

Spec. Ref. **FF-02**



Description **ENGINEERED TIMBER FLOOR**

Product nr. FL848
 Location WIINTER GARDENS
 Section XX
 Material Engineered oak
 Dimensions 15/4 x 1900 x 260 mm
 Colour Natural
 Type
 Finish Brushed and UV oiled
 Company: Wood and Beyond
 Address 220 The Vale, London NW11 8SR
 Telephone 0800 690 6864
 Fax 0203 869 0900
 Website <https://www.woodandbeyond.com/products/Natural-Engineered-Oak-Brushed-White-UV-Oiled-15/4mm-By-260mm-By-1900mm-FL848.html>

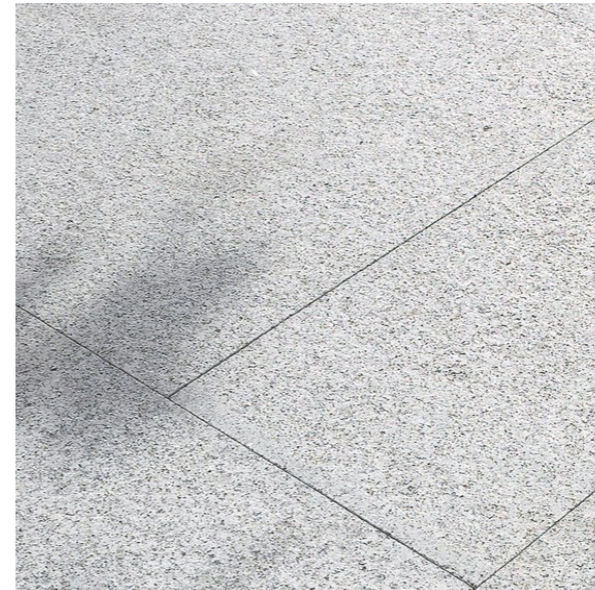
Spec. Ref. **FF-04**



Description **CARPET**

Product nr. HECMONDWICKE SUPACORD OR SIMILAR
 Location BLOCK F - WINTER GARDEN
 Section
 Material
 Dimensions
 Colour
 Type
 Finish

Spec. Ref. **FF-05**



Description **GRANITE PAVER**

Product nr. BRADSTONE NAUTURAL GRANITE PAVER
 Location All Private and External Amenity Space
 Section Bradstone Contemporary Paver
 Material Granite
 Dimensions 600 X 600
 Colour Silver Grey
 Website <https://www.bradstone.com/products/contemporary-paving/natural-granite-paving/>

Spec. Ref. **FF-08**



Description **CONCRETE PAVER**

Product nr. TOBERMORE FUSION CONCRETE PAVER
 Location Block F Entrance
 Section TOBERMORE FUSION
 Material Concrete Paver
 Dimensions 600 X 300 X 80
 Colour Cream
 Website <http://www.tobermore.co.uk/professional/products/amber/fusion/#.V9AuRiMrKS4>

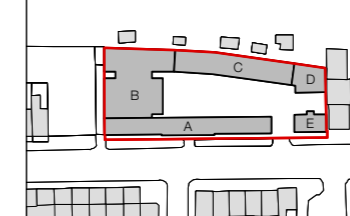
Setting out and all G.A. drawings prepared from survey information provided by others.
 All setting out must be checked on site and refer to Ordnance Datum Newlyn unless alternative Datum given.
 All fixings and weatherings must be checked on site.
 All dimensions must be checked on site.
 This drawing must not be scaled.
 This drawing must be read in conjunction with the relevant specification clauses.
 This drawing must not be used for land transfer purposes.
 This drawing must not be used on site unless issued for construction.

WARNING TO HOME BUYERS
 Property Misdescriptions Act 1991
 Buyers are warned that this is a working drawing and not intended to be treated as descriptive material describing in relation to any particular property or development, any of the specified matters prescribed by any order and under the above act. The contents of this drawing may be subject to change at any time and alterations and variations can occur, during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of any contract or warranty.

THIS IS A DESIGN INTENT DRAWING. SUB-CONTRACTOR / SUPPLIERS DETAILED DRAWINGS AND SPECIFICATIONS TO BE SUBMITTED FOR DESIGN TEAM INFORMATION AND/OR COMMENT

Legend				
AME 05	Entrance Gates	LI 05	⊙	Bollards
AME 06	Entrance Canopy	LI 06	⊕	Spot Lighting to articulate car parking spaces
FX 100	Post Boxes	LAN 01		Sheffield Cycle Stand
FF 02	Engineered Timber	LAN 02		Inset and Articulated Bar Code Pattern
FF 05	Paver Balcony Finish	LAN 03		Permeable Paver System
FF 04	Carpet	LVR 05		External Louvered Enclosure
FF 08	Concrete Paver			
GR 01	Green Wall in Amenity			
GR 02	Weeping Willow Trees			
GR 03	Grass Paver			
GR 04	Garden Landscaping			
GR 05	Green Roof			

* Issued for comment 08.09.16



Client: St Ermins Property Company Limited
 Project: 44 Gloucester Avenue, London NW1 8JD
 Drawing Title: Planning Condition 07 Landscape Arrangement
 Status: Planning
 Drawn: SD
 Checked: TJS
 Scale: 1:100 @ A1, 1:200 @ A3
 Date: March 2016
 Dwg. No.: 173_PL_COND_07_12 *
 Revision:

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