

Our Ref: RB/107837/sp

31/10/2016

Mr G Burke
Fitzgerald & Burke
87 Oakleigh Road South
London
N11 1HJ

Dear Sir,

33 Frederick Street, London, WC1 - 107837

We have pleasure in enclosing our amended specification and estimate for your attention. Please do not hesitate to contact your surveyor Mr Ron Browning (Mobile 07974 454137) if there are any points you wish to discuss.

OPTIONAL: - It is strongly recommended to install pumps and channels as part of the specified cavity drain membrane system. Client accepts the risk of flooding should pumps and channels be omitted especially in areas of high water tables and during periods of heavy rainfall.

Please contact our Contracts Department, on 020 8208 2033 to book a commencement date and send your completed acceptance form (blue) to instigate the works.

Yours faithfully,


128
**Ron Browning CSRT CSSW
SURVEYOR
WARD DAMP-PROOFING LIMITED**



17 Fairways
New River Trading Estate
Cheshunt
Hertfordshire, EN8 0NJ
Tel: 01992 629613
info@warddamp.com
www.warddamp.com



33 Frederick Street, London, WC1 - 107837

DATE OF INSPECTION: 18/08/2016 & amended 31/10/2016

SURVEYOR: R Browning

CLIENTS INSTRUCTIONS

To re-inspect the basement areas and estimate for the supply and installation of a cavity drained membrane system as shown on the attached drawing.

Moisture meter readings were taken to exposed wall surfaces and visual evidence of penetrating and rising damp.

This specification has been prepared on the instructions of, and is for the sole use of, the person who instructed the specification and is not for the use of, nor will any liability be accepted in respect of, any third party.

INSPECTION REPORT

At the same time as the visual inspection, moisture meter readings were taken and indicated dampness in the areas as shown on the drawing. Where variations of wall construction are noted, these will be marked on the attached plans.

THE DAMPNESS COULD BE DUE TO THE FOLLOWING

1. Water ingress due to hydrostatic pressure below / around structure.
2. Absence of effective damp-proof course.
3. Hygroscopic plaster which absorbs moisture in damp conditions.
4. Rising Dampness:- This is caused by moisture rising in the walls by capillary action. Rising damp will draw nitrates, chlorides and other salts from the ground. These salts are deposited on the face of the plaster as water evaporates from the surface. They are hygroscopic and therefore cause the face of the wall to be persistently damp, particularly during periods of high humidity, even after the rising damp has been arrested.

SUGGESTED REMEDIAL MEASURES

Our recommendation is to supply and fit a drained cavity membrane system compliant to British Standard 8102 and on this basis we have pleasure in enclosing our estimate for your consideration.

GUARANTEE: - Upon completion of the works and payment in full, a 10-year guarantee will be issued in respect of the cavity drain membrane installation carried out by us at the property.

WORK TO BE UNDERTAKEN BY CLIENT

1. As stated in section 'General Information' (attached).
2. Remove all furniture and/or coverings from the areas to be treated.
3. Client to inform all statutory authorities (District Surveyor) etc. and to obtain party wall agreements if applicable, prior to the commencement of WARDS on site.



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4. Re-decorate using only water based/vapour permeable paints until the walls have thoroughly dried out, (minimum 6 months). Vinyl paint and wallpaper is not recommended.
5. Provide electrical and water supplies. Failure to do so could result in extra costs.
6. The client is to ensure that the floors and cupboards are adequately protected prior to the arrival of our operatives on site. When removing old plaster, considerable amount of dust will be created throughout the property. It is therefore essential for furnishings and effects to be adequately protected. Such work is not allowed for by us and should be completed prior to the arrival of our operatives on site.
7. Please note that it is the customer's responsibility to advise **WARDS** of the location of any hidden wiring or pipes **BEFORE** work commences. In the absence of such advice, **WARDS** cannot accept liability for consequential damage. Due to the fragile nature of Burglar Alarm wires, we advise that they are removed prior to our works by a qualified engineer. Should they be left in situ, every care will be taken but we cannot be held responsible for damage or consequential loss.
8. Do not puncture membrane systems.
9. CLIENT TO: -
 - a) Carry out any structural alterations prior to our arrival.
 - b) Ensure there is a minimum 150mm concrete slab in place.
 - c) Ensure there is an adequate seal between the new wall cavity drained membrane and any damp proof membrane in the solid floor. Cut back / renew floor lap screed.
 - d) Provide renders or dry lined finish to our membranes.

PAYMENT TERMS – (See terms and conditions, reverse of acceptance form)

Our acceptance form must be returned prior to commencement on site along with required deposit.

Full payment is required upon presentation of invoice. If the client cannot settle upon the receipt of the invoice the company should be notified prior to the commencement of the works.



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CAVITY DRAINED MEMBRANE SYSTEM REVISED ESTIMATE

Please note our estimate is valid for 90 days, after which, we reserve the right to revise at our discretion.

All prices are subject to the addition of VAT at the standard rate.

| | |
|--|------------|
| To supply and fit cavity drained membrane to walls as shown on the enclosed drawing. | £4550.00 |
| To supply and fix plasterboard and set to walls on timber battens at 400mm centres. | CLIENT |
| To apply 2 coats of render to walls shown on the enclosed plans (if required). | CLIENT |
| To apply a set coat to walls (not recommended to rendered vaults). | CLIENT |
| To mastic seal around service entries. | £50.00each |
| To supply and install new standard type skirtings. | CLIENT |
| To hack off loose existing plasters and excavate floor screeds. | CLIENT |



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PREPARATION

(To be carried out by the clients separate contractor unless specified and priced by WARDS).

1. All loose material to be removed.
2. Door frames removed and set aside (if applicable).
3. All skirtings/joinery, organic items removed and set aside.
4. All fixtures/fittings removed where appropriate.
5. All means of ventilation considered to reduce condensation risks and heating installed where appropriate.
6. Remove all services i.e., electrics, gas, water, heating pipes etc., unless clear and full access if possible behind. (Selected items can be left behind membrane or worked up to. To be agreed prior to site commencement).
7. Studwork walls removed or cut back from main walls if appropriate.
8. Any existing patches of loose friable plaster hacked off and made good. All areas of carlite or light weight plaster to be removed.
9. Timber lintels removed and replaced with appropriate lintels (existing steel beams to be treated anti corrosion).
10. New solid floors laid to falls with facilities for drainage of water unless WaterGuard specified.
11. Client to check drainage where pumps not specified and prove all drains past the connection point to the public drains are adequate for the purpose. No liability can be accepted where drains are connected to a soak away in the event that they are full up.
12. Clients responsibility to maintain drains no liability can be taken if drains back up or insufficient to handle flash flooding.

Please note it is the client's contractors responsibility to protect our membrane after installation, unless otherwise stated.

NOTE

Maintenance of the pumps is essential, please refer to manufactures recommendations. However, pumps should be serviced at least once each year.

It is important to maintain a constant power source. Isolating switches should only be switched off during maintenance works, or if defects are suspected.

Where pumps are not specified, solid floors must be cambered and gullies formed to remove water to a safe place of discharge.

Our membrane must not be punctured after installation. If any fixings cannot be avoided please contact WARDS for advice. Generally a membrane plug can be inserted where a fixing is to take place if advised in advance.

A return visit can be arranged to install fixing points with a minimum charge of £220.00 – plugs at £4.00 each the first 10 to be included.

NOTE

Our plastering (where specified) allows for a thickness up to 20mm, additional thickness may be required to achieve a level surface at which time WARDS will advise of additional costs, likewise our floor screed allows for a thickness of 50mm. Any additional thickness will be charged on a pro-rata basis and agreed in advance.

Particularly frail surfaces may require a coat of render prior to the membrane. WARDS will generally price this item, if required.

CAVITY MEMBRANE SYSTEM ADVANTAGES OVER RIGID TANKING

Recommended type C system in accordance with the following: -

1. BS8102 (1990)
2. Building regulations (Basements for Dwellings).
3. The Design Guide for new construction.
4. The Construction Industry Research and Information Association (CIRIA) No.139 and 140.
5. Easier to comply to CDM with regard to HSE directive on hand vibration syndrome.
6. Not susceptible to vibration, cracking or minor structural movement.
7. No need to hack off (in most cases), or bush hammer.
8. Preserves wall structure as we are not hacking off or bush hammering.
9. May not need to renew solid floors (in most cases).
10. Quiet working.
11. Quick application.
12. Clean working with no excessive dust.
13. Allows water pressure to release, rather than building up behind the system and diverting elsewhere.
14. Easy loading and manoeuvre of materials.
15. Resistant to most chemicals.
16. Vapour proof.
17. Reduces condensation risks by cutting out a cold surface.
18. Compatible with dehumidifiers and air conditioning units by providing drainage outlets.
19. Terms and Conditions: -

❖ The following terms must be read in conjunction with the survey findings and recommendations, or quotation/estimate, and followed where appropriate in all circumstances, otherwise the efficacy of our work will be negated and the terms of guarantee will become void.

❖ Always inform WARDS if the system is damaged or disturbed after completion, because repair will be necessary.

❖ Notwithstanding that, depending on the scope of waterproofing works proposed, escape of vapour from the substrates will be limited or prevented; it is necessary for ventilation and heating to be included, sufficient to meet the requirements of intended usage, so that condensation is discouraged in the future.

❖ For the specialist works to be successful, it is imperative that the recommended associated works by others be carried out, either at the same time and in association with the specialist works if directly related, or within a reasonable period of time (12 weeks) if not, otherwise the effectiveness of the contractors works could be negated.



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GENERAL INFORMATION

1. All damp and defective plaster is to be hacked off to 600mm past the last sign of dampness to areas shown for treatment in our specification. The walls are then to be rendered and set in two coat sand and cement (3 part fine sharp washed sand to 1 part cement with Cementone Beaver No.2 render additive) to follow the contours of the substrate. The second coat is not always essential on dry walls. The floating coat should then be scratched to receive a Thistle Multi Finish.
2. Where the floors are solid, the render coat should not be taken down to the floor and the setting coat should finish above the bottom of the render. Allowance has been made in our estimate for render and setting up to 22mm thickness. Where greater thickness is required, this will be charged as an extra on a pro-rata basis. Where special finishes are required, e.g., plumb and dot, we will be pleased to provide an extra-over cost.
3. Where rendering/replastering is to take place by others above WARDS works this must be carried out in accordance with sand and cement render to WARDS specification.
4. Ensure that external ground level is below internal floor level, unless otherwise stated. (Client)
5. Make good to defective pointing and spalled brickwork as required. (Client)
6. Make good to defective rainwater goods and downpipes as required. (Client)
7. Maintain the property in a good state of repair.
8. Client to ensure an adequate balance of heating and ventilation exists.
9. Client to ensure external renders and plinths do not bridge the damp proof course.
10. Our render/set scheme allows for application up to the heights as marked on the attached plan taking into account the extent of known salt contamination. The client is advised that where latent salts or residual moisture are present additional work may be required, for which we will be happy to estimate upon receipt of your instructions.
11. Please note our measurements are to be measured upon completion and not upon the enclosed drawing which is not to scale. Angle beads have only been allowed for the height of rendering quoted.
12. Please note that where site conditions prevent continuous working we reserve the right to apply the following minimum charges per site visit at our discretion. All DPC and timber treatments works £220.00. All rendering works £480.00. Each ancillary item within our quotation is based on a minimum charge of £400.00. If we do not carry out all of the works specified in each item, the calculation of our final account shall revert to either the above minimum charges or on a pro-rata basis, whichever is the greater.
13. Due to the density of rendering coats applied, some cracking/crazing of the setting coat may occur during the drying out process. This is not detrimental to the performance of the rendering and any surface damage can be repaired by the decorating contractor.
14. Please note that due to restrictions of access, it has not been possible to inspect all timbers adjacent or set into damp walls. We must advise the client that wherever timbers are abutting or set into walls that are or have been damp, there is a risk of timber decay and such timbers should be cut back and isolated from all sources of moisture.
15. Client to ensure that adequate heating and ventilation is provided to the property to allow drying out of new renders, vent residual moisture and prevent condensation.
16. During the removal of render etc. to the walls to be treated, the possibility of damage to the brickwork or structure can occur, for which we cannot be held responsible. If repairs become apparent during the preparation works, we would be happy to submit an estimate for works required, or the client may wish to employ their own contractor to carry out such works.
17. Remove and re-fix all joinery items on completion of the works as required using treated timber and fungicidal joinery linings.
18. You must arrange for the removal (and subsequent reinstatement as required) of all fixtures and fittings and plumbing items, e.g., sanitary ware, radiators, pipes etc., from the areas for treatment prior to the arrival of our operatives on site, unless our estimate includes such items.
19. Incorporate, in areas of new concrete flooring, a suitable horizontal damp-proof membrane, which should be lapped up the walls at all points of abutment to enable the upstand to link up with the specified treatment to the exposed damp wall surfaces. The minimum height of the upstand should be 100mm. Where Synthaprufe or similar is specified, application to the wall/floor angle must be delayed until the render and setting works have been completed.
20. For a successful SIKA application, the surfaces to be treated must be structurally stable and be prepared as per our specification. If, during preparatory works, inherent defects are found e.g., concealed steel beams, we reserve the right to alter our specification as required. Do not puncture Sika renders in anyway.
21. Please Note: Gypsum based plasters i.e. Carlite Bonding, Browning etc. should not be applied over or adjacent to tanking works.
22. This specification has been prepared on the instructions of and is for the sole use of the person who instructed the specification and is not for the use of, nor will any liability be accepted in respect of any third party.
23. The client to be aware that when removing the tapes sealing the protection, there are possibilities of leaving marks on the wall/floor finishes. The client to attend to the marks during the course of the redecorating, following our works. Unfortunately, no allowance or financial recompense can be made for making good to any such marks.



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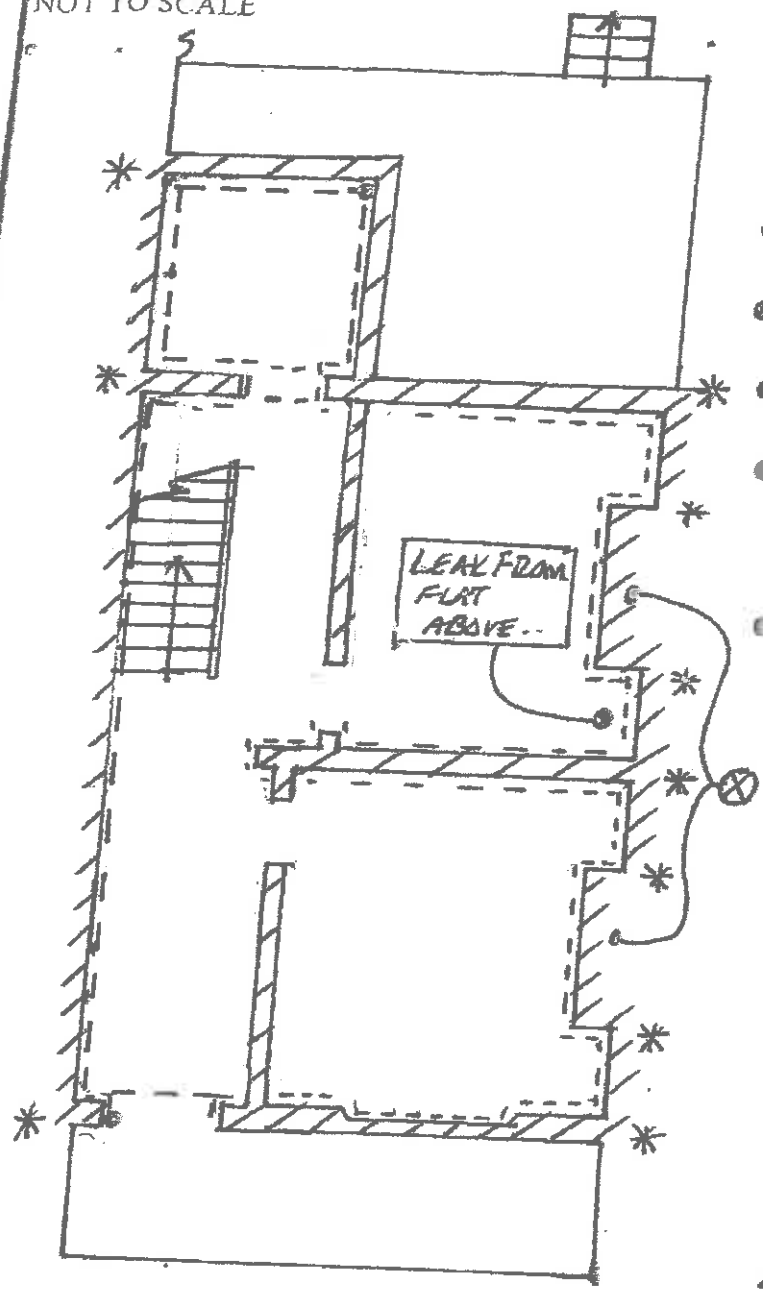
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NOT TO SCALE



CLIENT TO:

- CARRY OUT STRUCTURAL ALTERATION PRIOR TO OUR ARRIVAL
- ENSURE SOLID FLOORS HAVE ADEQUATE D.P.M.S.
- REMOVE + RENEW UNITS - ELECTRICS & PLUMBING ITEMS
- ATTEND TO LEAKS FROM THE FLAT ABOVE.
- ATTEND TO THE BROKEN EXTERNAL CONCRETE APRON AT PAVEMENT LEVEL - ADJACENT TO FLANK WALL.
- REMOVE STAIRCASE - IF INSUFFICIENT GAP FOR MEMBRANE BETWEEN STRINGER + WALL. (30-60mm.)

NO MEMBRANE TO FRONT + REAR ROOM - PARTITION WALLS -

BASEMENT LEVEL
DO NOT PUNCTURE MEMBRANES

Job **33 FREDERICK STREET**
LONDON - N.C.1.

Ref: **RB 1107837**

Date **19TH. AUGUST 2016**

NOTES

AMENDED: 31-10-16

KEY

III - DPC INJECTION - ALREADY CARRIED OUT BY WARDS.

* - VERTICAL DPCS.

--- ~ FULL HEIGHT CAVITY MESH MEMBRANE. LINK TO ANY FLOOR DPM. CLIENT TO CUT BACK + RENEW SCREDS.

⊗ ~ CLIENT TO OPEN UP FLUES - CLEAN OUT - VENTILATE AND MAKE GOOD.

WARD DAMP-PROOFING LTD

PRESERVATION HOUSE

**115 BRENT TERRACE
LONDON NW2 1LL**

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Fax: 020 8452 9373

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33 Frederick Street, London, WC1 - 107837

ACCEPTANCE/ORDER FORM

All prices are subject to VAT at the standard rate.

DATE OF INSPECTION: 18/08/2016 & 31/10/2016

SURVEYOR: R Browning

- | | |
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| To supply and fit cavity drained membrane to walls as shown on the enclosed drawing. | £4550.00 |
| To supply and fix plasterboard and set to walls on timber battens at 400mm centres. | CLIENT |
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| To apply a set coat to walls (not recommended to rendered vaults). | CLIENT |
| To mastic seal around service entries. | £50.00each |
| To supply and install new standard type skirtings. | CLIENT |
| To hack off loose existing plasters and excavate floor screeds. | CLIENT |

Date required for commencement of work (If less than 7 days please telephone Contracts Department)

Deposit required.....

SURNAME.....FORENAME(S).....Mr./Mrs./Miss/Ms.

INVOICE ADDRESS.....

.....

Tel. Nos.-Home..... Day.....Property.....

I have read the above and have pleasure in accepting your estimate subject to the conditions overleaf.

Date Signed.....

Please complete, sign and return as official order



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