

APPENDIX J

DRAWINGS SUBMITTED FOR

LISTED BUILDING CONSENT AND PLANNING APPLICATION

26 Christchurch Hill



Scale 1:1250

1 SITE LOCATION PLAN
scale 1:1250 @ A3

REVISION

A	18.02.2014	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2014)
A	04.03.2016	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2016)
B	15.10.2016	DRAFT - ISSUED FOR COMMENT
C	24.10.2016	ISSUED FOR LISTED BUILDING CONSENT & PLANNING APPLICATION

NOTES

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CLIENT

MR. RON PASCALOVICI

PROJECT

26 CHRISTCHURCH HILL
LONDON NW3 1LG

TITLE

SITE LOCATION PLAN

DWG No

0036.P.00.001_C

SCALE 1:1250 @ A3

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1 EXISTING SITE PLAN

REVISION

-	18.02.2014	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2014)
A	04.03.2016	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2016); INCORPORATED COMMENTS FROM PRE-APP (2014), INCLUDING REINSTATED EXISTING LANDSCAPE WITH SLIGHT MODIFICATIONS, INCORPORATED A LIGHTWELL FOR ALLOWING DAYLIGHT & VENTILATION INTO OFFICE. GLAZED FLOOR UNIT & ROOM SWAPPED. REVISED FOOTPRINT TO INCLUDE EXTENSION BASED ON "TUNNEL" CONSTRUCTION. COURTYARD & SECONDARY MEANS OF ESCAPE STAIR INCLUDED. OMITTED SPIRAL STAIR LEADING TO OFFICE. EXTENDING OFFICE TO BE SAME LEVEL AS PER THE MAIN BASEMENT EXTENSION
B	15.10.2016	DRAFT - ISSUED FOR COMMENT: PRE-PLANNING APPLICATION ADVICE INCORPORATED AND SERVICES REQUIREMENTS INCLUDED
C	24.10.2016	ISSUED FOR LISTED BUILDING CONSENT AND PLANNING APPLICATION

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PROJECT 26 CHRISTCHURCH HILL
LONDON NW3 1LG

TITLE EXISTING SITE PLAN

DWG No 0036.P.00.002_C

1:100 @ A1
SCALE 1:200 @ A3

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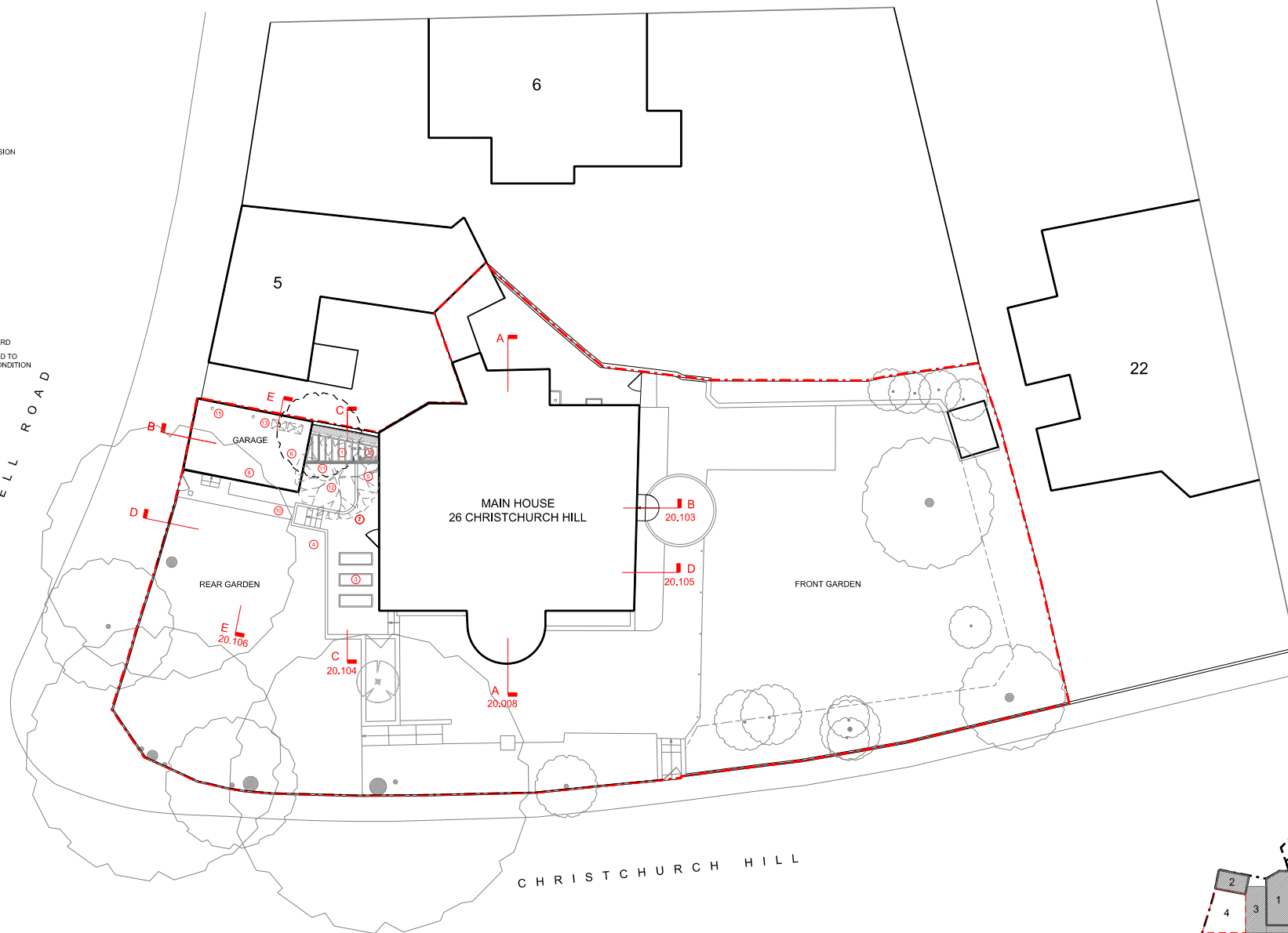
LEGEND

- EXISTING MAIN DWELLINGHOUSE
- PROPOSED BASEMENT STRUCTURE
- DEMOLISH & REBUILD BASED ON ORIGINAL MATERIALS & DESIGN

NOTE

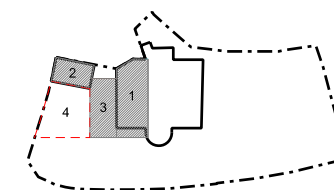
- ① SUNKEN COURTYARD WITH A 'GREEN' WALL
- ② SECONDARY MEANS OF ESCAPE LADDER
- ③ GLAZED FLOOR PANELS OVER BASEMENT EXTENSION TO ALLOW NATURAL LIGHT INTO THE SPACE
- ④ EXTERNAL LANDSCAPE TO BE RE-INSTATED
- ⑤ RECLAIMED TIMBER GATE
- ⑥ REMOVE APPLE TREE
- ⑦ MINOR MODIFICATION OF THE EXISTING RETAINING WALL
- ⑧ DEMOLISH & RE-BUILD GARAGE STRUCTURE FROM THE REMAINDER MATERIALS & BASED ON THE ORIGINAL DESIGN (REFER LISTED BUILDING CONSENT & PLANNING PERMISSION, 2013/ 2561/ L & 2013/ 1740/ P)
- ⑨ "TUNNEL" CONSTRUCTION UNDER 1.5-1.87M TOPSOIL TO AVOID RPAs (REFER AREA 4 IN KEY PLAN)
- ⑩ STRAIGHTENED THE EXISTING PATHWAY & STEPS
- ⑪ PROPOSED RECLAIMED TIMBER PERGOLA WITH TRANSLUCENT GLAZING OVER SUNKEN COURTYARD
- ⑫ A MATURED APPLE TREE PLANTED IN THE GROUND TO REPLACE THE EXISTING APPLE TREE OF POOR CONDITION
- ⑬ NEW BOILERS & FLUES
- ⑭ NEW CONDENSER UNIT (WALL MOUNTED)
- ⑮ NEW HEAT RECOVERY VENTILATION UNIT WITH INTAKE AND DISCHARGE FLUE PIPES

WELL ROAD



CHRISTCHURCH HILL

1 PROPOSED SITE PLAN



REVISION

-	18.02.2014	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2014)
A	26.08.2015	ISSUED FOR REVIEW: COMMENTS OF PRE-PLANNING APPLICATION ADVICE (2014) INCORPORATED
B	10.02.2016	ISSUED FOR REVIEW: REVISED FOOTPRINT TO INCLUDE EXTENSION BASED ON "TUNNEL" CONSTRUCTION & COURTYARD. EXTENDING OFFICE TO BE SAME LEVEL AS PER THE MAIN BASEMENT EXTENSION. OMITTED SPIRAL STAIR LEADING TO OFFICE.
C	04.03.2016	ISSUED FOR PRE-PLANNING APPLICATION ADVICE (2016); SECONDARY MEANS OF ESCAPE STAIR INCLUDED VIA A LADDER LOCATED IN COURTYARD.
D	15.10.2016	DRAFT - ISSUED FOR COMMENT: PRE-PLANNING APPLICATION ADVICE INCORPORATED AND SERVICES REQUIREMENTS INCLUDED
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MR RON PASCALOVICIPROJECT
26 CHRISTCHURCH HILL
LONDON NW3 1LGTITLE
PROPOSED SITE PLANDWG No
0036.P.00.003_E1:100 @ A1
SCALE 1:200 @ A3ERICA JONG ARCHITECTS
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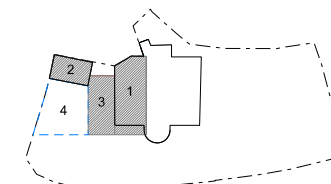
LEGEND

- EXISTING HARD LANDSCAPING
- EXISTING FOOTPRINT OF THE MAIN DWELLINGHOUSE
- PROPOSED BASEMENT FOOTPRINT
- PROPOSED 'TUNNEL' SECTION OF THE BASEMENT FOOTPRINT
- EXISTING SPOT LEVEL
- PROPOSED FINISHED FLOOR LEVEL
- PROPOSED LINE OF CONTIGUOUS PILING
- DENOTES TYPICAL TREE PROTECTION AREA

TREE SURVEY INFORMATION (SEE ADDENDUM 3)

- T1 = CULINARY APPLE
- T2 = COMMON LIME
- T3 = COMMON LIME
- T4 = SWEET CHESTNUT
- T5 = MORIBUND SWEET CHESTNUT (TPO)
- T6 = COMMON LIME
- T7 = OLIVE (GROWING IN RAISED BED)
- T8 = SWEET GUM (STREET TREE)

- CEZ = CONSTRUCTION EXCLUSION ZONE
- FACILITATION PRUNING AS REQUIRED BY REPORT TO PREVENT UNNECESSARY DAMAGE TO TREE CROWNS



1 PROPOSED BASEMENT FLOOR PLAN

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LONDON NW3 1LG

TITLE

PROPOSED BASEMENT FOOTPRINT
WITH SITE CONSTRAINTS

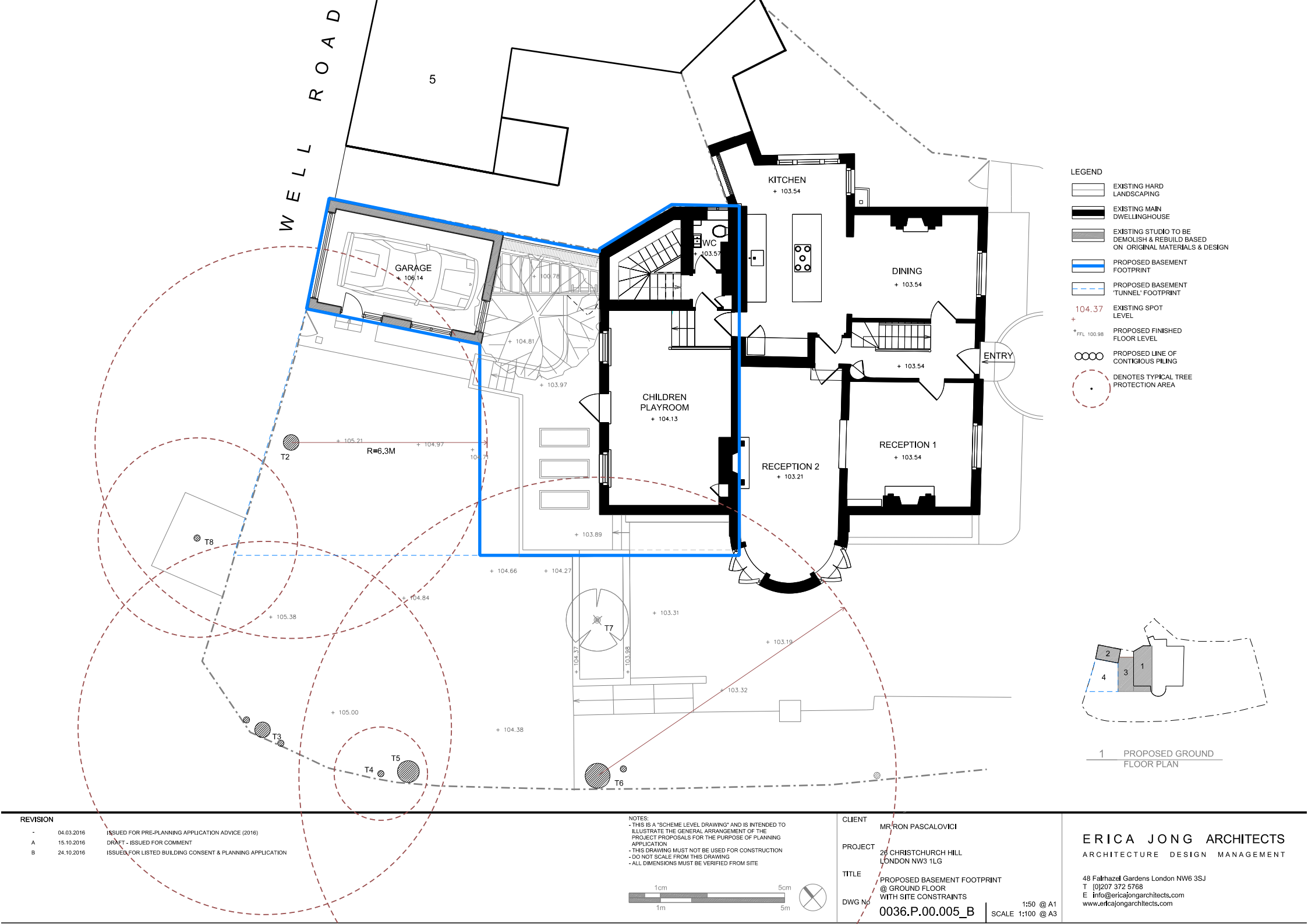
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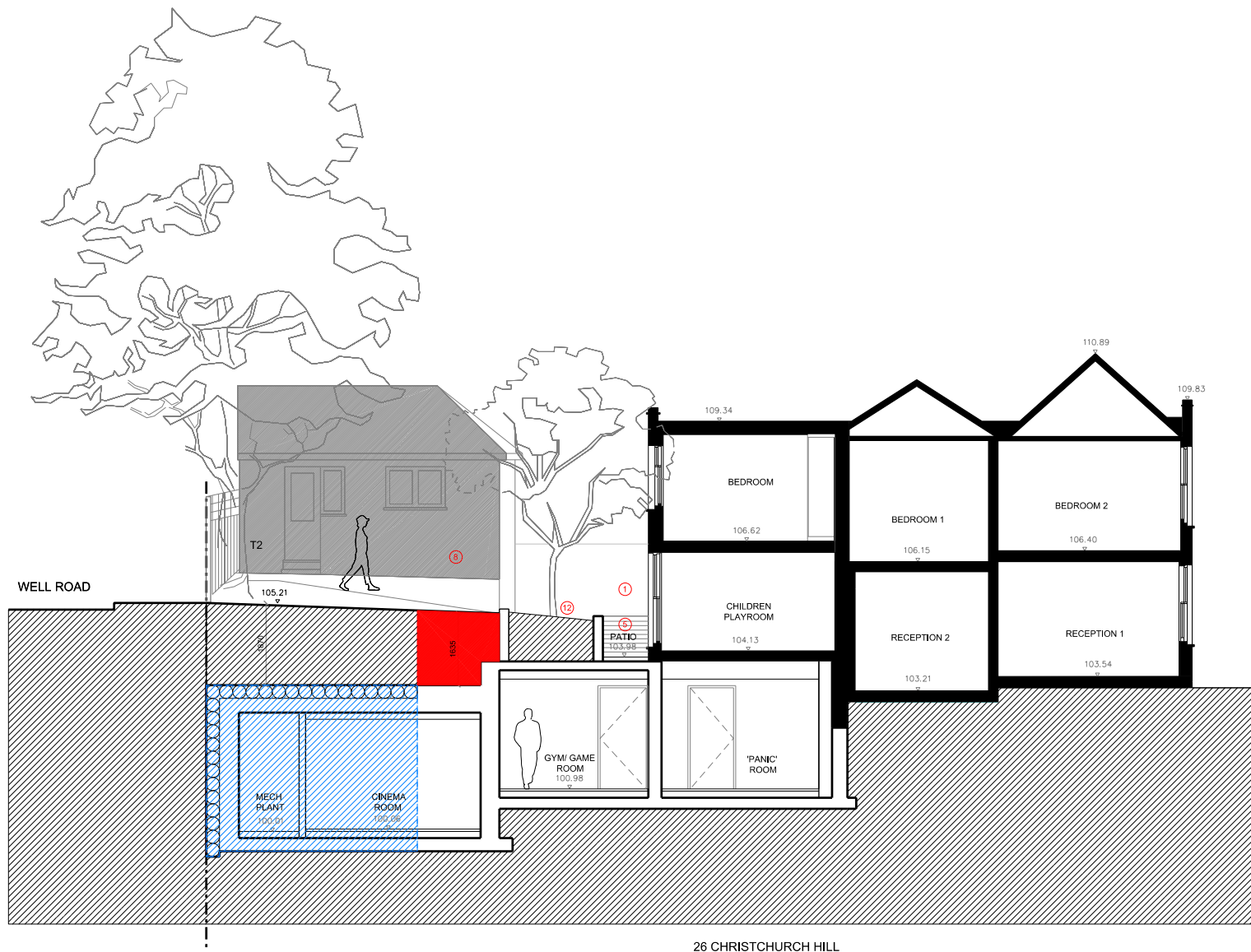
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SCALE 1:100 @ A3

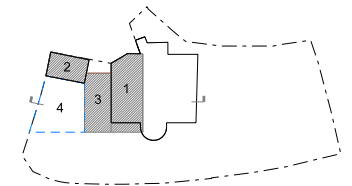
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- LEGEND
- EXISTING MAIN DWELLINGHOUSE
 - PROPOSED BASEMENT STRUCTURE
 - DEMOLISH & REBUILD BASED ON ORIGINAL MATERIALS & DESIGN
 - PROPOSED 'TUNNEL' SECTION OF BASEMENT
 - AREA FALLS WITHIN RPAs - PROPOSED TRADITIONAL CONSTRUCTION METHOD
 - PROPOSED FINISHED FLOOR LEVEL
 - PROPOSED 'TUNNEL' CONSTRUCTION - ROOF & WALL FORMED BY PIPE-JACKING



1 PROPOSED SECTION

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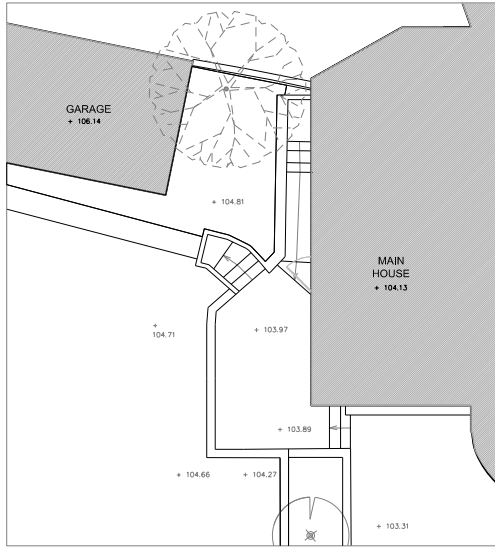
TITLE
PROPOSED BASEMENT SECTION
WITH SITE CONSTRAINTS

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0036.P.00.006_B

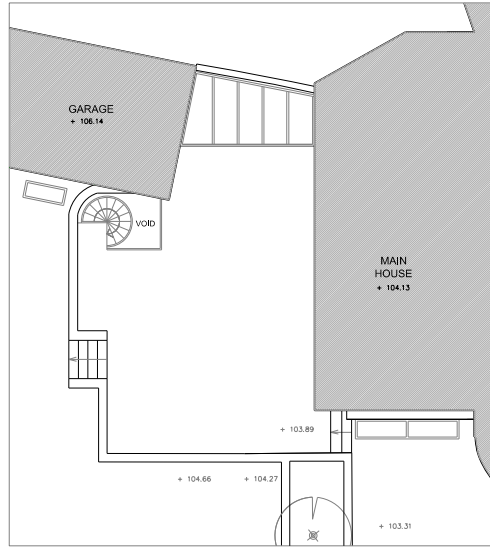
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SCALE 1:100 @ A3

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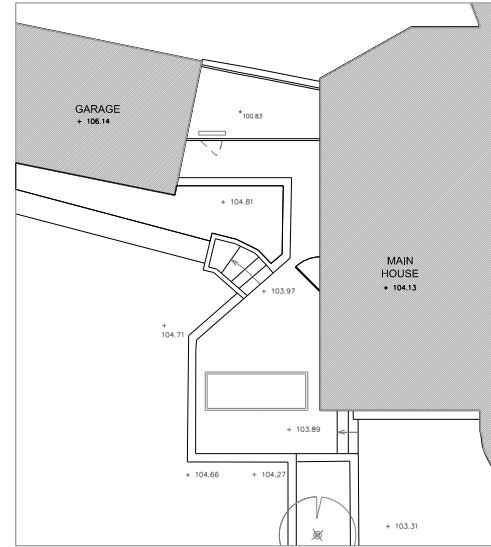
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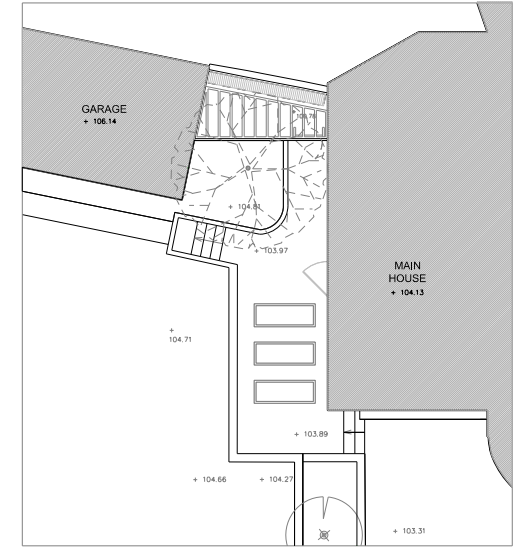
1 EXISTING LAYOUT



2 PRE-PLANNING APPLICATION (2014)



3 PRE-PLANNING APPLICATION (2016)



4 LISTED BUILDING CONSENT & PLANNING APPLICATION

REVISION

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TITLE

EXTERNAL LANDSCAPE TREATMENT STUDIES:
EXISTING, PRE-APP 2014, 2016 & PROPOSED PLAN

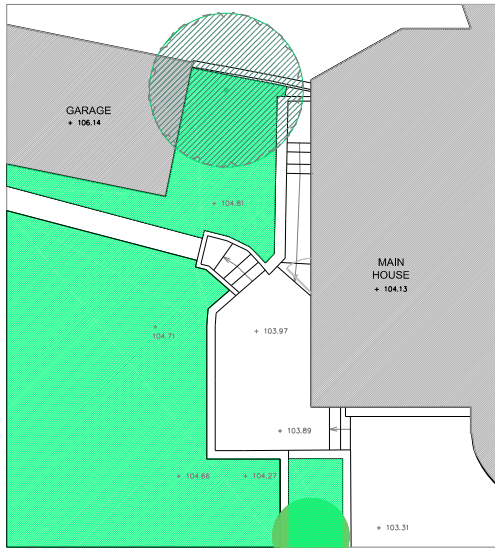
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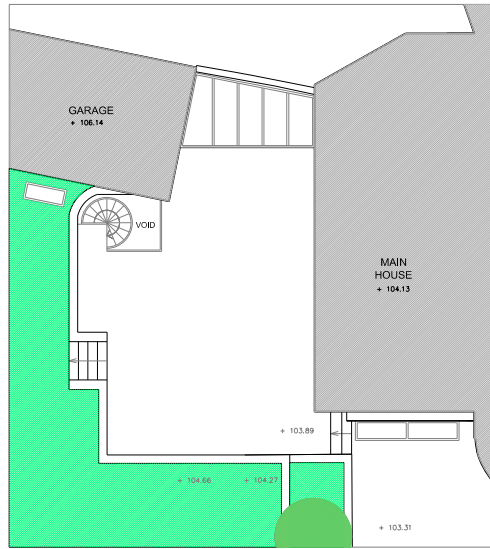
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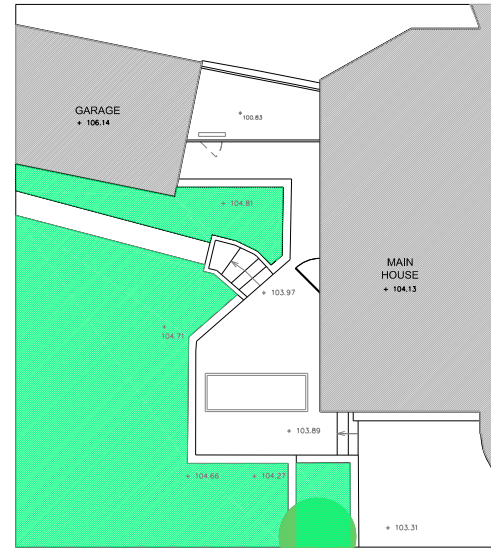
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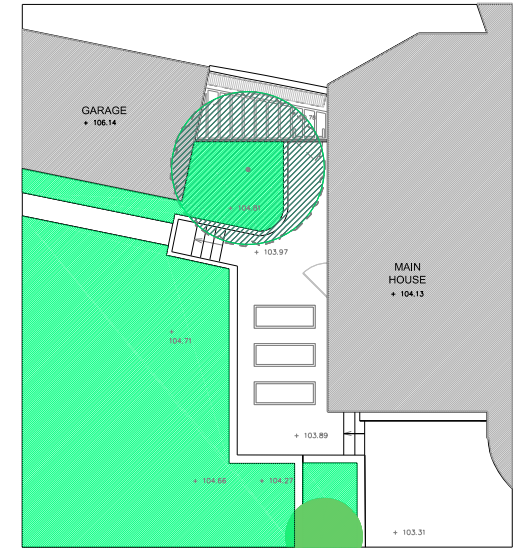
1 EXISTING LAYOUT



2 PRE-PLANNING APPLICATION (2014)



3 PRE-PLANNING APPLICATION (2016)



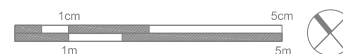
4 LISTED BUILDING CONSENT & PLANNING APPLICATION

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EXTERNAL LANDSCAPE STUDIES:
EXISTING, PRE-APP 2014, 2016 & PROPOSED PLAN

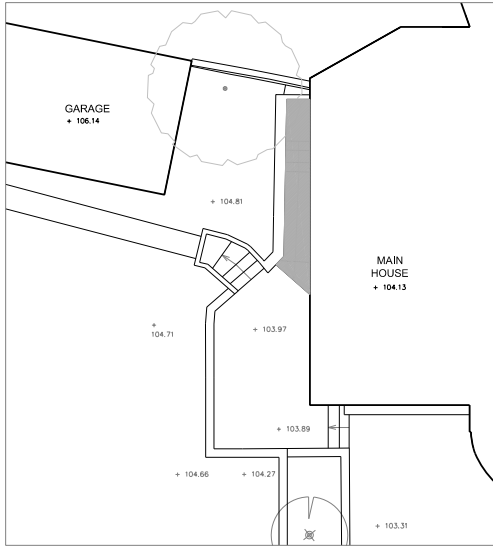
DWG No

0036.P.00.008_A

1:100 @ A1
SCALE 1:200 @ A3

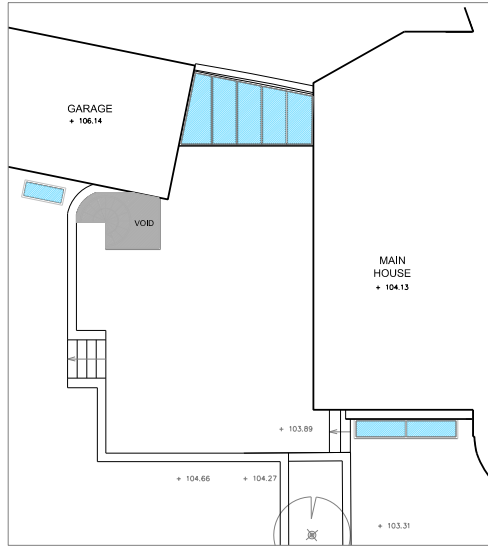
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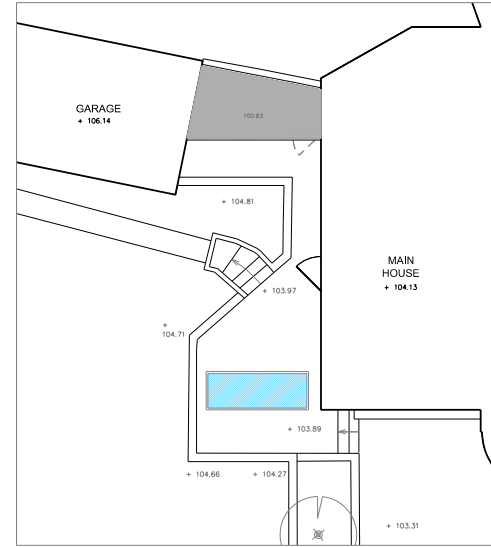
1 EXISTING LAYOUT

Void (stair leads to basement) = 1.64 sqm
Glazed floorlight/rooflight = n/a



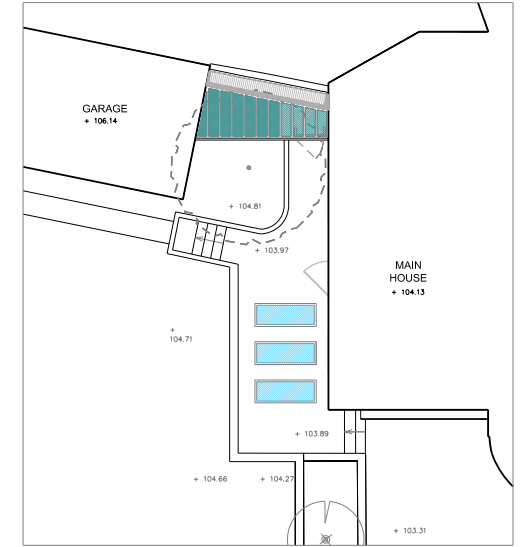
2 PRE-PLANNING APPLICATION (2014)

Void (stair leads to basement) = 1.27 sqm
Glazed floorlight/rooflight = 3.33 sqm



3 PRE-PLANNING APPLICATION (2016)

Void (sunken courtyard @ basement) = 2.70 sqm
Glazed floorlight/rooflight = 1.18 sqm



4 LISTED BUILDING CONSENT & PLANNING APPLICATION

Void (sunken courtyard with glazed canopy) = 0.18 sqm
Glazed floorlight = 1.13 sqm
Glazed canopy = 1.15 sqm
Total = 2.28 sqm

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LONDON NW3 1LG

TITLE GLAZED FLOOR/ROOFLIGHTS & VOIDS STUDIES:
EXISTING, PRE-PLANNING 2014 & 2016 AND
PROPOSED EXTERNAL COURTYARD PLAN

DWG No 0036.P.00.009_A
SCALE 1:100 @ A1
1:200 @ A3

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1 EXISTING GROUND FLOOR PLAN
WITH SITE CONTEXT

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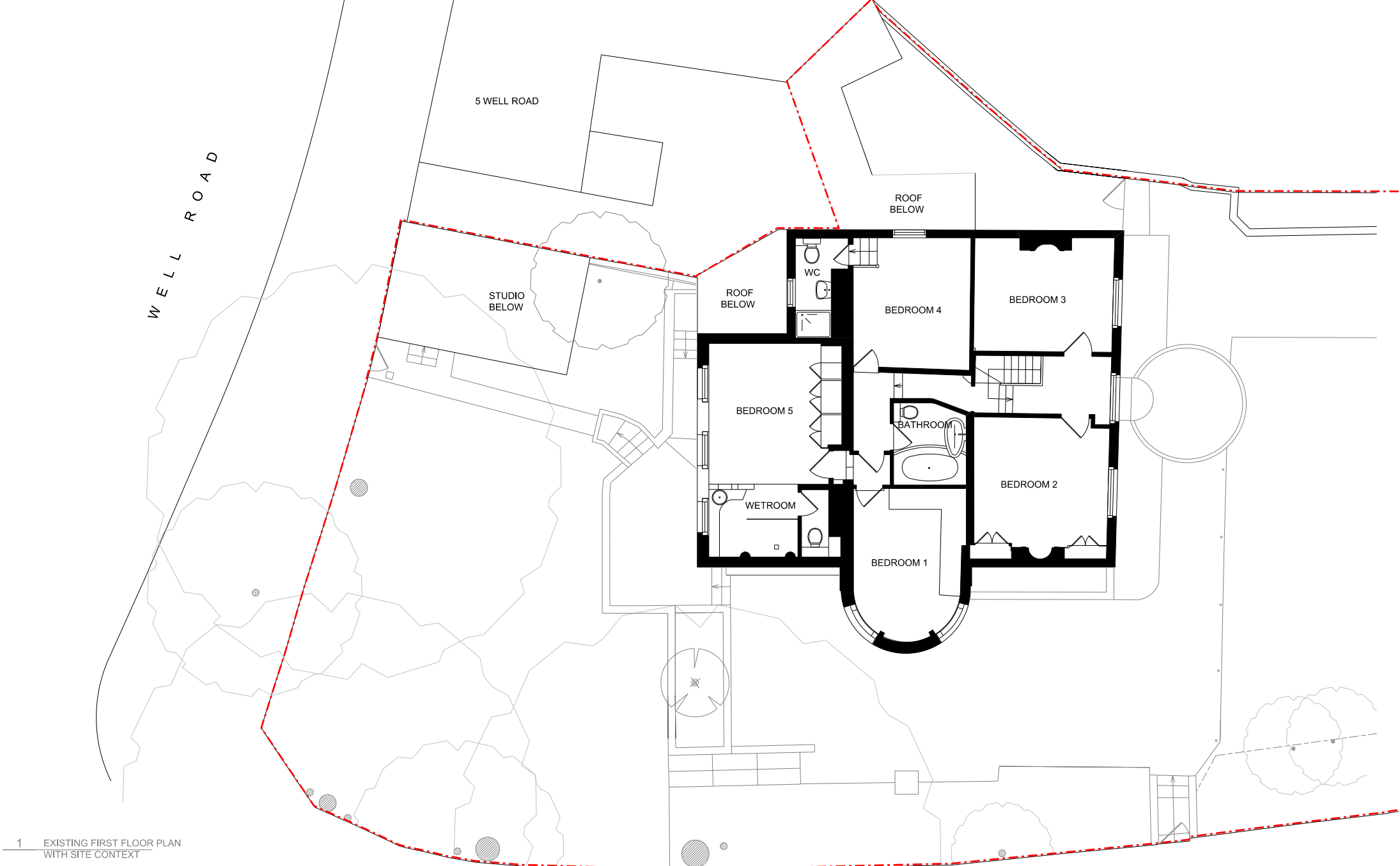


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PROJECT 26 CHRISTCHURCH HILL
LONDON NW3 1LG
TITLE EXISTING GROUND FLOOR PLAN
WITH SITE CONTEXT
DWG No 0036.P.20.001_C

SCALE 1:50 @ A1
1:100 @ A3

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1 EXISTING FIRST FLOOR PLAN
WITH SITE CONTEXT

REVISION

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TITLE

EXISTING FIRST FLOOR PLAN WITH CONTEXT
- NO CHANGE

DWG No

0036.P.20.002_C

SCALE 1:50 @ A1
1:100 @ A3

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