

20 Flaxman Terrace, London, WC1 | Heritage, Design and Access Statement 
Planning Application Reference - 2016/0788/P

Addendum Document

Contents

Introduction	3
01. Context Analysis	5
Conservation Area Analysis	6-7
Wider Context	8-13
Local Context	14-15
Existing Building	16-19
02. LPA Comments & Design Evolution	21
LPA Summary	22-23
Design Evolution & Views	24-27
03. Scheme Design	29
Use	30
Layout	31
Elevations	32-33
Sections	34
Materials	35
07. Conclusion	37

Introduction

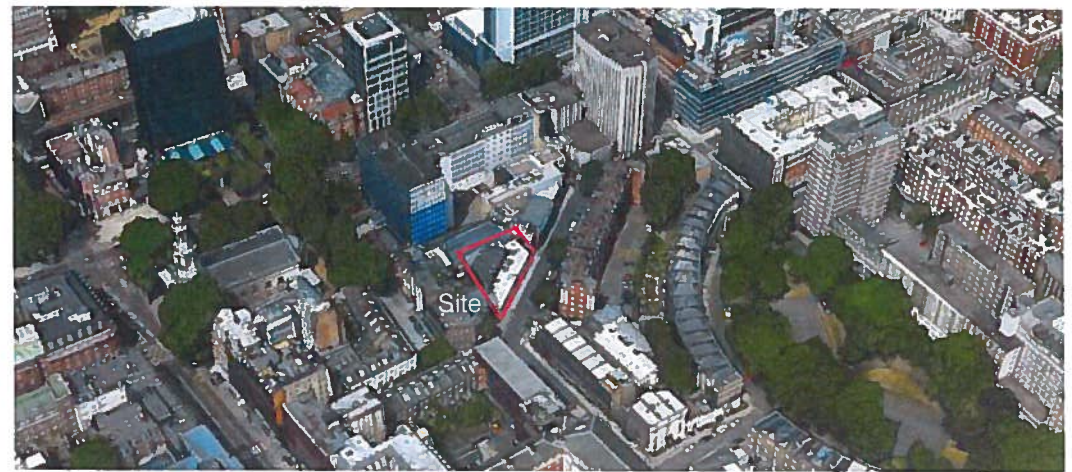
Addendum Document

This Addendum Document has been prepared by Metropolis Planning and Design on behalf of Salaft Properties Ltd to address the Design Comments received from the LPA on planning application ref 2016/0788/P (23/08/16). The LPA comment that the scheme should -

- Preserve and enhance the character of the conservation area and setting of adjacent listed buildings.
- Retain the existing building, its architectural interest and fabric.
- Principle of extending upwards by 1no. storey is considered acceptable.
- Proposals should unify the whole building, respecting its historical development.
- Provide a contemporary approach to design, appearing as a later edition
- Retain the horizontal emphasis
- Retain the existing brickwork, parapet, roof edge, Crittal windows, and feature entrance.
- Review existing elevational composition to inform new design
- Analyse local precedents of materials and design to inform proposals.

This document sets out further analysis of the Site Context and Bloomsbury Conservation Area and describes how this, alongside the design comments, inform the amended design proposals.

The amended scheme addresses these comments and proposes a single storey extension of 226 sqm.







01 | Context Analysis

Context Analysis

Conservation Area Analysis

Bloomsbury Conservation Area

The Bloomsbury Conservation Area is divided into 14 Sub - Areas each with their own character. The subject site is within Sub Area 13, which is influenced by adjacent sub areas including 1-6 and 11-15.

Kings Cross Conservation Area

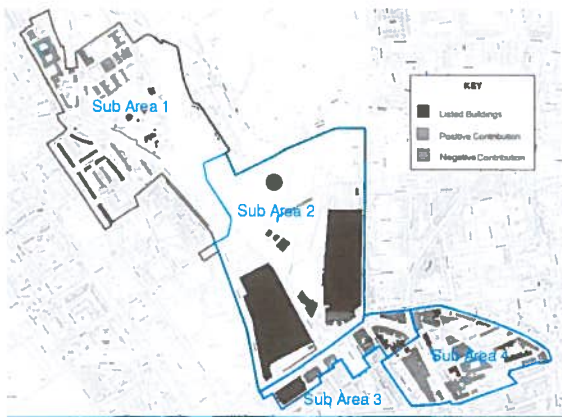
This separates the 4 character areas and contains "some of the most important historic buildings/structures" in the UK

- 1 St Pancras Gardens
- 2 King's Cross/St Pancras
- 3 Euston Road
- 4 Gray's Inn Road

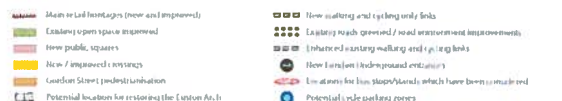
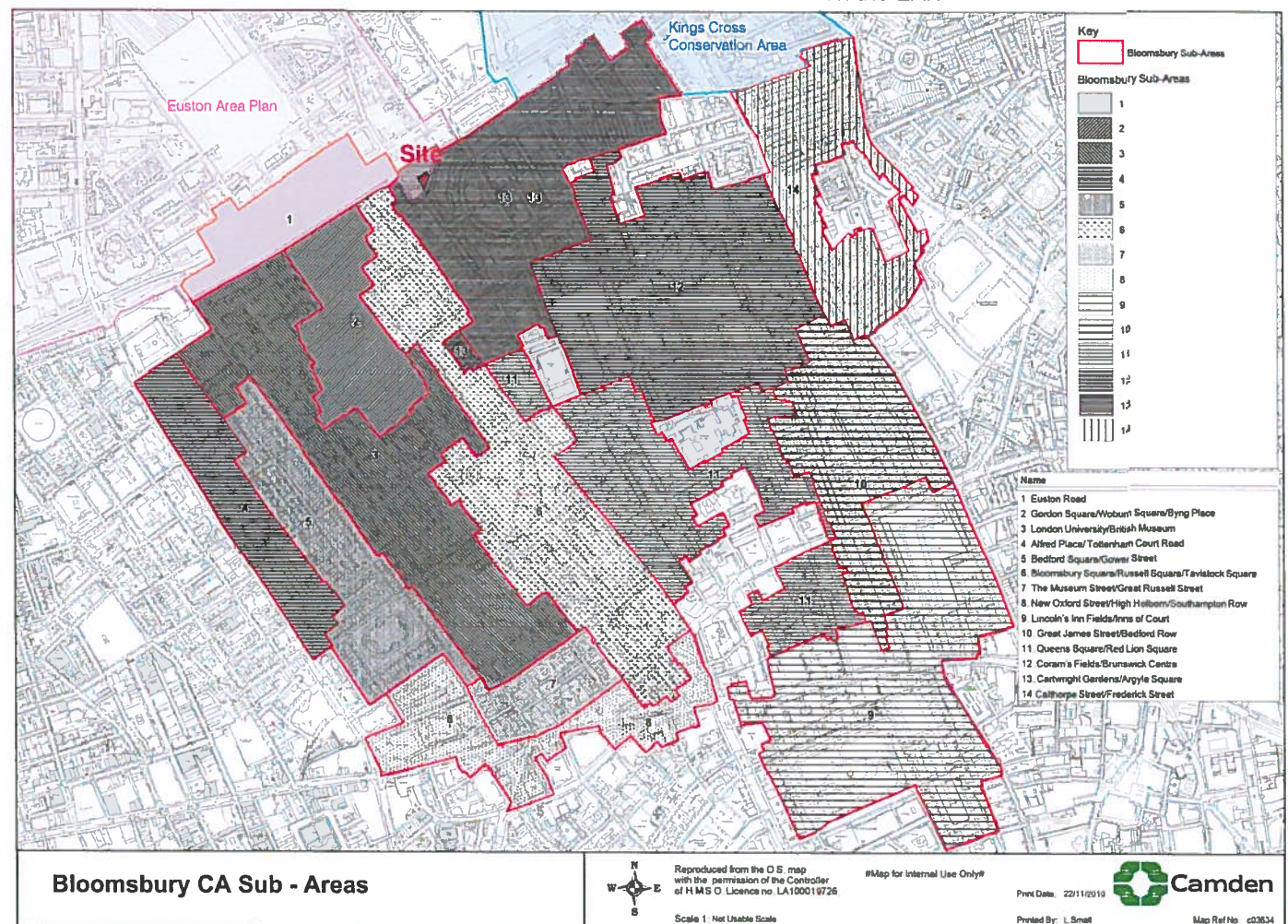
Euston Area Plan

The Euston Area Plan, abuts and overlaps the northern boundary of Sub Area 13 of the Bloomsbury Conservation Area. Its main focus affecting the site context are the intended improved pedestrian links and access towards the site from Euston Station. The site falls within the EAP.

Kings Cross Conservation Area



Bloomsbury Conservation Area



Euston Area Plan

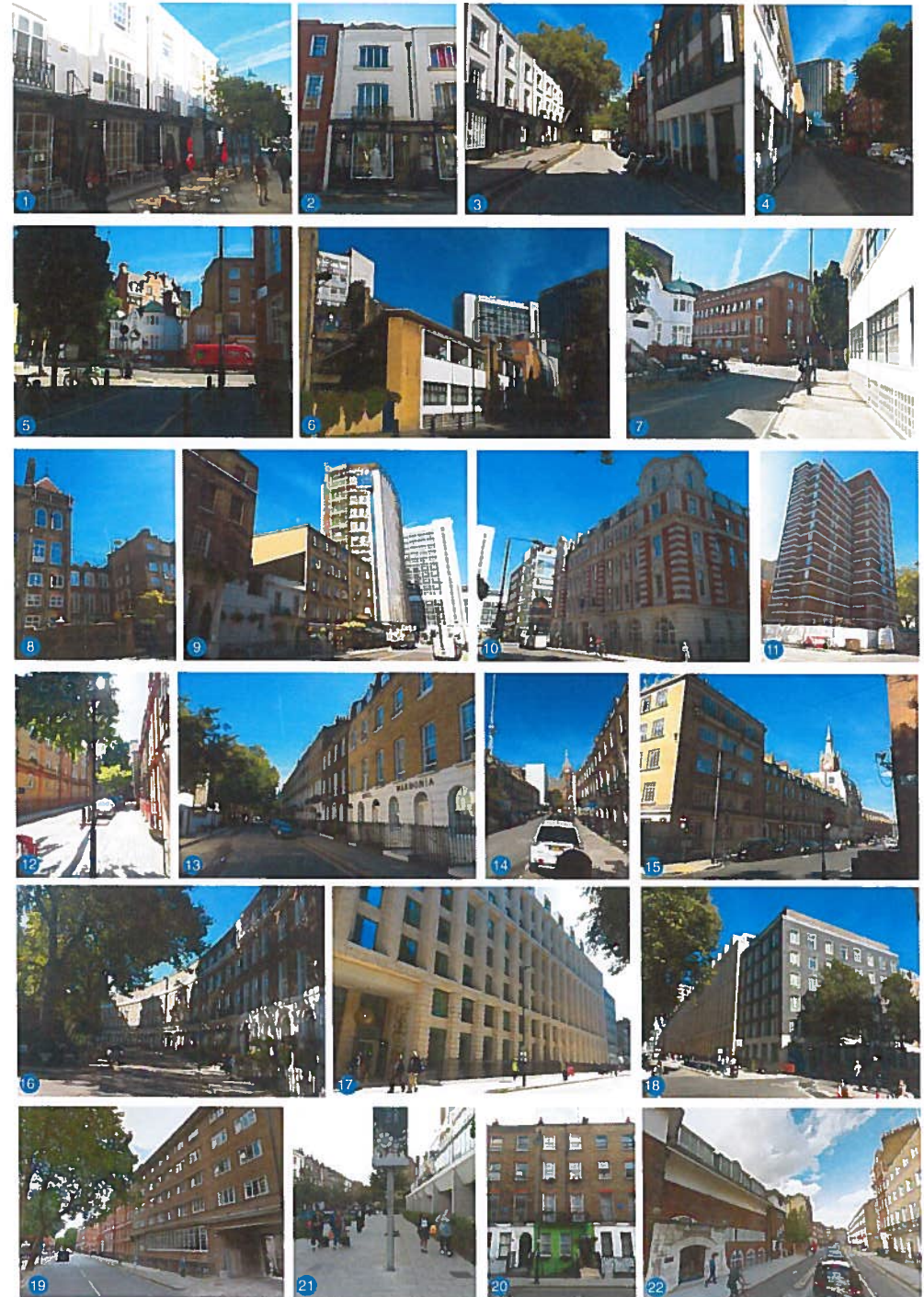
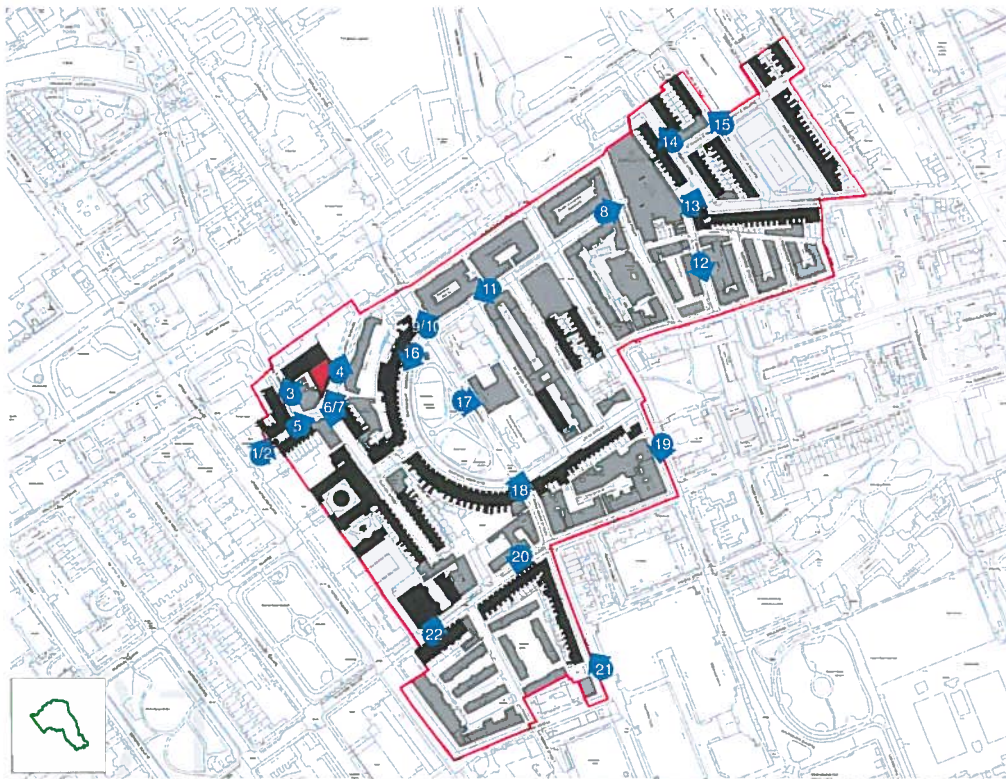
Context Analysis

Conservation Area Analysis

Sub Area 13 - Cartwright Gardens and Surrounding Streets

This Sub Area is characterised by -

- The Cartwright Gardens Crescent
- Uniform terraced housing 1810-20
- Large tenement blocks 1890-1900's
- Mixed use plots to north west corner
- Listed terraces and buildings
- The site is in a "back street character" location within the conservation area.



Bloomsbury CA Sub Area 13 Townscape Appraisal

This map is based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unauthorised reproduction without Crown copyright and/or in any form may lead to prosecution or civil proceedings (L. Licence Number 1000 (15/2011) (14 April 2008))

Print Date: 1/02/2011
Printed By: L. Small
Scale: 1:1000 (A4)

Context Analysis

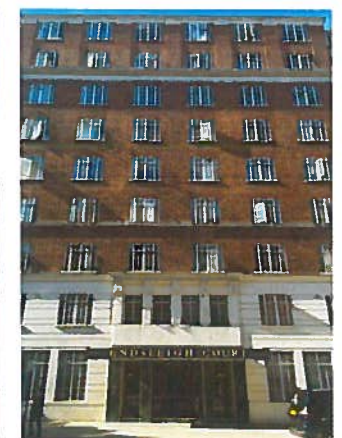
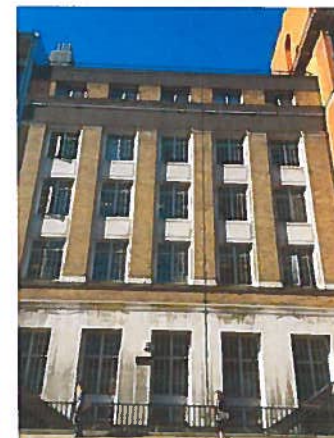
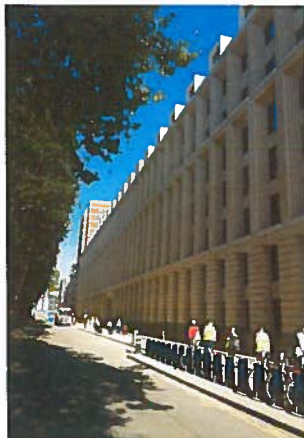
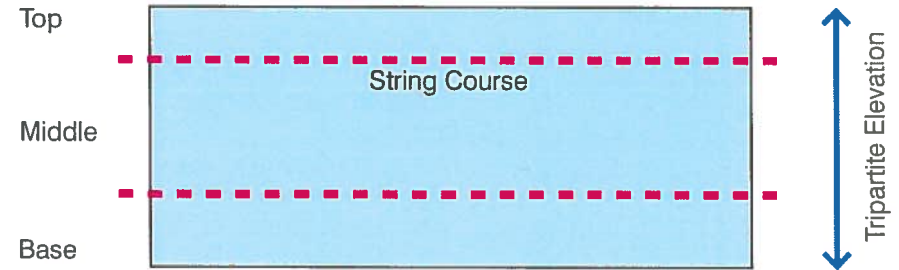
Wider Context

Design Character

1. Tripartite Elevations

Horizontal emphasis

Elevational analysis of historic and contemporary buildings within the Conservation Area gives numerous examples of horizontal emphasis to elevations. Tripartite Facades are often divided into Base, Middle and Top, where upperfloors are separated by horizontal string course or banding.



Context Analysis

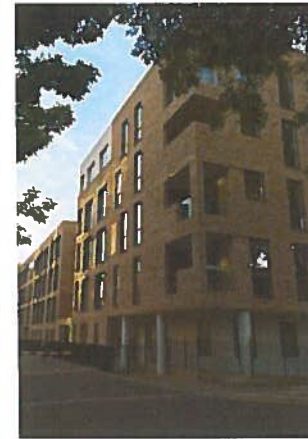
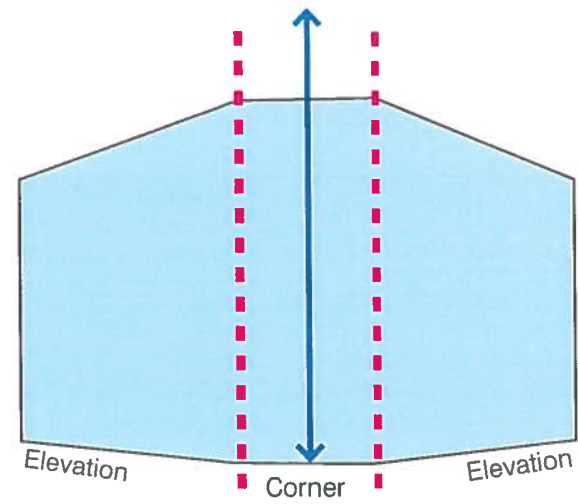
Wider Context

Design Character

2. Corner Details

Vertical Emphasis and Details

Building situated at road junctions and prominent corner locations within the conservation area demonstrate a range of design characteristics. Typically buildings that turn a corner provide additional detail and often additional height.

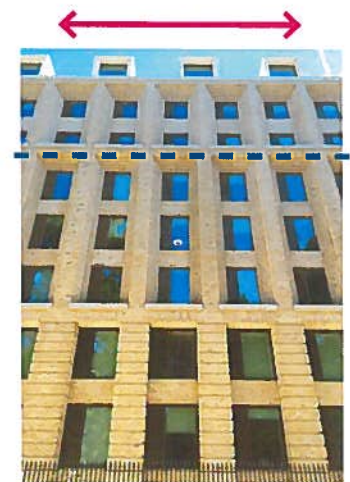
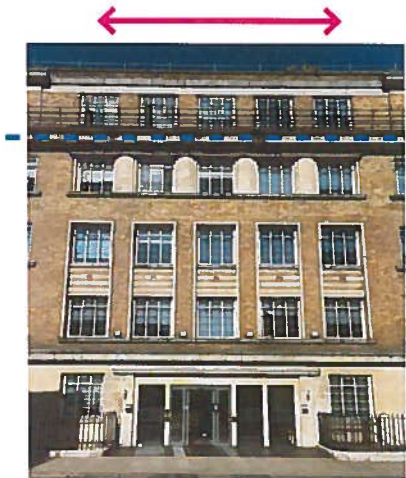
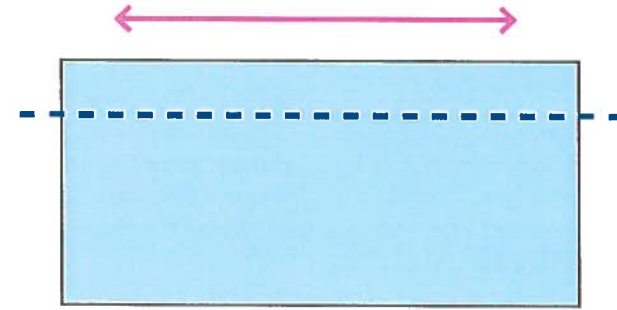


Context Analysis Design Characteristics

3. Top Floors

Horizontal Emphasis

Elevational treatments in the conservation area often highlight the upper floor(s) of buildings using prominent string-course or cill details. This creates a horizontal emphasis giving a defined "top" to the buildings.



Context Analysis

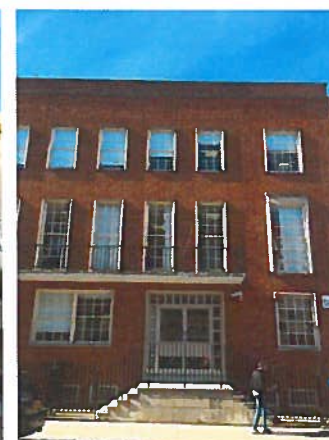
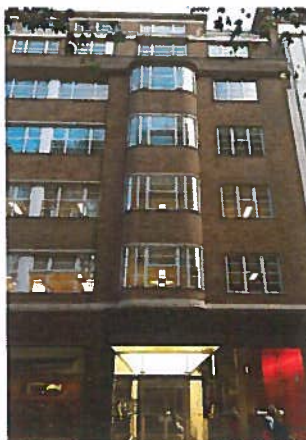
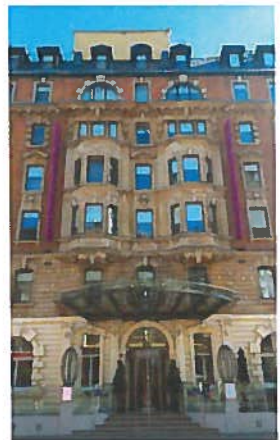
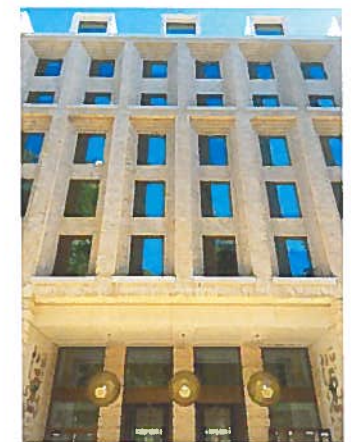
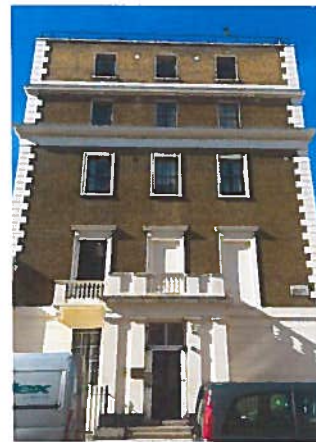
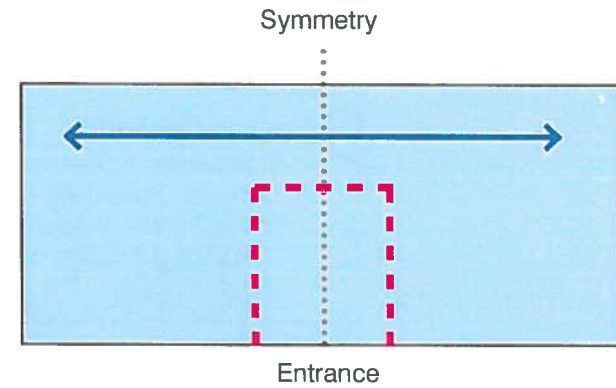
Wider Context

Design Character

4. Entrances

Entrances - location and detailing

Typically elevations within the conservation area that present central entrances, provide an enlarged and detailed entrance with surrounding details and canopy. Upper floors sometimes continue over the entrance, often with additional elevational details. The composition of the elevation is generally symmetrical about the entrance.



Context Analysis

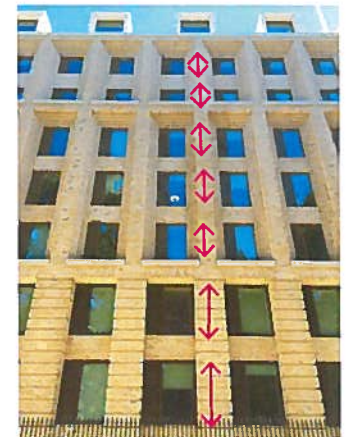
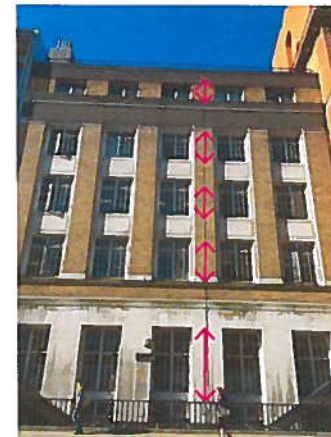
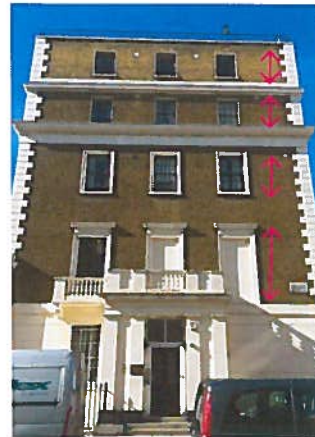
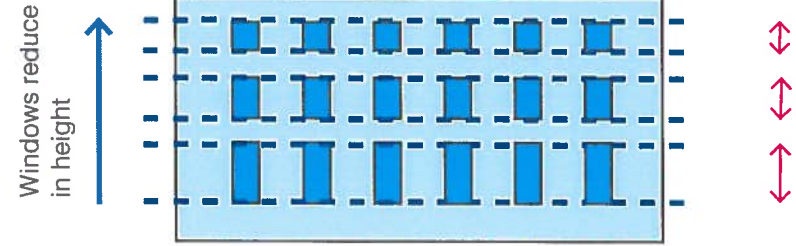
Wider Context

Design Character

5. Window Hierarchy

Glazing Hierarchy

Typical elevations, ranging from Georgian to contemporary exhibit a fenestrational hierarchy. Windows reduce in size as the distance from ground plane increases. This accentuates the grandeur and perceived height of the building through false perspective.



Context Analysis

Wider Context

Design Character

6. Materials

Materials and Glazing

The LPA have requested a review of local precedents for materials, glazing and elevational design to inform proposals.

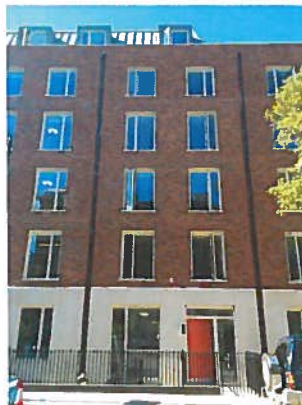
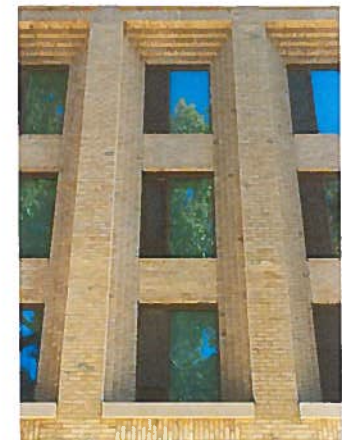
The images below highlight a number of contemporary examples, showing materials and glazing details alongside elevational treatments. These can be read against the historic buildings and character of the conservation area, as shown previously.

Brickwork and Fenestration

While the conservation area exhibits a large diversity of construction materials, the predominance is of brick / masonry construction. This is especially interesting as the development of Bloomsbury itself, hailed from the popularity and use of the brickearth dug from the area. This was in high demand throughout 18th century and the Burton Family among others built extensively on this land in the years following.

Contemporary Buildings are typically in brick, including a variety of types and an increasing compliment of both subtle and complex brickwork detailing.

Glazing styles vary in the area, however there is currently a return to the Georgian proportions in fenestration, with large pane glazing and fine framing details.



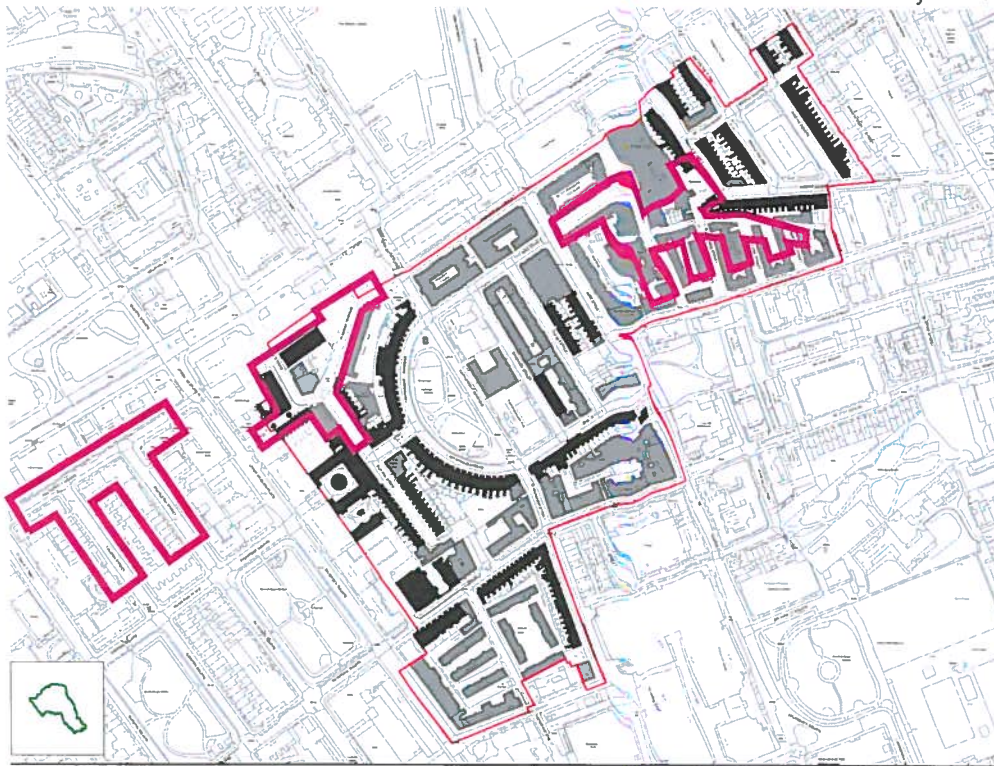
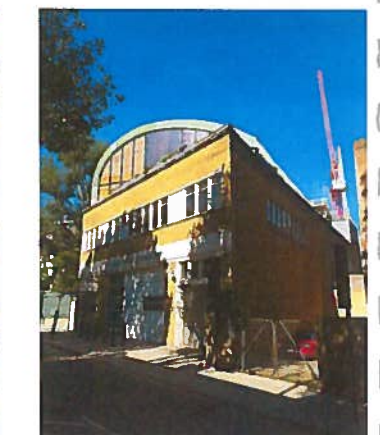
Context Analysis

Local Context

Back Street Character Areas

“Back Streets”

These are typically secondary, tertiary or pedestrian only routes. Building forms are often more diverse in design and character and are more individual in nature, scale and materials. Often these “back streets” provide a refuge from the monumental scale of the surrounding main routes, providing a high quality yet diverse conservation area setting. This character sees 3-15 storey buildings from different centuries set side-by-side.



Bloomsbury CA Sub Area 13 Townscape Appraisal

This map is based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office © Crown copyright. Unless otherwise stated, all other copyright and any other intellectual property rights are reserved. Licence number: 100018170 (Year 2009)



Scale 1: Not to scale

Print Date 1/03
Printed By I. Sri

Context Analysis

Local Context

Adjacent context

Flaxman Terrace, Burton Road, Woburn Walk and Duke Street

This specific "Back Street" location provides a particularly eclectic mix of architectural styles and developments. From the G2 Listed Flaxman Lodge and 17 Duke Street opposite and behind the site, to the 5 Storey Georgian Elevations of Burton Road. Flaxman Terrace itself provides a range of preindustrial warehouses, Edwardian Mansion blocks, a 1950's office frontage and a 1990's-2015 tower block, all in a single view (right).



Woburn Walk



Duke Street



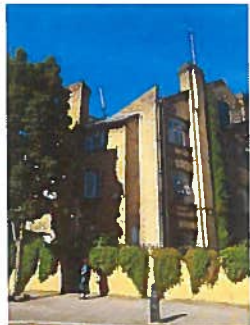
Flaxman Terrace



Flaxman Terrace



Flaxman Terrace



Duke Street



Flaxman Terrace



Flaxman Terrace to Burton Street



Burton Street - South



Burton Street

Context Analysis

Existing Building

Features and Details

20 Flaxman Terrace provides a 1950's presence to the street frontage, masking the majority of the original warehouse building. The resulting roof forms create an awkward and incoherent junction between the two elements, (visible from Duke's Road and along Burton Street). The reading of the warehouse is partially hidden, and instead the 1950's building forms the visible street frontage onto Flaxman Terrace.

The 1950's frontage has horizontal layering and provides a prominent entrance at its centre with stairwell behind. Glass block banding allows daylight into lower ground and provides a plinth for the elevation. Crittall windows puncture voids in the central rendered panels with projecting cill, head and surround details echoed in windows to the west elevation.

Heritage Analysis Summary

No.20 holds a prominent position on Flaxman Terrace. Key features of the building include -

- Horizontal layering
- Central Entrance and Stairwell
- Light yellow brick / render detailing
- Crittall Windows + Glass Blocks



New GF entrance wall



Fire escape link



Dukes Road Access



Original Warehouse



Prominent Entrance



Stair Glazing



New / Old junction



Courtyard Access



1960's addition



Crittall windows + glassblocks



Internal Stair

Context Analysis Existing Building

Lower Ground



Ground



First



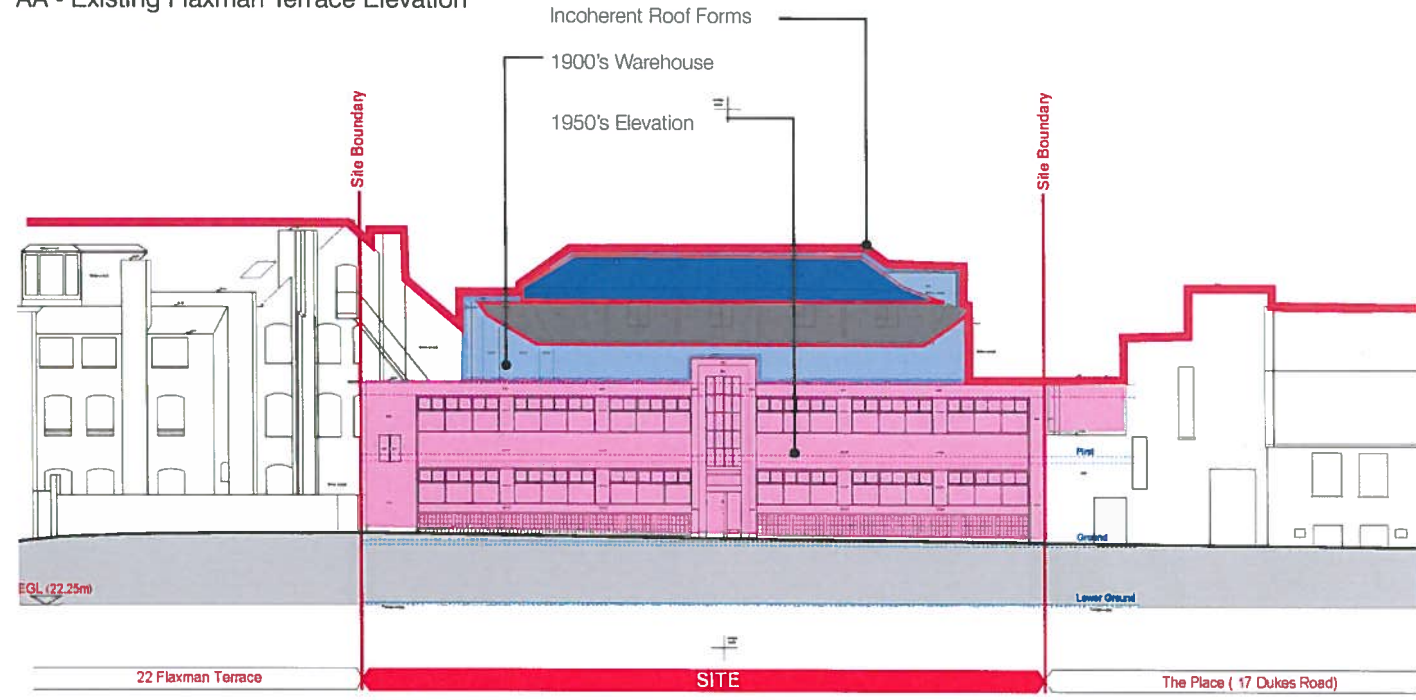
Second



Roof



AA - Existing Flaxman Terrace Elevation



BB - Existing West (Secondary) Elevation



KEY

- 1900's Warehouse
- 1950's office extension

Context Analysis

Existing Building

Principal Views

Views

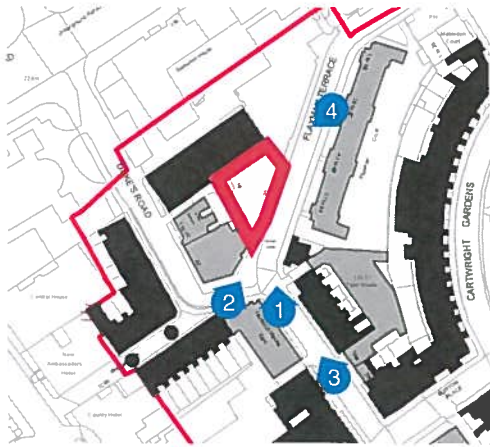
The following 4 no. views we consider to be the principle views towards the site, are taken from the surrounding streets within the conservation area. There are limited opportunities to view the site from a distance.

View 1 - Towards 20 Flaxman Terrace from the Burton Street Junction

View 2 - Along Flaxman Terrace from the corner of Duke Street

View 3 - North West along Burton Street

View 4 - West along Flaxman Terrace from outside Flaxman Court.



View 1



View 2



View 4



View 3

Context Analysis

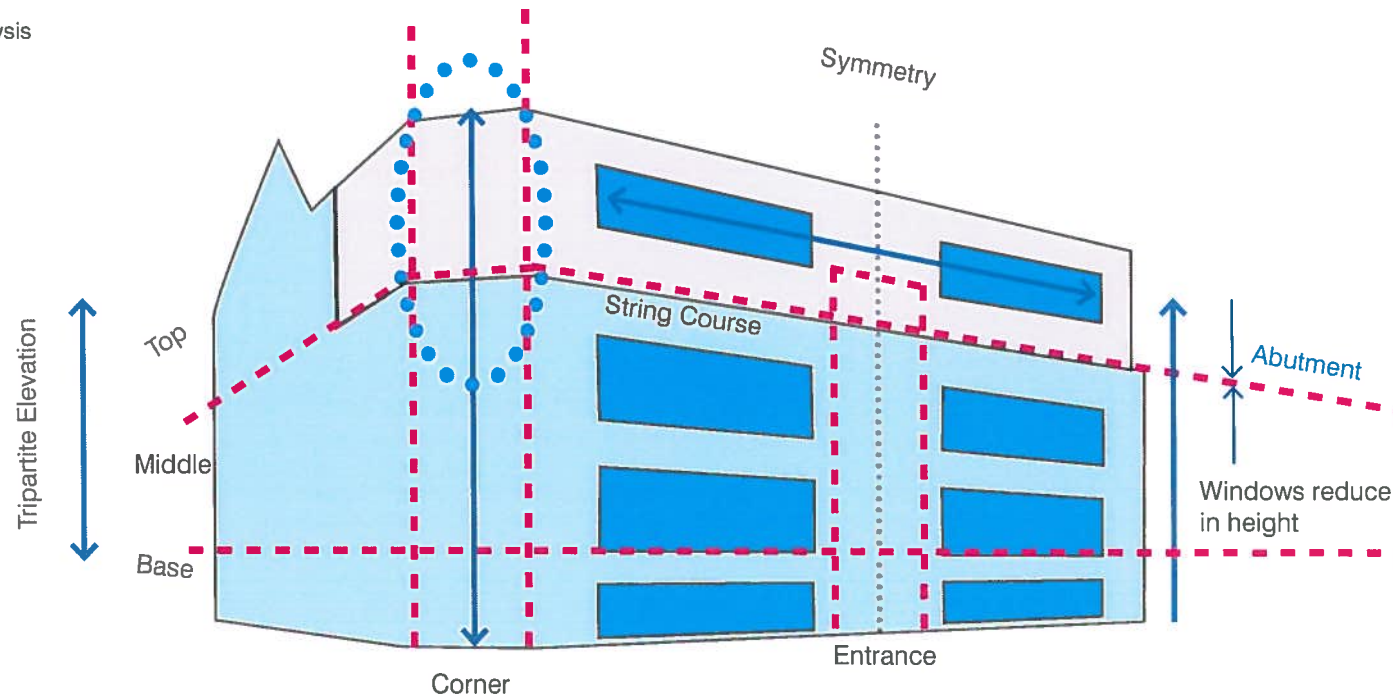
Analysis Summary

Conservation Area Summary

Analysis of the Conservation Area over the previous pages has led to a combination of elements which when applied to the subject site result in the following observations / responses -

1. Tripartite Elevations - exhibit base / middle / top
2. Corner Details - often provide additional interest
3. Symmetry retained about central entrance
4. Top Floors - often separated by a string course
5. Window Hierarchy - windows reduce in height/Size to the upper floors
6. Materials - Contemporary buildings typically present brick and simple glazing details.

- 20 Flaxman Terrace - Existing
- Conservation Area Analysis Summary







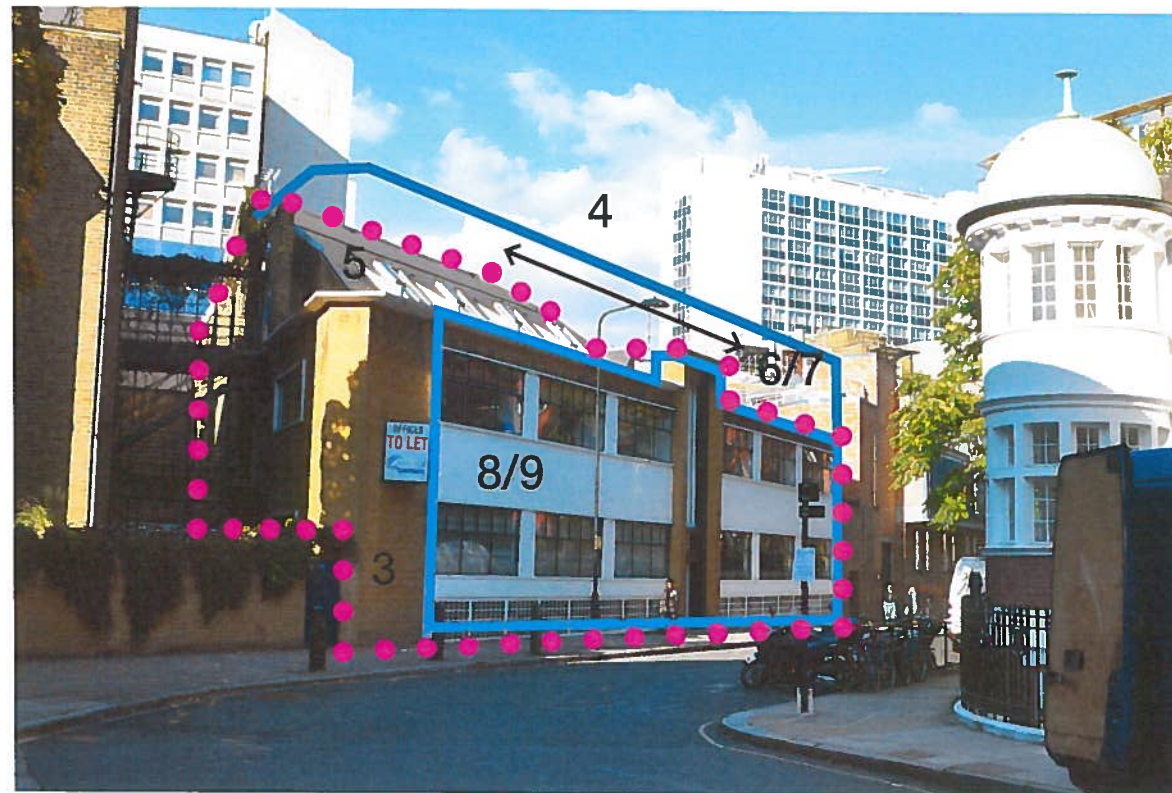
02

LPA Comments & Design Evolution

LPA Comments & Design Evolution LPA Summary

LPA Design Comments (Cont.)

3. Retain the existing building, its architectural interest and fabric.
4. Principle of extending upwards by 1 no. storey is considered acceptable.
5. Proposals should unify the whole building, respecting its historical development.
6. Provide a contemporary approach to the design, the extension appearing as a later edition.
7. Retain the horizontal emphasis.
8. Retain the existing brickwork, parapet, roof edge, Crittal windows, and feature entrance.
9. Review existing elevational composition to inform new design



LPA Comments

Design Evolution

Amended Design Proposals

The amended design proposals seek to harmonize the existing building with a single storey roof extension. This -

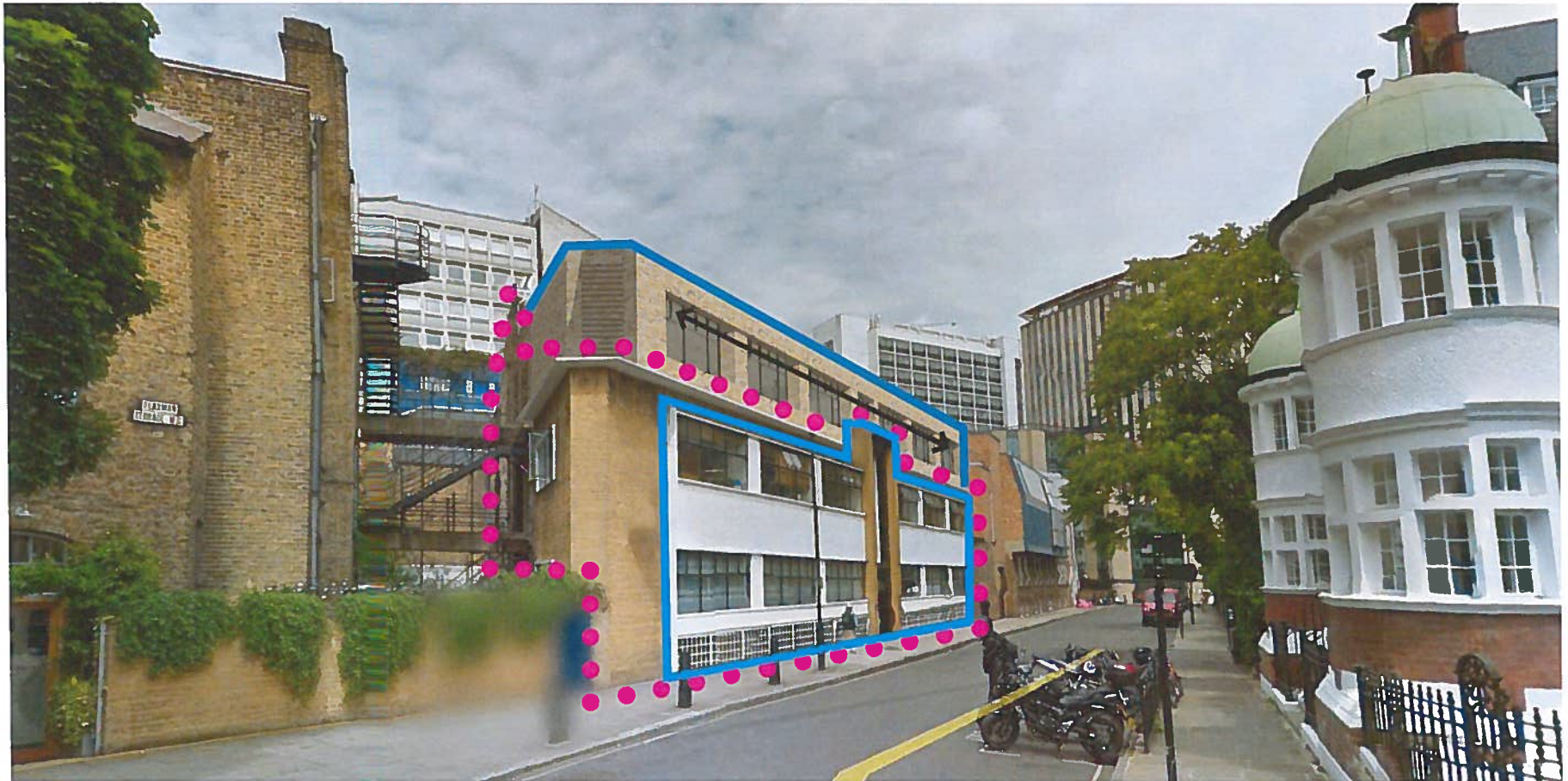
- Preserves and enhances its setting with the CA, echoing principle key "top of building" design strategies adopted locally.
- Retains the existing building, its

architectural interest and fabric.

- Unifies the building, respecting its historical development.
- Provides a contemporary design, appearing as a later addition.
- Retains the horizontal emphasis and elevational composition.
- Retains the existing brickwork, parapet, roof edge, Crittal windows,

and feature entrance.

- Reflects local materials and elevation design to inform the proposals.
- Hierarchy of windows with the top floor windows reduced in size to the floors below.



View 1

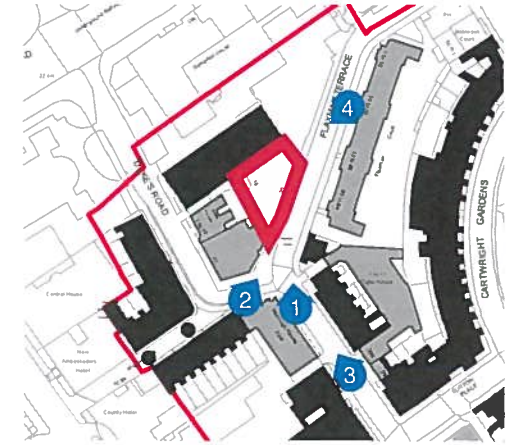


LPA Comments

Views

Views

The views 1-4 provide an artists impression of the proposed design.



View 2



View 3



View 4







03 | Scheme Design

Scheme Design Use

Uses

The proposal retains existing commercial space on Lower Ground to Second floors with proposed new office space on Second floor only, as follows:

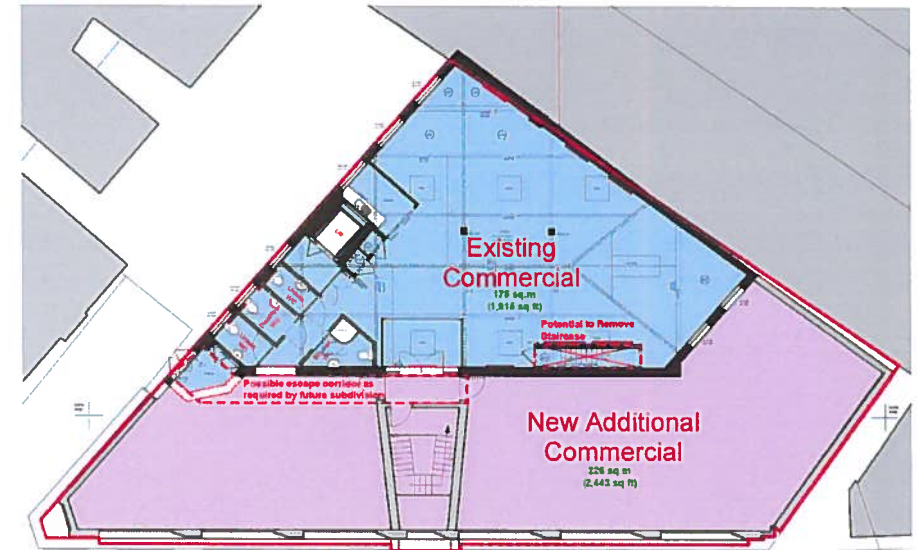
Basement Floor to Third Floor Areas

Lower Ground -	421sq.m Existing GIA
Ground -	371sq.m Existing GIA
First -	421sq.m Existing GIA
Second -	175sq.m Existing GIA 226sq.m Proposed Additional GIA

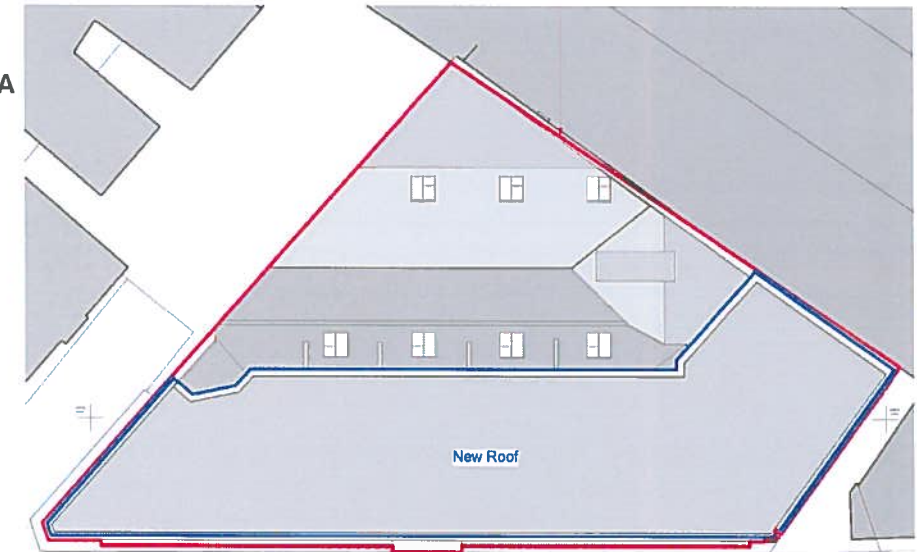
Totals - 1,388sq.m Existing GIA
226sq.m Proposed Additional GIA

- Existing Commercial
- Proposed Commercial

Second Floor

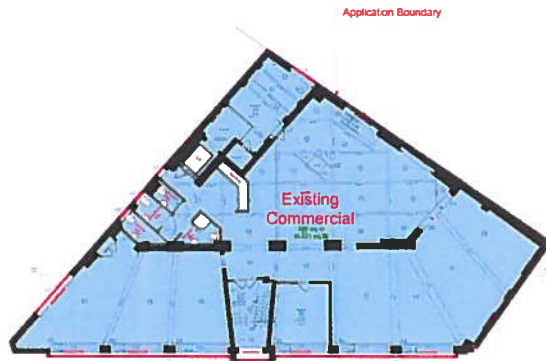


Roof Plan



Scheme Design Layout

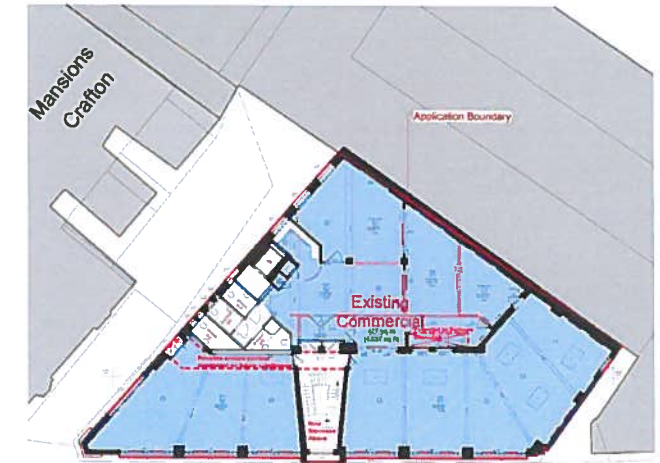
Lower Gound



Ground Floor

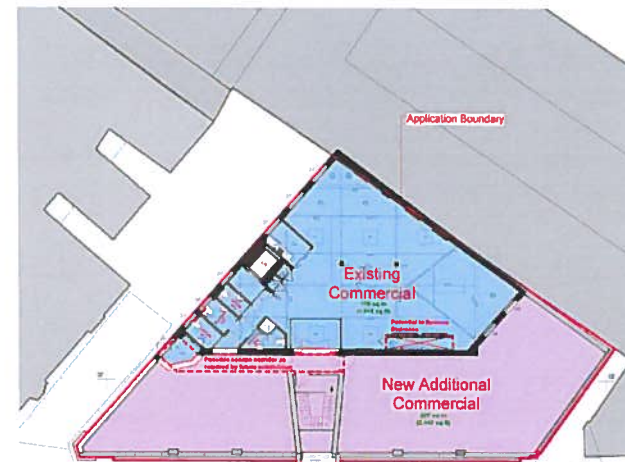


First Floor

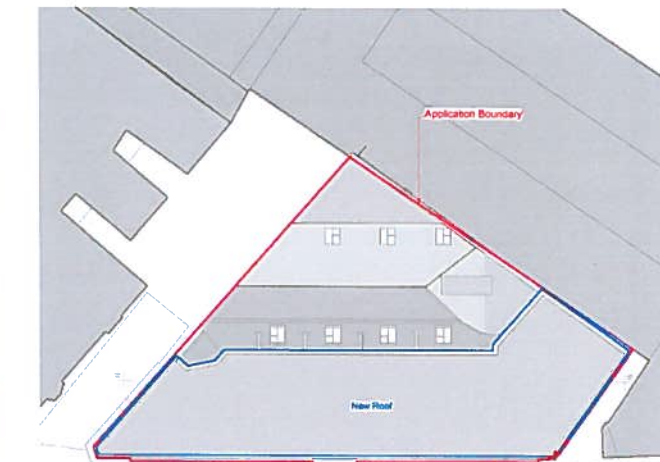


- Existing Commercial Space
- Proposed Commercial Space

Second Floor



Roof Plan

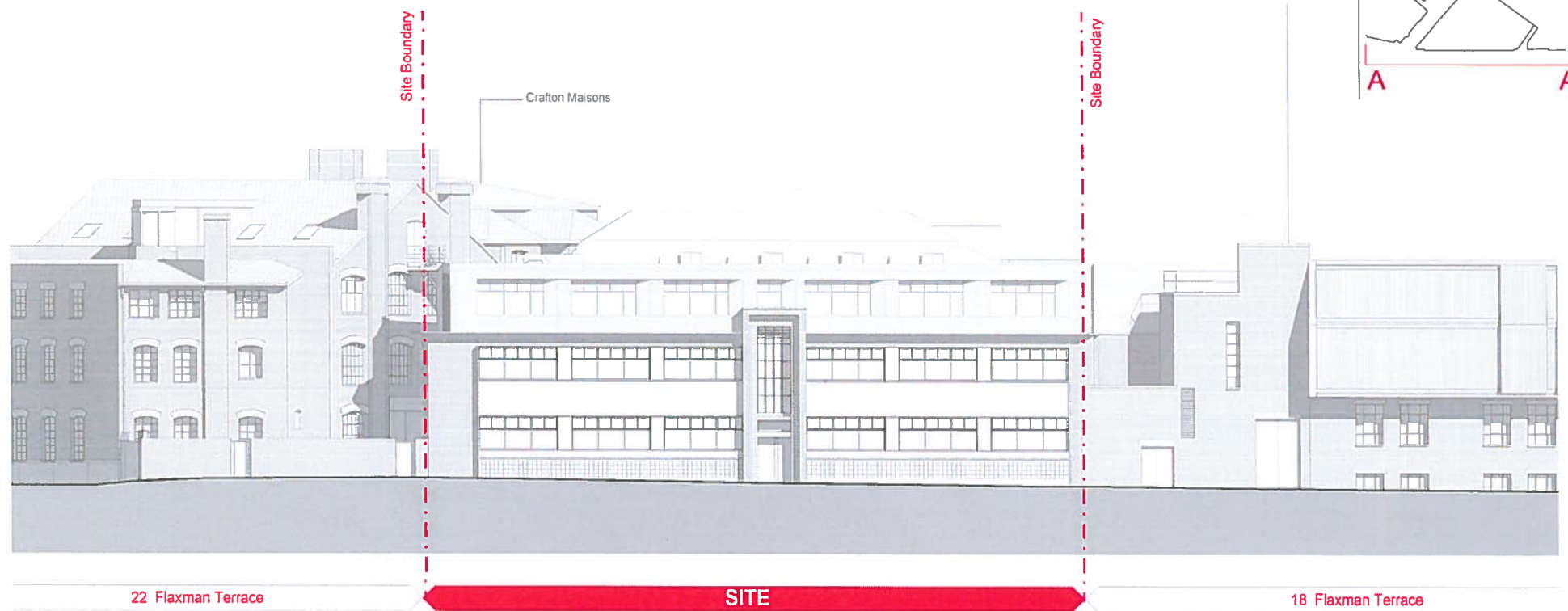


Scheme Design Elevations 1

Flaxman Terrace Elevation

This drawing shows the main Flaxman Terrace elevation of the proposed extended building. This faces South East towards Flaxman Court opposite.

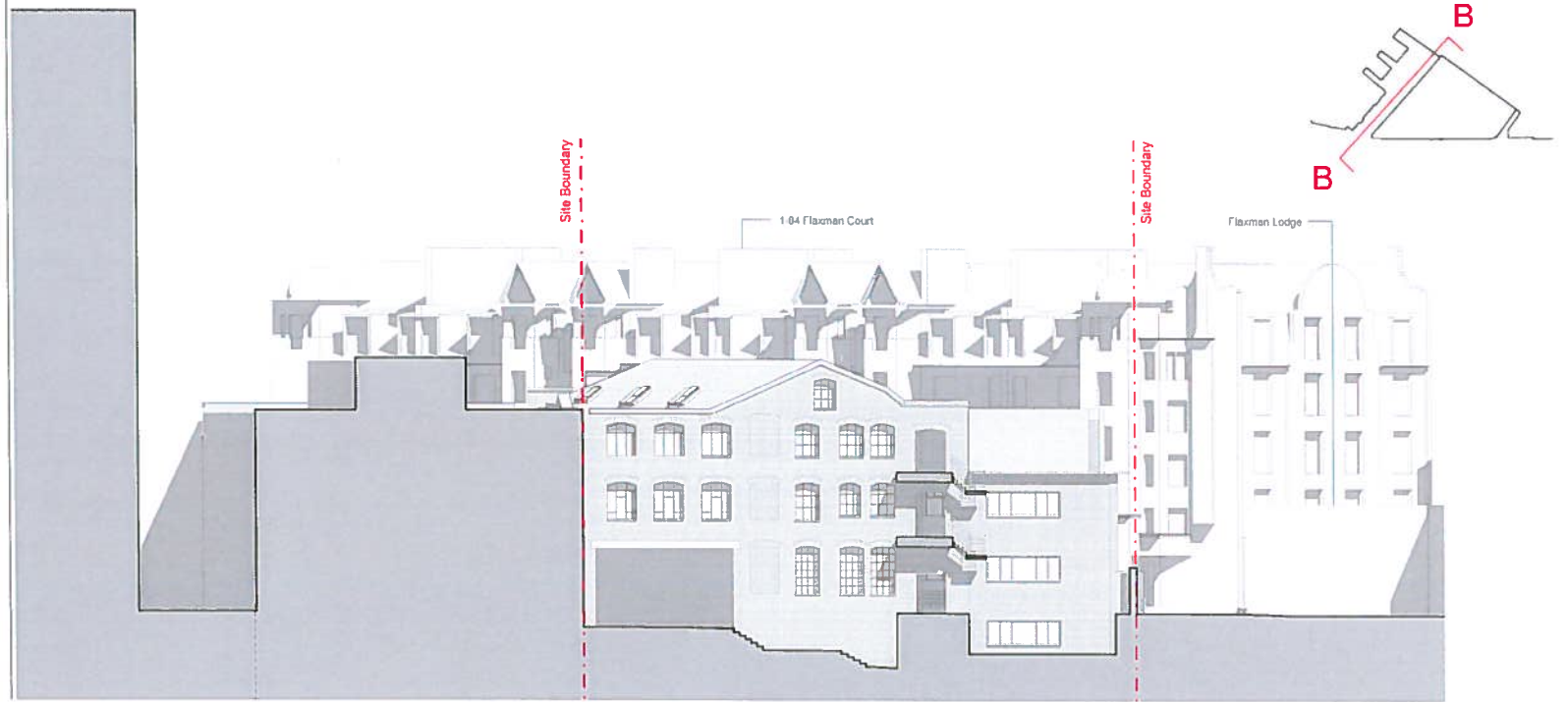
Elevation A-A - Flaxman Terrace



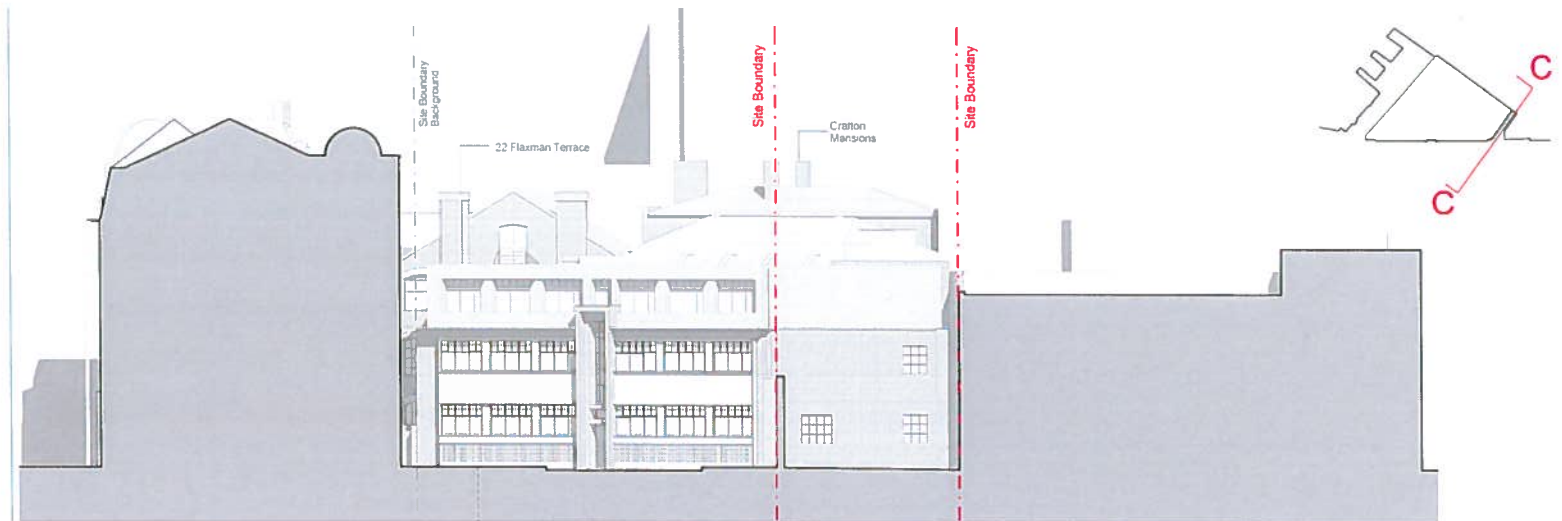
Scheme Design

Elevations 2

Elevation B-B - Western Elevation



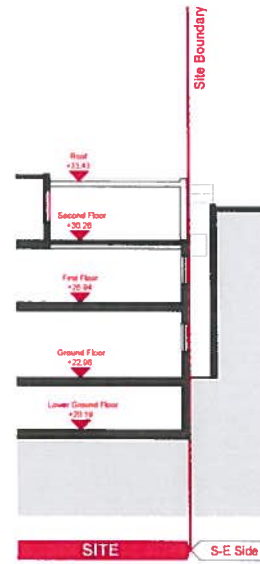
Elevation C-C - Flaxman Terrace East



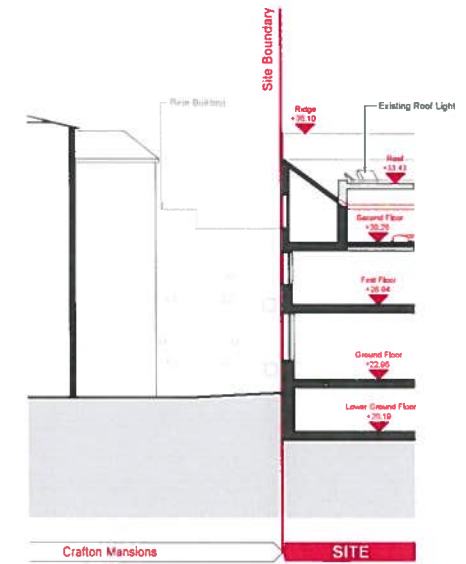
Scheme Design Sections

Sections

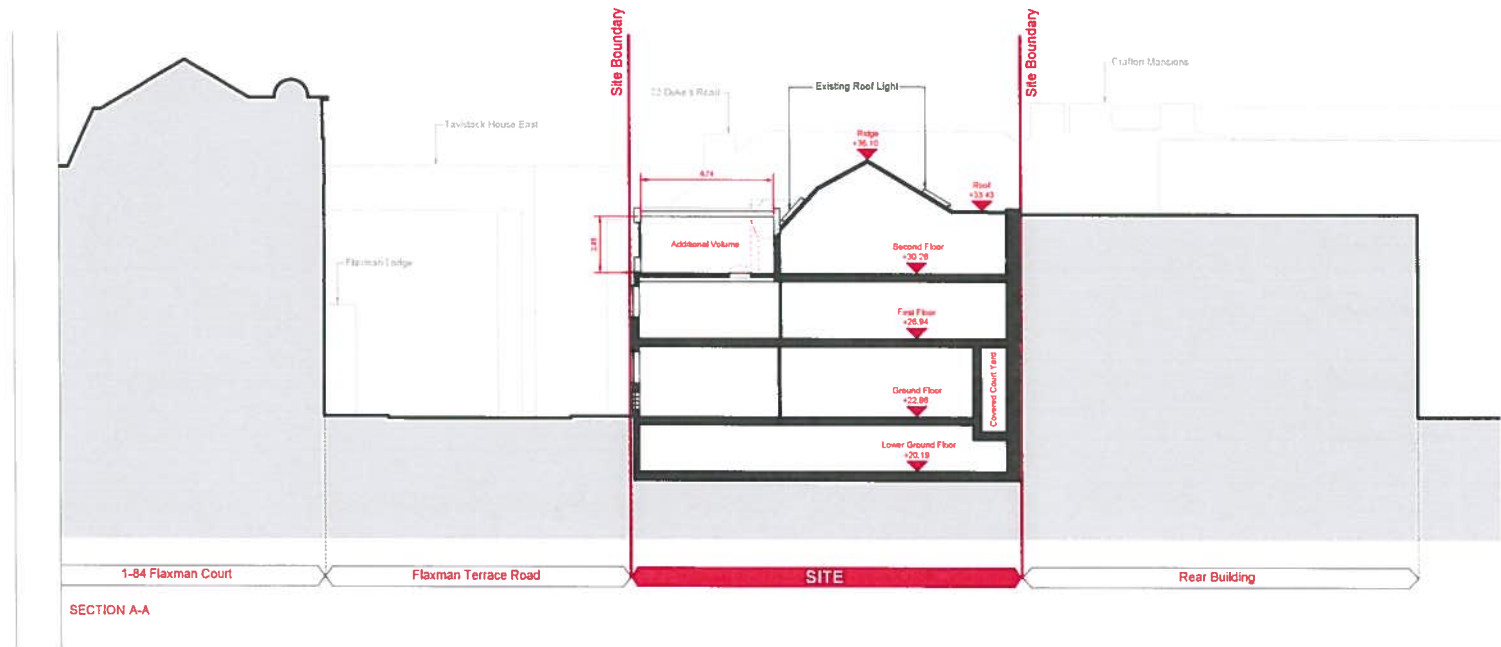
The adjacent drawings show the relationship between the existing and proposed elements of the scheme.



SECTION B-B

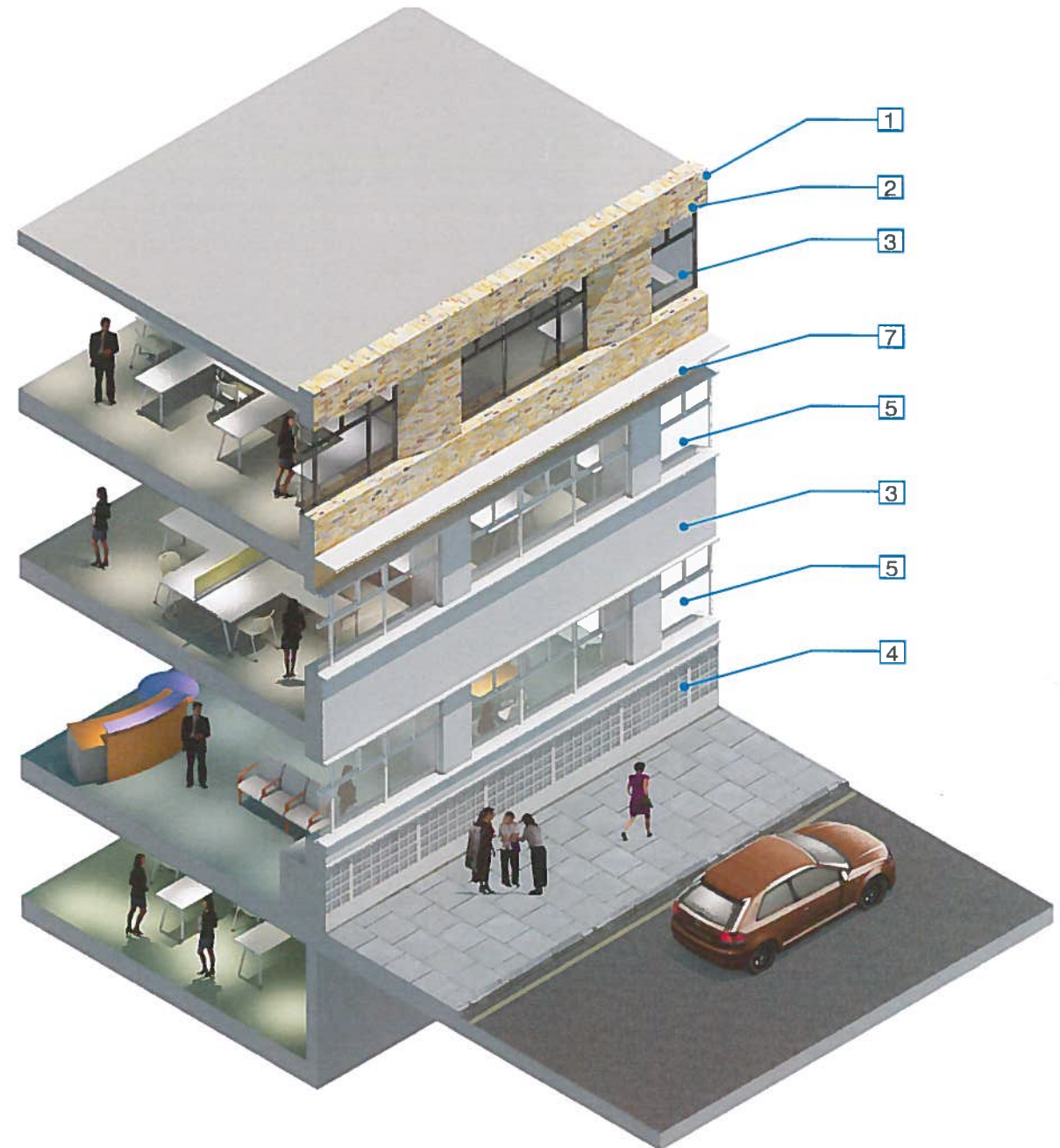


SECTION C-C



SECTION A-A

Scheme Design Materials



Materials

1. Buff Brickwork
2. Buff Brick Reveal Detail
3. Double Glazed Metal Window
4. Existing Glass Block Panels
5. Existing Crittal Metal Window
6. Existing Render Panel
7. Existing Roof Detail
8. Existing Vertical Glazing
9. Existing Lift Shaft





04 | Conclusion



Conclusion

Conclusion

The proposed extension to the 2nd floor serves to preserve and enhance the existing 1900's warehouse and 1950's extension by -

- **Resolving the currently incoherent roof line.**
- **Preseve the 1900's and 1950's elements of the existng building.**
- **Enhance the central feature entrance, by extending this elemen vertically. This will highlight the building's main feature.**
- **Enhance the existing frontage with a sensitively designed extension which sits comfortably within the street scene.The extension echos the horizontal character of the 1950's extension and a contemporary style.**
- **Improve accessibility within the existing building.**

The proposed extension seeks to provide enhanced office accomodation in this accessible location. The proposals apply high quality design and materials, providing a positive contribution to enhance the setting of the Bloomsbury Conservation Area and adjacent listed buildings.

