

DESIGN & ACCESS STATEMENT

BASEMENT EXTENSION

26 Christchurch Hill
London NW3 1LG



October 2016

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Issued for:
LISTED BUILDING CONSENT &
PLANNING APPLICATION

Issue Status:
FINAL

Issued date:
OCT 2016

Reference:
EJA/0036_D&A_161015

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CONTENTS

| | | |
|-----|---------------------------------------|----|
| 1.0 | INTRODUCTION | 4 |
| 2.0 | SITE BACKGROUND & SURROUNDING CONTEXT | 7 |
| 3.0 | DESIGN PROPOSALS | 9 |
| 4.0 | HISTORICAL RESEARCH | 18 |
| 5.0 | HERITAGE ASSETS & MERITS OF PROPOSALS | 19 |
| 6.0 | RELEVANT SITE PLANNING HISTORY | 21 |
| 7.0 | RELEVANT PLANNING POLICIES | 22 |
| 8.0 | CONCLUSIONS | 25 |

APPENDICES

| | | |
|---|--------------------------------------------------------------------------------------|----|
| A | Site Photos | 30 |
| B | Report by Camden for the Pre-planning Application Advice (2014) | 31 |
| C | List of Drawings for the Pre-planning Application Advice (2014) | 32 |
| D | Drawings submitted for the Pre-planning Application Advice (2014) | 34 |
| E | Report by Camden for the Pre-planning Application Advice (2016) | 35 |
| F | List of Drawings for the Pre-planning Application Advice (2016) | 36 |
| G | Drawings submitted for the Pre-planning Application Advice (2016) | 39 |
| H | List of drawings for the Listed Building Consent & Planning Application | 40 |
| J | Drawings submitted for the Listed Building Consent & Planning Application | 43 |
| K | Email correspondence from GLASS | 44 |
| L | S106 Discharge Notice for garage conversion (refer planning application 2013/1740/P) | 46 |
| M | Proposed 'Green Wall' to the back wall of the proposed sunken courtyard | 48 |

1.0 INTRODUCTION

1.1 This document supports the listed building consent and planning application for a basement extension to 26 Christchurch Hill, London NW3 1LG.

1.2 The proposal includes the following:

- (i) Basement extensions to the existing two-storey dwellinghouse and studio and the linkage between the two. Also an area under the rear garden that is 'wedged' between the rest of the extension. This section will be based on a 'tunnel' construction to avoid the tree root protected areas.
- (ii) Part of the basement extension will involve excavation under the existing single-storey studio annexed to the main dwellinghouse. The existing studio structure will be removed and rebuilt. It is not itself listed but is within the curtilage of the listed building compound. This will improve structural durability and building quality of both structure and basement as the current state of the structure is quite poor, with evidence of structural defects.

Additionally the conversion of the existing studio into a garage (under a separate listed building consent and planning permission granted in July 2014, refer 2013/2561/L & 2013/1740/P), improving the building quality.

Detailed analysis and careful considerations of the proposals are outlined in Section 3.0.

1.3 Pre-planning application advice has been sought on two separate occasions (2014 & 2016) with feedback being received in March 2014 and June 2016 respectively. The comments from the advice (refer Appendices B & E) have been incorporated into the statement and drawings. Changes to the proposal which incorporate the (2016) feedback, are noted below:

- i. The installation of secondary glazing to the existing main dwellinghouse will be submitted as a separate listed building consent and planning application. Therefore this element is now excluded from the current submission.
- ii. The above ground detailing of the glazed floor units and visual impact, viewing from above, have been revised (refer paragraphs 6.8, 6.9, 6.10 6.11 & 6.12 of the pre-planning advice note) to ensure minimal impact to the listed building and the immediate surroundings:

- a. Glazed floor unit

The large glazed floor unit located at the rear patio of the prior proposal has been substituted with three-equal size and smaller glazed floor units with a reduced total aperture. In addition, these have been moved slightly away from the edge of the side elevation and centred to the window opening (drawings 00.009_A, 00.003_E and 20.102_E.) This reduces the prominence of the glazed floor units and hence minimises impact upon the listed building.

b. Sunken courtyard

The prominence of the sunken courtyard has been reduced by introducing a reclaimed timber pergola/ canopy with translucent glazing and green vertical wall. This removes a potential large open area within the garden and draws attention away from the basement. The addition of the translucent glazed canopy removes the need for a glazed balustrade which avoids creating a large deep gap between the sites and the building surrounding it.

A mature apple tree will be planted in the raised ground soft landscape area, in close proximity to the existing apple tree which is in poor condition. The canopy of the new apple tree will overhang over the sunken courtyard, and the foliage and branches will minimise further impact to the listed building and its immediate surroundings.

Please refer to drawing 00.007_A, showing the progression of the scheme, and 00.003.E and 20.103_E which contain the proposed site and ground floor plans

iii. It was noted that the pre-planning application note (paragraph 6.13) did not object to a marginal increase in patio area. There is potential to improve the landscaping further to benefit the overall setting, as below (and shown in the proposed drawings 00.003.E and 20.103_E.):

- The existing steps, the pathway leading to the rear gate, and part of the garden retaining walls are currently irregular. The setting will be improved by straightening the pathway and steps and providing a landing area for the patio door opening, giving a setting in harmony with the existing main dwellinghouse.
- The overall patio area retains a size similar to the current layout.
- Please see drawing 00.010_A, which shows the progression of the proposed scheme with the context of the current layout and previous (2014 and 2016 pre-planning application advice) schemes.

iv. In response to the pre-planning application note (paragraph 6.16) regarding structural implications of the basement extension, the revised structural report includes further information, with drawings, which clarifies the manner in which the basement will be constructed in relation to the footings of the original house. This includes the proposed foundation and footing details showing how the basement will be constructed adjacent to the existing structure. Please refer to Price & Myers' Structural Report.

- v. In response to the pre-planning application note (paragraphs 6.17 & 6.18), the revised arboricultural method statement and tree report by Wassell Arboricultural Services has demonstrated the existing trees, including T2, T3, T4, T5, T6 and T1 (located at the public pedestrian pavement), will be protected.

The arboricultural method statement has included site hoarding, ground protection and a construction exclusion zone to protect the existing trees in terms of both trunks and roots. The proposal is shown in 00.004_B and noted in the Construction Management Plan. The arboricultural method statement has been highly prioritised and developed with careful consideration to ensure the existing trees are preserved and protected, as they provide significant amenity value to both the property and local area.

- vi. Paragraph 6.19 of the pre-planning application note was concerned with whether the proposed 'pipe-jacking' technique and construction 1.8m depth below the garden would adversely affect the mature lime tree (T2). The Price & Myers' structural report addresses this question, explaining that the 'pipe-jacking' technique is low impact and will not disturb the tree root zone above.

- vii. Paragraph 6.20 of the pre-planning application note highlighted the need to demonstrate that the tree will not be adversely affected by the scheme both through physical damage and changes to hydrology prior to commencement of the Work. The arboricultural method statement includes an approach to protect the existing trees, including those that mentioned in item 5.

As part of the BIA, the hydrologist and geologist at GEA assessed whether the proposal will have an impact on the hydrology and groundwater which could adversely affect the existing trees. It was found that there will be almost no change in soft landscaping. Essentially, there will not be an increase or decrease in surface water run-off into the area below the tree canopy, and there will no material change to drainage routes. Therefore, the basement and particularly the tunnelled section (which will maintain a minimum of 1.5m of soil above) will not have an impact on the hydrology of the site and the immediate surrounding area. Furthermore, groundwater has been measured at points approximately 3.5m below ground level at the base of the tree. Although, the proposed basement will extend below the water table, it covers a relatively small footprint as a proportion of the site as whole. As there will be space on either side of the structure, it will not form a cut-off to groundwater; water will flow around the basement. There will not be a material increase in the groundwater table on the upstream side of the basement and therefore, the area of the tree is unlikely to be affected.

Please refer to GEA's Basement Impact Assessment for full details.

- viii. Paragraph 6.21 of the pre-planning application note mentioned that due to the possible effects on the tree as a result of changes in hydrology, the footprint of the scheme may need to be reduced. Although, the Design Team looked at reducing the 'tunnel construction' area, the Basement Impact Assessment has shown that there will be no change to the hydrology and groundwater, and the tree will not be affected. Therefore, the footprint of the proposal remains the same.

- ix. Paragraph 6.24 of the pre-planning application noted that an email from GLAAS confirmed that the site is located away from main areas of archaeological interest and the proposed works are considered too small to cause impact. Please refer to Appendix K of the Design and Access Statement.
- x. In response to paragraph 6.25 of the pre-planning application note, the Basement Impact Assessment, Construction Management Plan, Services Strategy Report/Sustainability Statement have been submitted alongside the listed building consent and planning application. In addition, a noise survey report by Noico has also been included.
- xi. The Basement Impact Assessment audit instruction is complete and included in the planning application, as per Paragraph 6.28 of the pre-planning application note.
- xii. A draft Construction Management Plan has been issued to the Case Officer for consultation, and comments included in the formal submission, as per Paragraphs 6.30, 6.31 and 6.32 of the pre-planning application note.
- xiii. The Applicant has consulted adjoining and immediate neighbours prior to the formal submission. Correspondence has been included in the Construction Management Plan.
- xiv. The Hampstead Conservation Area Advisory Committee (CAAC) has been consulted prior to the formal submission of the application.
- xv. Planning permission and listed building consent to convert the existing studio into a garage including a crossover (planning application reference 2013/1740/P) has been discharged (refer discharge notice dated 21 July 2016, from Camden Council which includes). The crossover and the garage will be used as part of the construction strategy for the basement extension (refer proposed Construction Management Plan).
- xvi. Boiler flues and pipes (intake and discharge) for the heat recovery ventilation unit have been included in the proposal, located on the side roof of the Studio. Please refer to the proposed roof plan, 20.107_C. The units have been chosen are based on their green criteria; please refer to the Sustainability Statement by Mendick Waring.
- xvii. A condenser unit has been proposed to provide for basement accommodation cooling requirements. It will be discreetly located at the side elevation facing the timber fences with landscaping and shrubs screening the unit. Please refer to the proposed roof plan, 20.107_C, and the Noise Survey Report prepared by Noico (noise control consultant).

- 1.4 The following supporting documents are included with the listed building consent and planning application:
- Heritage and Planning Report, prepared by CgMs, heritage and planning consultant
 - Basement Impact Assessment, prepared by GEA, geotechnical and environmental consultant
 - Basement Impact Assessment Audit Instruction form, completed by GEA, geotechnical and environmental consultant
 - Structural Engineering Report, by Price & Myers, structural and civil engineer consultant
 - Arboricultural Report, prepared by Wassells Arboriculturist Services, arboricultural consultant
 - Sustainability Statement/Services Strategy, prepared by Mendick Waring, services consultant
 - Construction Management Plan, prepared by Price & Myers and with input from Walter Lilly, a main contractor
- 1.5 The Applicant seeks to improve the functionality and energy efficiency of the building while preserving the fabric of the listed building.
- 1.6 The statement reviews the following:
- Evaluation of the scheme taking into consideration site context, heritage situation and merits of the proposal
 - Planning policy background
 - Planning history

2.0 SITE BACKGROUND & SURROUNDING CONTEXT

2.1 The application site (“the Site”) is located on the northeast side of the Christchurch Hill, immediately to the southeast of the crossroads junction with Well Road. See site location plan (diagram 1 below).

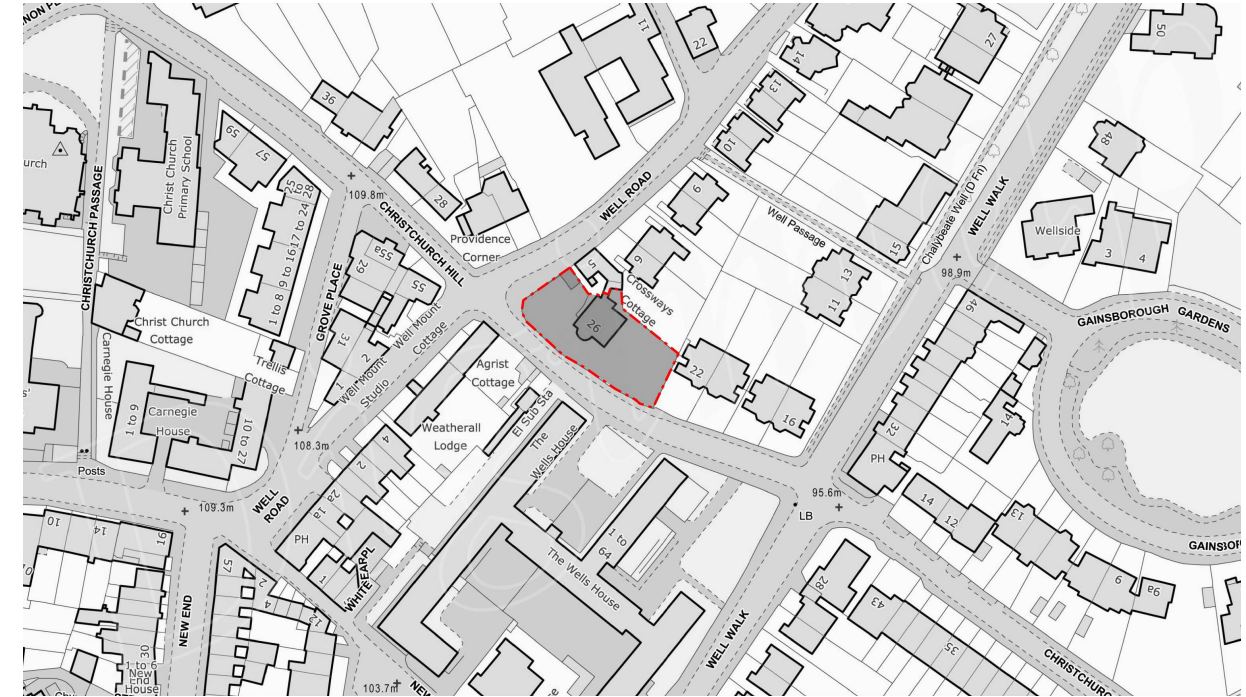


diagram 1 – site location plan

2.2 The site is located within the Hampstead Conservation Area of Camden.

2.3 The main dwelling house is surrounded by generous front and rear gardens within a plot land of approximately 0.2 acres (800m²), see diagram 7, section 3.7. The gardens are well maintained and have a number of mature trees and shrubs surrounding the perimeter of the property, see diagram 2 overleaf.



diagram 2 – site plan

- 2.4 The main house is a detached 2-storey structure and a Grade II listed building. The original house was built circa 1812, and there have been several extensions carried out over the years. A schematic diagram of the floor plans shown the progression of the extensions to the original house is included in Section 4.0 of the Report.
- 2.5 There is also a single-storey structure fronting Well Road and annexed to the main house. It was built post-WWII as a garage and in 1979 was converted into a self-contained studio. Planning permission and listed building consent has been granted from Camden Council to revert this structure back into a garage. Please refer to the listed building consent and planning application, 2013/2561/L and 2013/1740/P, respectively.

A Section 106 Agreement with the Council's legal department was finalised in July 2014 as part of the conditions required by the Council for re-instating the crossover and driveway at Well Road to enable access to the garage. The proposed crossover level plan was approved by the Council in July 2016, refer Appendix L.

3.0 THE PROPOSALS

- 3.1 The proposed basement will be built only under the 1973 extension and the post-war garage in order to protect the heritage assets (built in 1812, 1842 & 1866 respectively), see diagram 3 below. No aspect of the proposal impacts the original 19th century building structure. The “tunnel” construction in the rear garden avoids the root protection areas by building 1.5m-1.87m below the top soil.
- 3.2 The rear garden will undergo both soft and hard landscaping to maintain and improve the original setting of the main dwellinghouse. There are minor modifications to the existing hard paving patio area and green lawn adjacent to the 5 Well Road party fence, to allow for a secondary means of fire escape. A pergola/canopy with translucent glazing is proposed over the sunken courtyard which will be flush with the raised ground (soft landscape area) and screened by a newly planted mature apple tree.
- 3.3 Three-equal size walk-on flush glazed rooflights are proposed to provide natural light into the gym/ game room. These are positioned discretely, being sited on the existing patio at the rear of the dwellinghouse and away from the edge of the side elevation, behind a retaining wall in the rear garden. These will have minimal visual impact on the garden and the listed building; see diagram 6.
- 3.4 Alteration to the interior of the building is limited to the existing Utility room (added in 2005), which will be re-modelled to provide access to the basement by means of a new fire-protected staircase with fire door; see diagram 6.

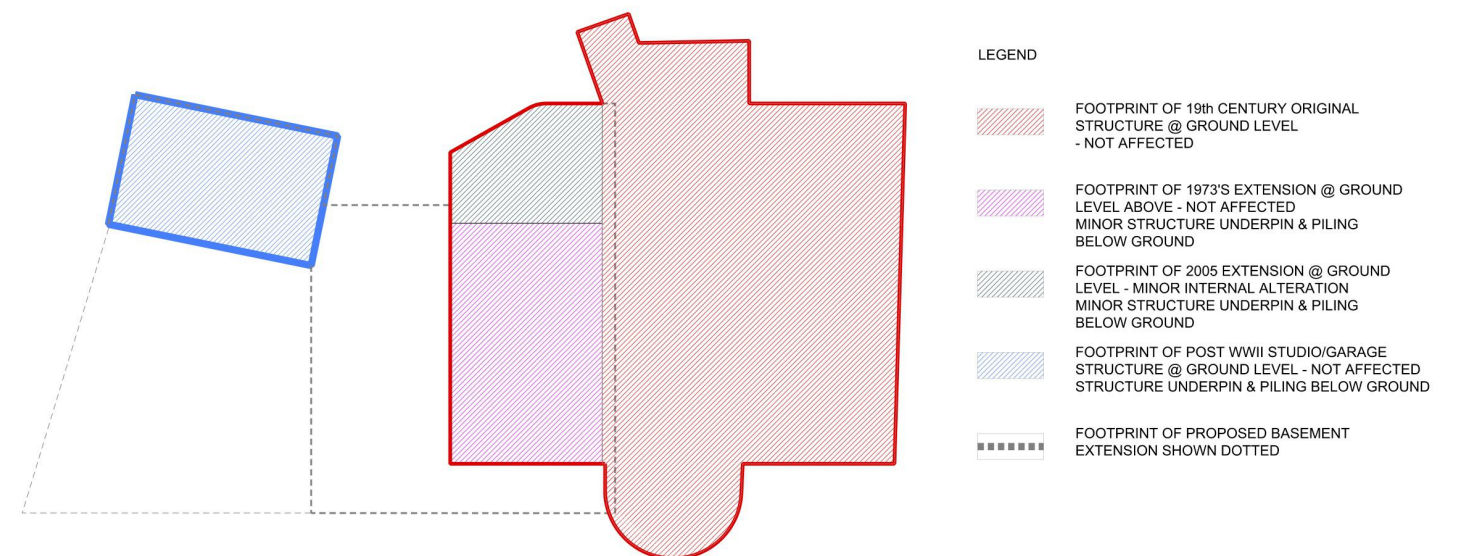


diagram 3 – basement extension in relation to existing main dwellinghouse (itself built in different phases) and single-storey studio/garage

3.5 The proposed basement extension encompasses ancillary space, which is laid out in four zones; see diagram 4 below:

1. A single storey extension directly beneath the rear of the main dwellinghouse;
2. An extension directly beneath the existing single-storey annexe structure that is currently a studio;
3. A one-storey basement extension spanning the areas between zones 1 & 2;
4. A 'tunnel' construction basement extension 'wedged' between the above areas.

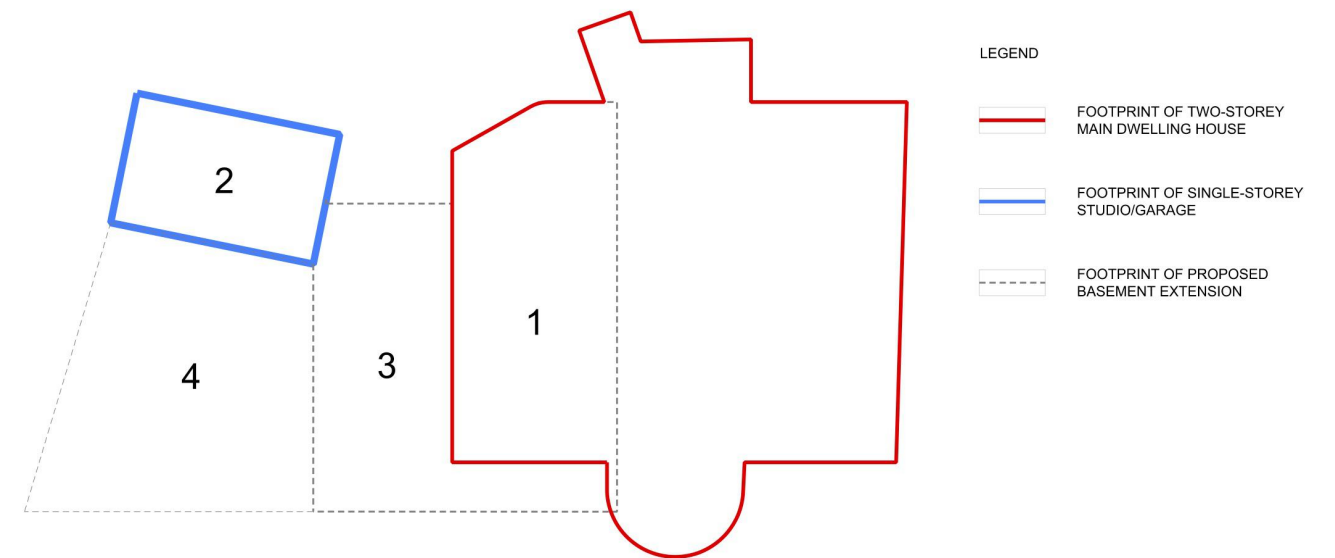


diagram 4 – proposed zoning of the basement and its relation to existing main dwellinghouse and single-storey studio/garage

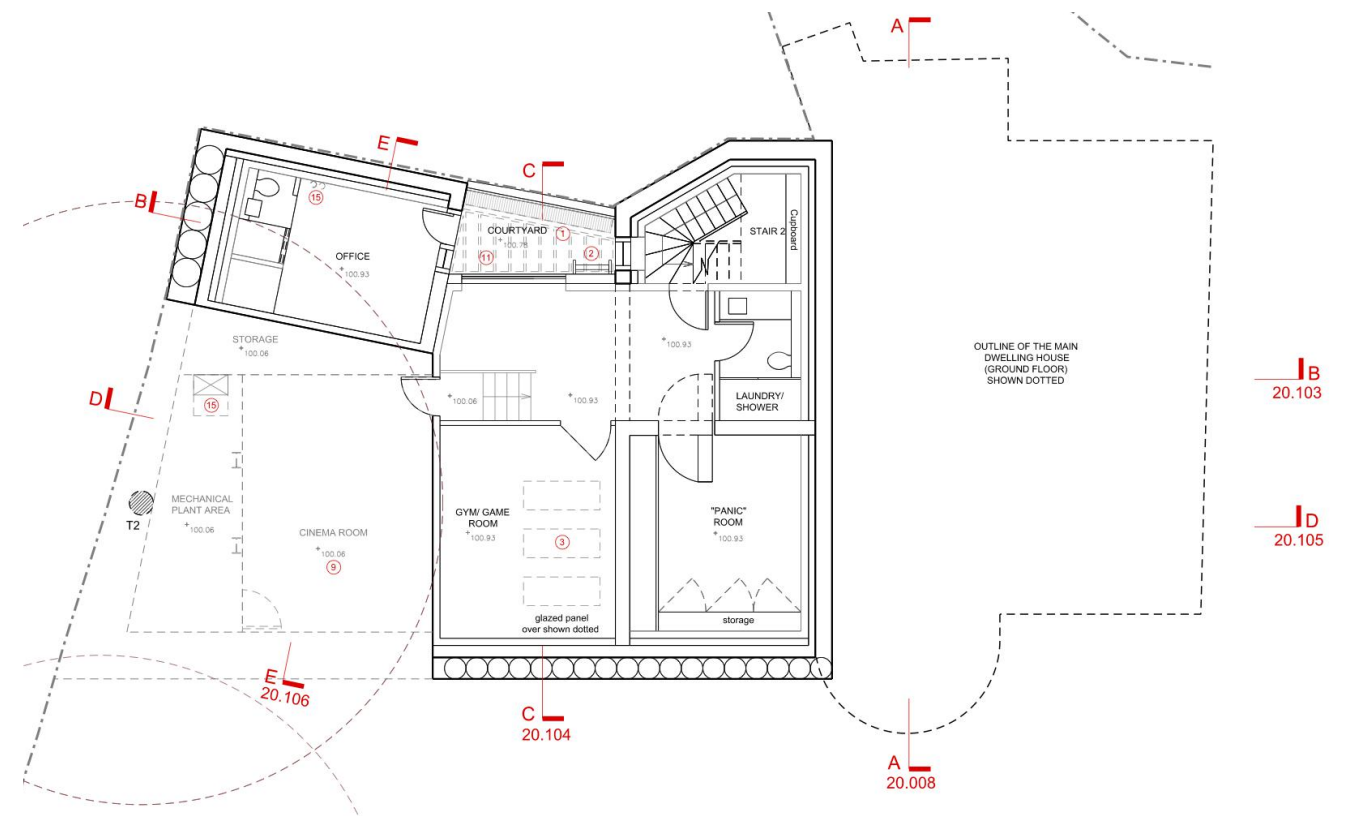





diagram 5 - layout plan of the proposed basement

LEGEND

-  EXISTING MAIN DWELLINGHOUSE
-  PROPOSED BASEMENT STRUCTURE
-  DEMOLISH & REBUILD BASED ON ORIGINAL MATERIALS & DESIGN

NOTE

- ① SUNKEN COURTYARD WITH A 'GREEN' WALL
- ② SECONDARY MEANS OF ESCAPE LADDER
- ③ GLAZED FLOOR PANELS OVER BASEMENT EXTENSION TO ALLOW NATURAL LIGHT INTO THE SPACE
- ④ EXTERNAL LANDSCAPE TO BE RE-INSTATED
- ⑤ RECLAIMED TIMBER GATE
- ⑥ REMOVE APPLE TREE
- ⑦ MINOR MODIFICATION OF THE EXISTING RETAINING WALL
- ⑧ DEMOLISH & RE-BUILD GARAGE STRUCTURE FROM THE REMAINDER MATERIALS & BASED ON THE ORIGINAL DESIGN (REFER LISTED BUILDING CONSENT & PLANNING PERMISSION, 2013/ 2561/ L & 2013/ 1740/ P)
- ⑨ "TUNNEL" CONSTRUCTION UNDER 1.5-1.87M TOPSOIL TO AVOID RPAs (REFER AREA 4 IN KEY PLAN)
- ⑩ STRAIGHTENED THE EXISTING PATHWAY & STEPS
- ⑪ PROPOSED RECLAIMED TIMBER PERGOLA WITH TRANSLUCENT GLAZING OVER SUNKEN COURTYARD
- ⑫ A MATURED APPLE TREE PLANTED IN THE GROUND TO REPLACE THE EXISTING APPLE TREE OF POOR CONDITION
- ⑬ NEW BOILERS & FLUES
- ⑭ NEW CONDENSER UNIT (WALL MOUNTED)
- ⑮ NEW HEAT RECOVERY VENTILATION UNIT WITH INTAKE AND DISCHARGE FLUE PIPES

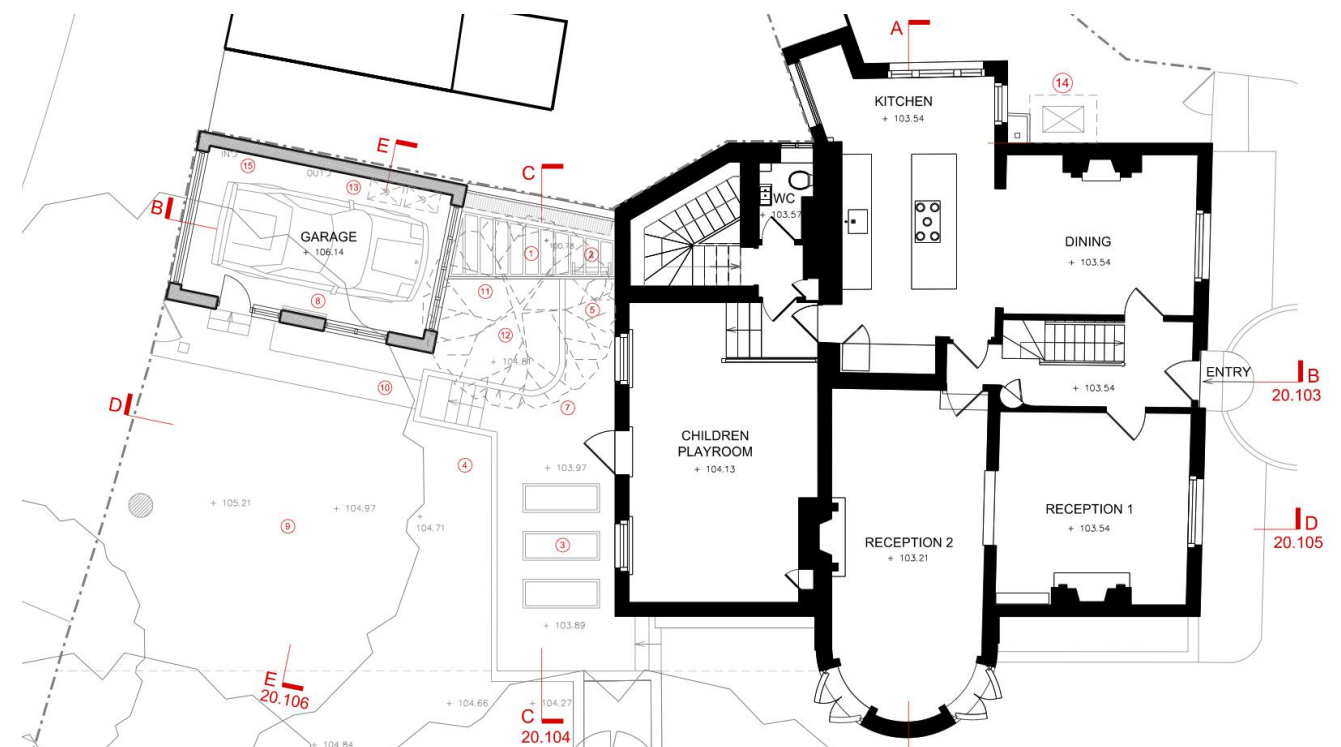


diagram 6 – layout of the proposed ground floor plan

3.6 Detail of the proposed accommodation for each zone is noted as follows; also refer to diagram 5.

3.6.1 Zone 1, the proposed basement extension beneath the rear of the original dwellinghouse that (itself constructed in 1973 and 2005).

- Consisted of a 'panic' room and a toilet, shower and laundry area.
- A stair is proposed where the current laundry room is located at ground floor of the main dwellinghouse (added in 2005) connecting to the basement extension.
- The overall height of the excavation is approximately 3.40m including structural foundation.

3.6.2 Zone 2, consists of an office, storage area for thermal store and a separate toilet and shower area.

- The office will be linked to the rest of the basement extension through a 'sunken' courtyard via a pair of glazed sliding doors. The overall height of the excavation is approximately 5.46m including structural foundation be level with the main basement extension (zones 1 & 3).
- There is an approximately 2m height difference between the office and the main basement area due to the topography of the rear garden. The extra height, i.e. space directly above the office, will be used as a thermal store for the house.
- The annexe structure is currently a studio, and will be reverted into a garage (refer planning permission & listed building consent, 2013/1740/P and 2013/2561/L, respectively);

3.6.3 Zone 3, includes a gym/ game room, a vestibule area comprising a stair and a glazed balustrade, and a 'sunken' courtyard.

- The vestibule area will also act as a protected area for a means of fire escape.
- It is connected to zone 1, the main basement extension.
- The overall height of the excavation including the structural foundation is approximately 3.40m
- The 'sunken' courtyard with translucent glazed pergola/canopy over will provide daylight and ventilation for both the office and the vestibule area.
- The escape ladder is installed in the 'sunken' courtyard providing a second means of escape;
- A 'green' wall is installed to the back of the 'sunken' garden, providing a calm and relaxing atmosphere for the basement areas (except area 4: cinema room and mechanical plant/ store). Refer Appendix M for images and specification. The 'green' wall will also be visible from the rear garden as it will extend to the boundary fence wall enhancing the aesthetic of the fence wall.

3.6.4 Zone 4, consists of a cinema room, mechanical plant and storage area.

- The cinema room will be relocated to basement, zone 4, which will avoid the root protection area (RPAs) for the lime tree (T2) in particular by being built as a 'tunnel' construction below 1.5 -1.87m of the top soil.
- The overall height of the excavation including the structural foundation and the jack-piping "tunnel" construction is approximately 3.775m.
- The existing cinema room at the ground floor of the main dwellinghouse will become a children's playroom as it has direct daylight with views and access to the rear gardens.

3.7 In order to improve the energy efficiency of the main dwellinghouse building and increase the sound insulation quality of windows, it is proposed to install secondary glazing to the existing windows and doors.

3.7.1 Please see Appendix H, for the list of existing and proposed drawings for the basement extension.

3.8 Layout and Scale

The footprint of the proposed extension comprises approximately 23.19% of the of site curtilage (less than 50% of the garden space within the property).

The gross external area of the basement extension is approximately 152.27m², i.e. consisted of footprint of the existing studio, the area under 1970's & 2005's extensions and area under the existing patio and part of the rear garden (20.62m² + 44.54m² + 87.11m², respectively). It is slightly smaller than the overall existing footprint at 157.46m². See diagrams 7 & 8 below.

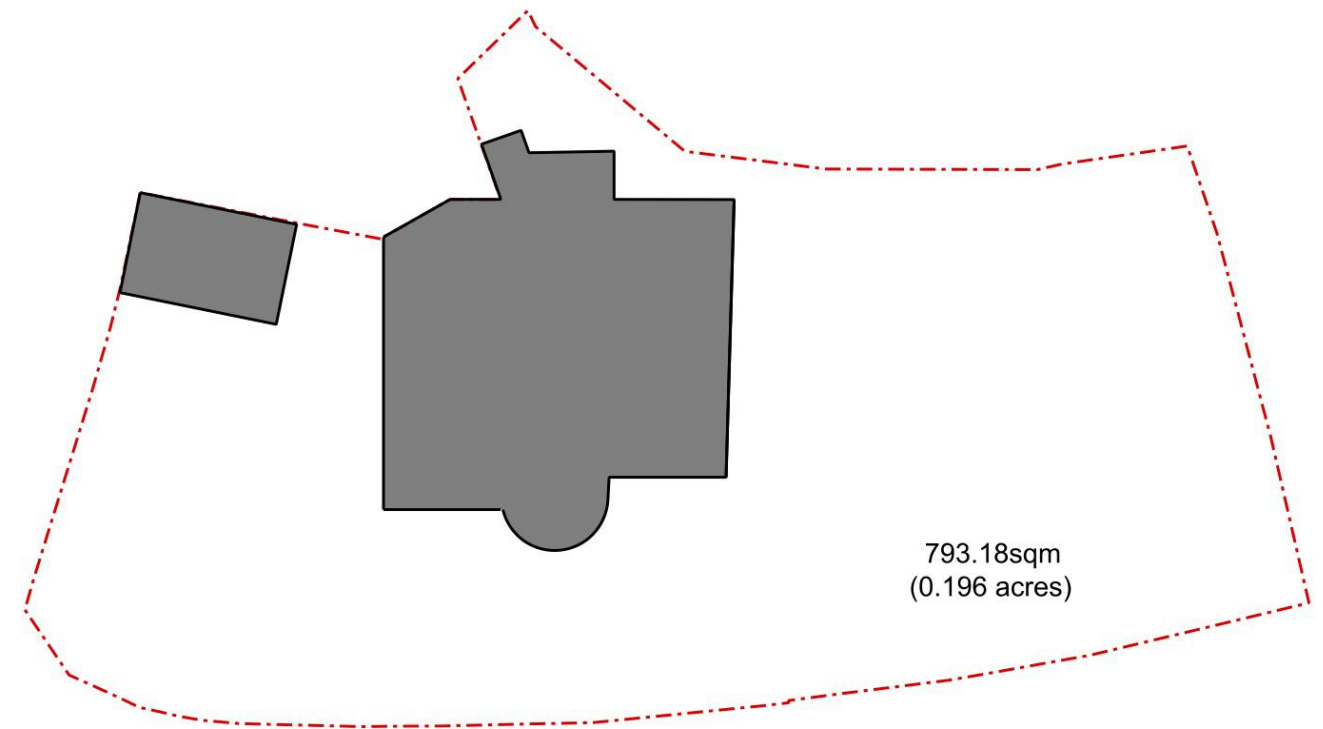


diagram 7 – site coverage

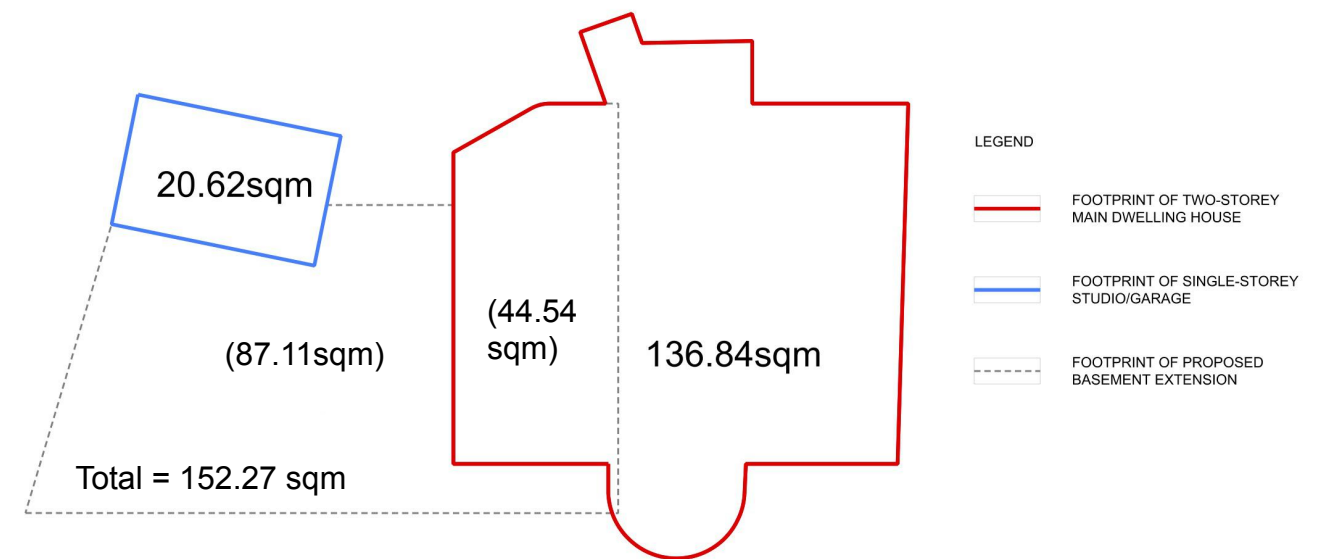


diagram 8 – proposed area and existing footprints

- 3.9 The proposed basement extension has minimal impact on the existing building's internal layout and fabric of the external built envelope, and no impact on the existing 19th century building's internal layout or external fabric.
- 3.10 The proposed design has been arrived at after careful consideration and development of a number of option design studies exploring different layouts encompassing both internal and external fabric and the surrounding context.
- 3.11 Access to the basement extension is via the existing utility room (itself added in 2005) which has minimal impact on the main dwelling house.
- 3.12 As required by Building Regulations there will be a second means of exit from the basement extension. This is provided by an external escape ladder leading to the 'sunken' courtyard, separate from the main house, with independent exit to the back garden.
- 3.13 A glazed pergola/ canopy over the sunken courtyard will provide daylight into the office and the vestibule area in the main basement extension, along with walk-on rooflights for the gym/ game room.
- 3.14 There will be minimal visual impact to the existing building as the basement is submerged. The only elements visible is the pergola/canopy with translucent glazing over the 'sunken' courtyard, which is flush with the raised ground (soft landscape area) and partially screened by the raised soft landscaping and the canopy of a matured apple tree. See diagram 6 (refer items 11 and 12).
A small reclaimed timber gate will be level with the raised ground (soft landscape area) and the retaining wall where the new apple tree will be located; see diagram 6 (refer items 5 and 7).
- 3.15 The landscape to the rear garden, existing patio and party fence will be reinstated to a high standard. In addition, the external landscaping will be improved by modifying the existing steps and pathway leading to the rear gate and part of the retaining wall, and by providing a landing area for the patio door opening. These improvements will benefit the overall setting.
- 3.16 The small apple tree currently located between the main house and the single-storey structure at the garden adjacent to the adjoining neighbour's fence (5 Well Road) is not covered by a tree protection order. The proposal is that the apple tree will be replaced by a new mature tree as noted in the arboricultural report; also, refer to diagram 6, item 12.
- 3.17 The lime tree (T2), together with immediate surrounding trees, will be protected as noted in the arboricultural report. The detailed means of protection is included in the arboricultural method statement along with the Construction Management Plan (CMP) as part of the listed building consent and planning submission.



diagram 9 – section through basement area and 'sunken' courtyard with traditional construction method



diagram 10 – section through 'tunnel' construction to avoid root protection areas

3.18 Impact on the Listed Building

3.18.1 The proposed work has no impact on the original 19th century structure. The back of house (2005 extension) ground floor utility room will be impacted with addition of the access staircase.

3.18.2 Externally the building is to remain as existing and will be protected during construction to prevent any damage.

3.19 Structure

3.19.1 Due care will be taken with regard to structural design to ensure there is no disruption to the existing building. The current proposal comprises contiguous piling to two walls of the below ground extension backing onto the garden and Well Road and underpinning the remaining walls which abut the existing building and the boundary fence wall to 5 Well Road.

Additionally, waterproof concrete walls cast on the inside line of the piles and underpinned will be used, coupled with waterproof concrete floor and roof slabs to form a watertight box. This will act as a first line of defence against water ingress. A cavity drain system will also be installed internally as a backup system.

3.19.2 The 'tunnel' section of the basement construction will be formed by pipe-jackings and constructed below the 1.5m-1.87m top soil to avoid the tree protection area for the lime tree (T2) adjacent to the existing studio particularly. The construction method is highlighted in the structural report.

3.19.3 There is an area of construction that will fall slightly between the outer edge of the root protection as denoted in the structural drawings, which is also highlighted in the arboricultural report.

3.19.4 Please refer structural report and the Basement Impact Assessment for further detailed information.

3.20 Trees

3.20.1 The arboricultural report has included a tree quality assessment and set out a method to be followed to ensure protection of the trees during construction.

3.20.2 The above arboricultural method statement has set out both above ground and below ground protections. Hence the effect that the basement extension would have on the existing trees within and around the property has been incorporated into the proposal.

3.20.3 A Tree Protection Zone in line with the arboricultural report will be set up prior to commencement of works on site.

3.21 Refuse Facilities

3.21.1 The refuse provisions are to remain as existing as the proposed basement extension will not increase the occupancy of the building.

3.22 Parking

3.22.1 There is on-street parking in Christchurch Hill and the surrounding streets.

3.22.2 The Owner of the 26 Christchurch Hill London NW3 1LG, has obtained permission for one on-site parking space in the existing single-storey structure that is currently housing a studio and will be reverted to its prior use as a garage. Refer 2013/2561/L and 2013/1740/P.

3.22.3 The proposal does not increase the need for parking.

3.33 Access

3.33.1 Pedestrian access to the site remains unchanged: via a gate to the Christchurch Hill boundary and a gate to the Well Road boundary wall adjacent to the single-storey structure.

3.33.2 External access to the basement is either via the main entry of the dwelling house or an external spiral stair leading to the basement.

4.0 HISTORICAL CONTEXT AND SETTING

- 4.1 A historical research of the property was previously commissioned for the planning permission and listed building consent applications in 2002, ref: PWX0202569 & LWX0202579.
- 4.2 The research is relevant to the proposed basement extension. Key points arising from the historical research of the property are as follows:
- Newton's map of 1814 shows a house corresponding to 26 Christchurch Hill, also known as "Sunnybank", in its present position. Documentary research suggests that the property was constructed either around 1806/7 or 1812.
 - The property comprised a simple one bay deep rectangular plan when first built. By 1842, an additional bay had been added to the rear with a projecting half moon bay window.
 - By 1866, the property had become physically linked with 5 Well Road, "Crossways cottage". It was assumed to provide additional service accommodation to the main house. Land Registry records indicated that the link was later bricked up around 1956, once again separating Crossways cottage from 26 Christchurch Hill.
 - Further additions and minor modifications continued: most notably the late 19th Century, canted bay windows either side of the front door that obscured the simple proportions of the original design.
 - A 2-storey extension was added to the rear in 1973. In addition, at some point between 1972 and 1984, possibly as part of the 1973 works, the later canted bays to the south elevation were removed.
 - In 2005, a single-storey utility room was added as an annex to the existing family room and toilet in ground floor.
 - The schematic ground and first floor plans, see diagram 9 overleaf, show the chronological alterations of the existing building.

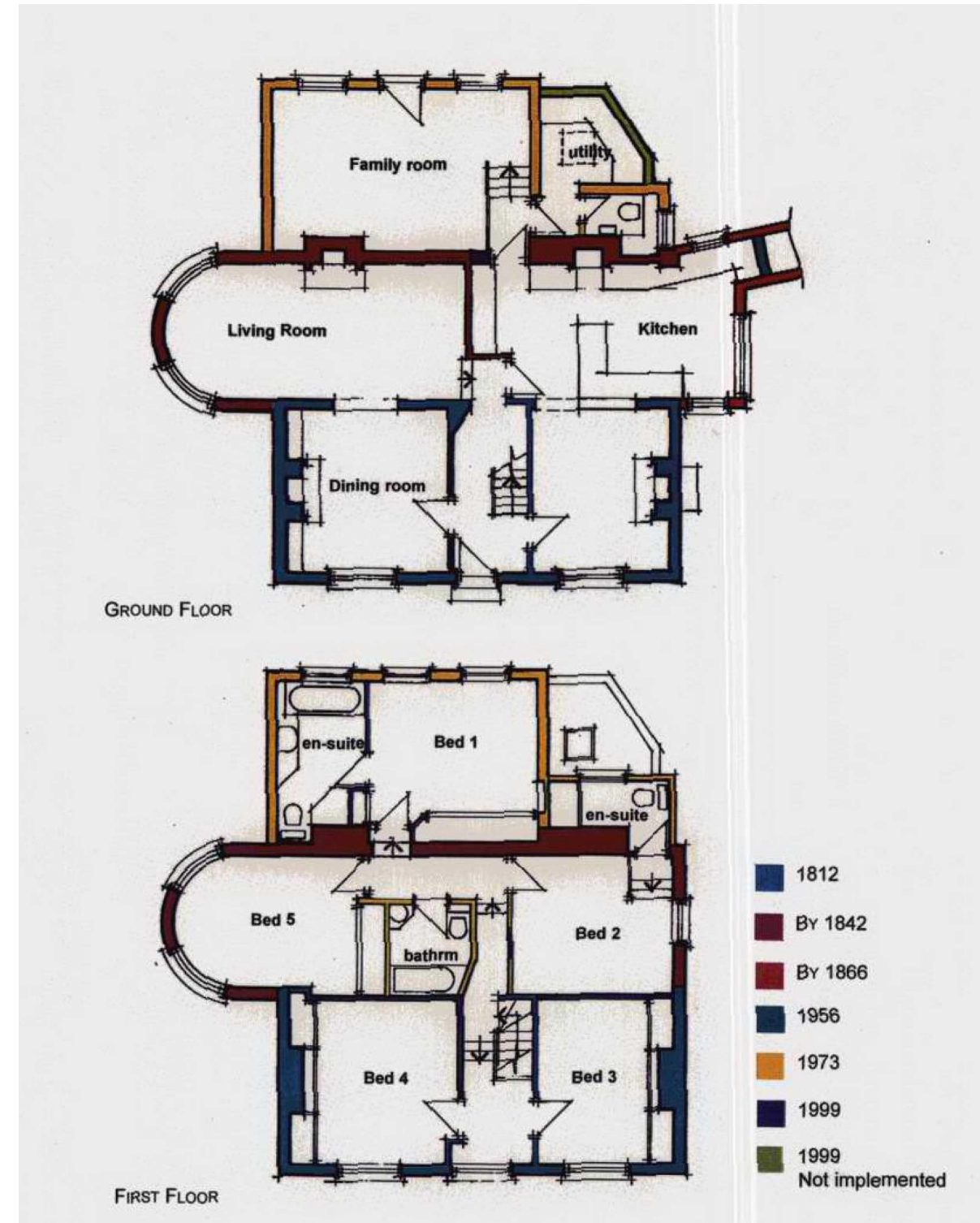


Diagram 9 – Chronological alterations of the existing main dwelling house

Note: The extract of the historical research was compiled in 2002 when the utility room at ground floor (shown in green outline) was noted as “1999 not implemented”. It has since been built (in 2005).

5.0 HERITAGE ASSETS & MERITS OF PROPOSALS

- 5.1 The proposal has minimal impact on the designated heritage asset of the listed building and its setting. The basement extension does not intrude upon the original 19th century building. The proposed basement is situated under the rear extension of the main dwelling house, built in 1973; the freestanding studio/garage built post-war circa 1948 which is not itself listed but annexed to the main property; and a portion of the back garden.
- 5.2 The basement is to be fully submerged and will therefore not alter the view of the building in any way. The only surface visible elements are:
- The reclaimed timber pergola/ canopy with translucent glazing;
 - A small reclaimed timber gate, level with the raised soft landscaping and retaining wall by which a new mature apple will be planted;
 - Three-equal walk-on ground flush rooflights
- 5.3 The above surface visible elements are not visible from the neighbouring property of 22 Christchurch Hill and only minimally visible from the neighbouring property of 5 Well Road. The garden will be re-laid to a high standard in line with the current design over the basement extension so as to ensure a visual consistency before and after the works, and to preserve the garden setting of the designated heritage asset.
- 5.4 The proposed basement extension is expressly designed to avoid the original 19th century main dwellinghouse, and the works involved in providing access to the basement are minor. The intended structural work will be given careful consideration so as to avoid causing harm to the building. In these respects, the proposal cannot be considered to cause harm to the special interest and significance of the listed building or its setting.
- 5.5 Consideration must be given to any impact of the proposed work on the significance of surrounding listed buildings and the Hampstead Conservation Area. The building with the most direct relationship to 26 Christchurch Hill is the property of the adjoining neighbour at 5 Well Road. This adjoining building is an imposing structure in comparison to 26 Christchurch Hill. The location of the proposed basement would not impact on this neighbouring property in any way: harming neither architectural, aesthetic nor historic value.
- 5.6 The same principles apply when considering the impact on the Hampstead Conservation Area. New basement extensions are possible within the conservation area subject to the avoidance of harm to, or erosion of, the character and appearance of the conservation area. It is clear that the proposal has no impact whatsoever on the character and appearance of the wider conservation area. The minor external elements (balustrade, retaining wall and a flush rooflight) would not be visible from any public areas and only marginally from one adjacent property.

- 5.7 As the premises are listed Grade 2 the building is a “Heritage Asset” in the Conservation Area and the proposals have to be considered in terms of their impact on the character and appearance of the premises.
- 5.8 The proposed secondary glazing is intended to provide much better energy conservation and noise impact reduction within its building without impacting on the character and appearance of the listed building street façade.
- 5.9 Please refer to CgMs' detailed Heritage and Planning report.

6.0 RELEVANT SITE PLANNING HISTORY

6.1 The following is a summary of that relevant to the pre-planning application advice for the basement extension:

- 1973, ref: D7/9/11/15983/R: Erection of 2-storey extension for a single family dwellinghouse;
- 2002, ref: PWX0202569 & LWX0202579 : Demolition of existing single storey garden building and erection of 2-storey garden building together with formation of new car parking space in the rear garden and formation of new access to the highway and excavation to form an open air swimming pool;
- 2002, ref: LWX0202579: Demolition of existing single storey garden building and erection of 2-storey garden building together with formation of new car parking space in the rear garden and formation of new access to the highway and excavation to form an open air swimming pool;
- 2005, refs: 2005/0939/P & 2005/0940/L: Erection of a single storey rear extension to form a utility room for the single family dwellinghouse;
- 2010, refs: 2010/4767/P & 2010/4768/L: Erection of a single storey rear orangery extension to dwellinghouse;
- 2013, refs: 2013/1740/P & 2013/2561/L: Use of building fronting Well Road as garage ancillary to existing dwellinghouse. Installation of garage doors to front elevation and creation of vehicular access.

7.0 RELEVANT PLANNING POLICIES

This proposal has been carefully considered utilising the following policies and guidance statements to inform the design:

7.1 National Planning Policy

7.1.1 The National Planning Policy Framework (NPPF) was published in March 2012 and sets out the government's approach to dealing with the historic environment. Chapter 12 of the NPPF deals specifically with this area of policy. Policies relevant in this particular case are noted below.

7.1.2 *Paragraph 126* sets out that Local Planning Authorities (LPAs) should 'set out in the Local Plan a positive strategy for the conservation and enjoyment of the historic environment'. In doing this, they should take into account:

- The desirability of sustaining and enhancing the significant of heritage assets and putting them to viable uses consistent with their conservation;
- The wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- The desirability of new development making positive contribution to local character and distinctiveness; and,
- Opportunities to draw on the contribution made by the historic environment to the character of a place.

7.1.3 *Paragraph 128* states that applicants should describe the significance of any heritage assets affected, including any contribution made by their setting. 'The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.' A history of the site and its context and a statement of significance are presented in *Sections 4.0 & 5.0* of this Report.

7.1.4 *At paragraph 129*, LPAs are asked to identify the particular significance of a site and use this assessment to when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conversation and any aspect of the proposal.

- 7.1.5 *Paragraph 131* states that in determining planning applications, LPAs should take account of:
- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
 - The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and,
 - The desirability of new development making a positive contribution to local character and distinctiveness.
- 7.1.6 *Chapter 7* of the guidance is concerned with achieving good design in new development. It states that the Government attaches great importance to the design of the built environment and that good design is a key aspect of sustainable development (*para. 56*).
- 7.1.7 *Paragraph 186* of the NPPF states that LPAs should approach decision-taking in a positive way to foster the delivery sustainable development. It also notes that LPAs should look for solutions rather than problems, and decision-takers, at every level should seek to approve applications for sustainable development where possible (*para. 187*).

7.2 Greater London Authority (GLA)

- 7.2.1 The London Plan July 2011 is the overall strategic plan for London, which sets out the integrated, economic, environmental, transport and social framework for the development of London over the next 20-25 years.
- 7.2.2 *Policy 7.6 – Architecture* – relates to the aim that buildings and structures should, amongst other things, be of the highest architectural quality, be of a suitable scale, use appropriate materials, provide high quality indoor and outdoor spaces and do not cause harm to the amenity of surrounding land.
- 7.2.3 *Policy 7.8 – Heritage assets and archaeology* – states that development affecting heritage assets and their settings should conserve their significance by being sympathetic to their form, scale, materials and architectural detail.

7.3 Local Planning Policy

In relation to the Core Strategy and the Development Policies DPD, the following policies are of relevance:

- CS5 - Managing the Impact and Growth of Development – of particular relevance with regard to this policy is the Council's objective to protect and enhance the environment and heritage;
- CS6 - Providing Quality Homes
- CS13 Tackling climate change through promoting higher environmental standards
- CS14 – Promoting High Quality Places and Conserving our Heritage
- DP24 – Securing High Quality Design;
- DP25 – Conserving Camden's Heritage;
- DP26 – Managing the Impact of Development on Occupiers and Neighbours; and
- DP27 – Basements and Lightwells.

In relation to supplementary guidance, three documents are considered of relevance to the proposals. Namely, CPG1: Design and CPG4: Basements and Lightwells, and CPG6: Amenity. In addition, *Hampstead Conservation Area Design Guide* and *Hampstead Conservation Area Statement* are taken into account as guidelines for the proposal.

A detailed Heritage and Planning Report by CgMs accompanies the submission for the pre-planning application advice.

8.0 CONCLUSIONS

- 8.1 Due to the listed nature of the building we have ensured that access to and around both site and building will remain as existing.
- 8.2 The proposed work has no impact on the original 19th century structure. The back of house (2005 extension) ground floor utility room only will be modified with the addition of the access staircase to the proposed basement. This staircase will be designed to comply with the current Building Regulations.
- 8.3 The proposed work is to the rear of the listed building and does not impact views of the original facades. The only externally visible elements are a reclaimed timber pergola/canopy with translucent glazing over the sunken courtyard, a small reclaimed timber gate level with the raised soft landscaping and retaining wall by which a new apple tree will be planted, and three-equal size walk-on ground flush rooflights.
- 8.4 The 'tunnel' section of the basement construction will be formed by pipe-jackings and constructed below the top soil to avoid the tree protection area.
- 8.5 The landscape to the rear garden will be reinstated and where minor modifications have been made to the hard landscape along the existing patio, the steps and pathway leading to the rear gate and the soft landscape along the party fence area, will be re-landscaped to a high standard.
- 8.6 Part of the basement extension will involve excavation under the existing single-storey studio annexed to the main dwellinghouse. The existing studio structure will be removed and rebuilt to its original design based on the existing materials. It is not itself listed but is within the curtilage of the listed building compound. This will improve structural durability and building quality of both structure and basement, as the current state of the structure is quite poor, with evidence of structural defects.
- 8.7 The proposed works to the existing building are minimal and will not have a detrimental effect on the existing facilities. Construction work will be carried out from the rear entry. Please refer Construction Management Plan for details.
- 8.8 The work involves minimal disruption to the fabric of the house and, as it involves basement work, this will not affect the external appearance of the building. The remodelling of the rear garden will improve the existing landscaping.
- 8.9 In terms of planning, it has been demonstrated that the proposals will provide good quality additional accommodation and accord with both local, regional and national planning policy, and the aims and objectives of the Council's supplementary guidance.

- 8.10 The external and internal manifestations are considered to be minor in nature and have been designed to be discreet to ensure that there is no harmful impact on the listed building or the character and appearance of the conservation area.
- 8.11 A number of supporting documents are included to address all elements required to ensure planning permission is forthcoming.