

Our Ref: RB/108496-107837-104022/sp

10/03/2016

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Dear Sir,

**33, 56, 58, 64, Frederick Street, London, WC1X 0ND**

Further to our collective site meeting at the above properties on the 29<sup>th</sup> September 2016 we report as follows.

### **LOWER GROUND FLOOR LEVELS**

Re-inspection of the walls using an electronic moisture meter revealed evidence of sporadic dampness throughout each lower ground floor flat. The main reasons for the dampness are due to: -

- a) Rising damp.
- b) Past and present defective rainwater goods.
- c) Possibly blocked up chimney flues, bridging any existing DPC's.
- d) Past and present plumbing leaks.
- e) Condensation.

With regard to items b-e the causes of moisture can be attended to by the main contractor.

We can confirm that once the defects have been attended it is possible that some walls may dry out, albeit very slowly, possibly 12-18 months. However, because it is likely that some of the affected plasters are salt contaminated they may, eventually need to be replaced with a two coat waterproof sand and cement render. This will prevent the migration of salts as residual dampness evaporates to the surfaces, during the drying out period.

By carrying out 'patch repairs' to damp plasters, this will only result in diverting the moisture to adjacent dry areas. We could then have a situation whereby the contractor or damp specialist would be forever returning to the properties to carry out more and more plaster repairs.

Financially, the cost of carrying out repairs only over possibly several visits would eventually be much more expensive than re-plastering as specified in our recent reports.



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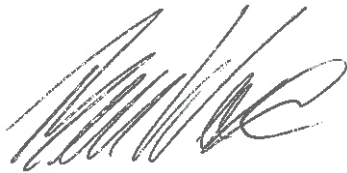
Based on our findings we confirm that the specified works and method is appropriate.

The use of a cavity membrane combined with a chemical damp proof course over existing render, where deemed suitable, helps to reduce and avoid the need to hack off existing renders and is far less destructive but still offers an acceptable level of waterproofing.

We confirm that previous works carried out the other properties in this project using the cavity membrane system in our opinion is acceptable.

We hope this helps to clarify the matter and please do not hesitate to contact us should you require any further information.

Yours faithfully,



*R.B.*  
**Ron Browning CSRT CSSW  
SURVEYOR  
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