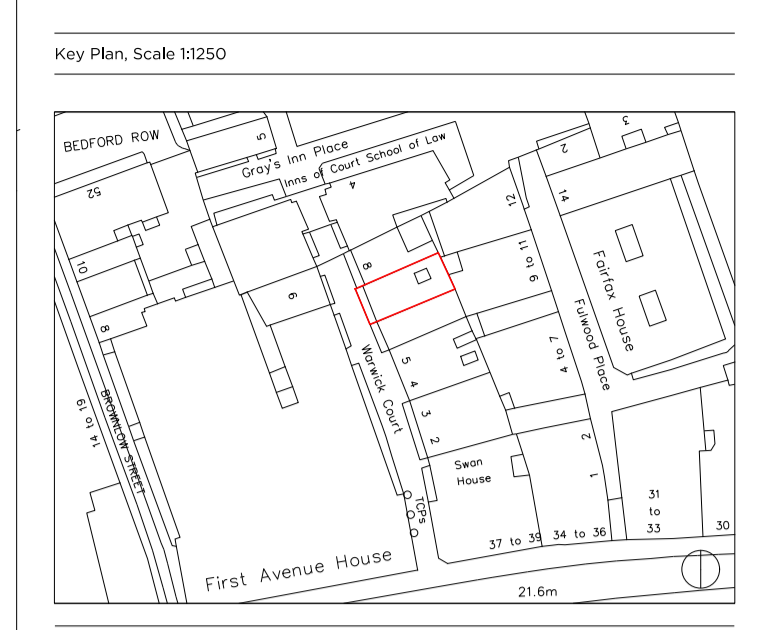


- C. Revision Note:**
- C.1 Existing roof finish & structure to be retained and reinstated.
 - C.2 Existing dormer windows to be retained.
 - C.3 Rafting and lightwell stair to remain in existing position.
- D. Revision Note:**
- D.1 Demolition of wall to allow for airbrick (219x140mm)



- Demolition Key:**
- [Hatched pattern] Existing structure / ground
 - [Dotted pattern] Proposed removal of existing structure (in section)
 - [Red dashed line] Proposed removal of existing structure/finishes (in elevation)
 - [Red solid line] Proposed removal of existing structure (in section)
 - [Red cross-hatch] Hatch denotes removal of existing concrete slab
 - [Red diagonal lines] Hatch denotes proposed removal of existing structure (in elevation)

- Proposed finishes legend**
- [Pattern] Proposed straight-plank hardwood floor finish on specified floor build-up
 - [Pattern] Proposed floor finish on specified floor build-up
 - [Pattern] Portland stone
 - [Pattern] Timber decking
 - [Pattern] Natural stone floor tiles
 - [Pattern] Proposed slate roof finish on existing and new roof structure

- General Note:**
1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
 2. All existing floor finishes and existing ply to be carefully removed.
 3. Existing floorboards to be carefully removed and reused where possible.
- Proposed legend notes**
- 01 Existing ceiling to be refurbished and redecorated.
 - 02 Existing window replaced with double-glazed, timber framed sash window.
 - 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
 - 04 Non-original skirting/trunking to be removed.
 - 05 Traditionally detailed, compliant, timber skirting to replace existing.
 - 06 Existing sash windows refurbished and fitted with secondary glazing internally.
 - 07 New, double-glazed, timber framed sash windows. Refer to Detail & Access Statement.
 - 08 New lift.
 - 09 Damaged window sills replaced on new level.
 - 10 Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.
 - 11 Existing rear envelope retained. New, non-removable, timber-clad rear wall to be preserved and maintained.
 - 12 Proposed bin store.
 - 13 New, double-glazed, anodised aluminium, restricted tilt framed windows, with etched glass louvers fitted externally.
 - 14 New, fixed, double-glazed, anodised aluminium framed glazing panels.
 - 15 New double-glazed, walk-on rooflight.
 - 16 New double-glazed, conservation rooflight.
 - 17 Partial demolition of existing roof, new ridge proposed, matching height and width of existing.
 - 18 New, automatic-opening vent to communal stair.
 - 19 Terrace to the roof of proposed rear extension with timber decking and glass balustrade.
 - 20 New, proposed condenser in attenuated enclosure.
 - 21 Proposed condenser in attenuated enclosure.
 - 22 Proposed condenser in attenuated enclosure, refer to M&E design.
 - 23 Reinstated stair to basement level, with compliant, traditionally-detailed, timber balustrade.
 - 24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
 - 25 Existing fireplace to be protected and covered.
 - 26 Reconfiguration of existing stair.
 - 27 New dummy window.
 - 28 New double-glazed, traditionally detailed French door.
 - 29 Lining to party wall.
 - 30 Proposed rear dormer arrangement to be fitted through existing windows. Reconfiguration of existing non-original dormer windows.
 - 31 Terrace to Flat 02, with new planting and Yorkstone paving.
 - 32 Existing joists to be trimmed out.
 - 33 Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
 - 34 Single, surviving cast-iron spindle to be preserved and maintained.
 - 35 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
 - 36 Slate to be removed, retained and new membrane installed. Existing tiles to be re-laid and any new tiles to match existing.
 - 37 Facade refurbishment.
 - 38 Existing facade to be re-rendered and redecorated.
 - 39 Etched glass partition.
 - 40 New Railings.
 - 41 Fixed & obscure proposed windows.
 - 42 Proposed Roof.
 - 43 Paint to be removed from Brickwork and redecorated as required.

- Proposed legend notes**
- 01 Existing ceiling to be refurbished and redecorated.
 - 02 Existing window replaced with double-glazed, timber framed sash window.
 - 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
 - 04 Non-original skirting/trunking to be removed.
 - 05 Traditionally detailed, compliant, timber skirting to replace existing.
 - 06 Existing sash windows refurbished and fitted with secondary glazing internally.
 - 07 New, double-glazed, timber framed sash windows. Refer to Detail & Access Statement.
 - 08 New lift.
 - 09 Damaged window sills replaced on new level.
 - 10 Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.
 - 11 Existing rear envelope retained. New, non-removable, timber-clad rear wall to be preserved and maintained.
 - 12 Proposed bin store.
 - 13 New, double-glazed, anodised aluminium, restricted tilt framed windows, with etched glass louvers fitted externally.
 - 14 New, fixed, double-glazed, anodised aluminium framed glazing panels.
 - 15 New double-glazed, walk-on rooflight.
 - 16 New double-glazed, conservation rooflight.
 - 17 Partial demolition of existing roof, new ridge proposed, matching height and width of existing.
 - 18 New, automatic-opening vent to communal stair.
 - 19 Terrace to the roof of proposed rear extension with timber decking and glass balustrade.
 - 20 New, proposed condenser in attenuated enclosure.
 - 21 Proposed condenser in attenuated enclosure.
 - 22 Proposed condenser in attenuated enclosure, refer to M&E design.
 - 23 Reinstated stair to basement level, with compliant, traditionally-detailed, timber balustrade.
 - 24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
 - 25 Existing fireplace to be protected and covered.
 - 26 Reconfiguration of existing stair.
 - 27 New dummy window.
 - 28 New double-glazed, traditionally detailed French door.
 - 29 Lining to party wall.
 - 30 Proposed rear dormer arrangement to be fitted through existing windows. Reconfiguration of existing non-original dormer windows.
 - 31 Terrace to Flat 02, with new planting and Yorkstone paving.
 - 32 Existing joists to be trimmed out.
 - 33 Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
 - 34 Single, surviving cast-iron spindle to be preserved and maintained.
 - 35 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
 - 36 Slate to be removed, retained and new membrane installed. Existing tiles to be re-laid and any new tiles to match existing.
 - 37 Facade refurbishment.
 - 38 Existing facade to be re-rendered and redecorated.
 - 39 Etched glass partition.
 - 40 New Railings.
 - 41 Fixed & obscure proposed windows.
 - 42 Proposed Roof.
 - 43 Paint to be removed from Brickwork and redecorated as required.

Rev D	01.11.16	Issued for planning submission
Rev C	12.09.16	Issued for planning submission
Rev B	07.07.16	Issued for planning submission
Rev A	03.12.15	Issued for planning submission

PLANNING

Project No. **14029**

Client **GFZ Developments Ltd.**

Date **October 2015**

Scale **1:100@A3 / 1:50@A1**

Project **7 Warwick Court**

Drawing Title: **Demolition Front Elevation**

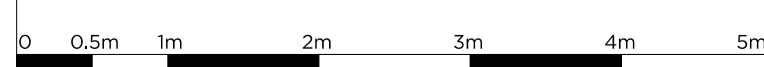
Drawing No. **D_07** Rev. **D**

Drawn	Approved	Signed
CK	MW	AB

Marek Wojciechowski Architects Ltd.

66-68 Margaret Street W1W 8SR T. 020 7580 9336 www.mwa.co.uk

Copyright Marek Wojciechowski Architects Limited. No implied license exists. This drawing should not be used to calculate areas for the purposes of valuation. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. Do not scale drawings. All work must comply with relevant British Standards and Building Regulations requirements. Drawing errors and omissions to be reported to the architect.



4 GRAY'S INN PLACE 8 WARWICK COURT 7 WARWICK COURT 6 WARWICK COURT 5 WARWICK COURT