

# Design & Access Statement

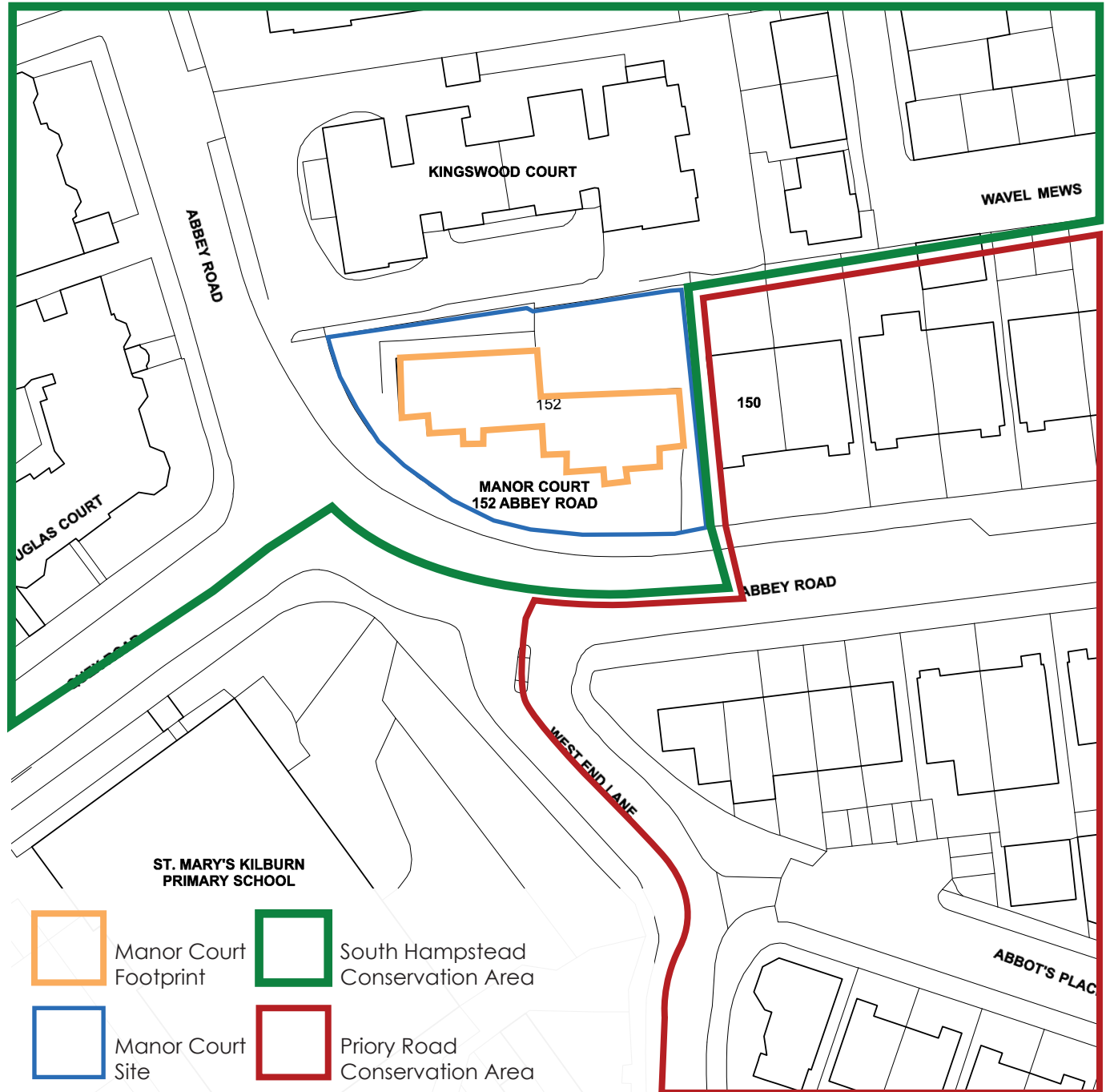
Manor Court, 152 Abbey Road  
London

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## Project Description

This document presents the proposal to create four new residential apartments at roof level by creating a single storey extension to the existing building of Manor Court.

## Location

The property is situated on Abbey Road in the Borough of Camden. Manor Court is within the South Hampstead Conservation Area and borders the Priory Road Conservation Area to the east.

ST. MARY'S KILBURN  
PRIMARY SCHOOL



Manor Court  
Footprint



South Hampstead  
Conservation Area



Manor Court  
Site



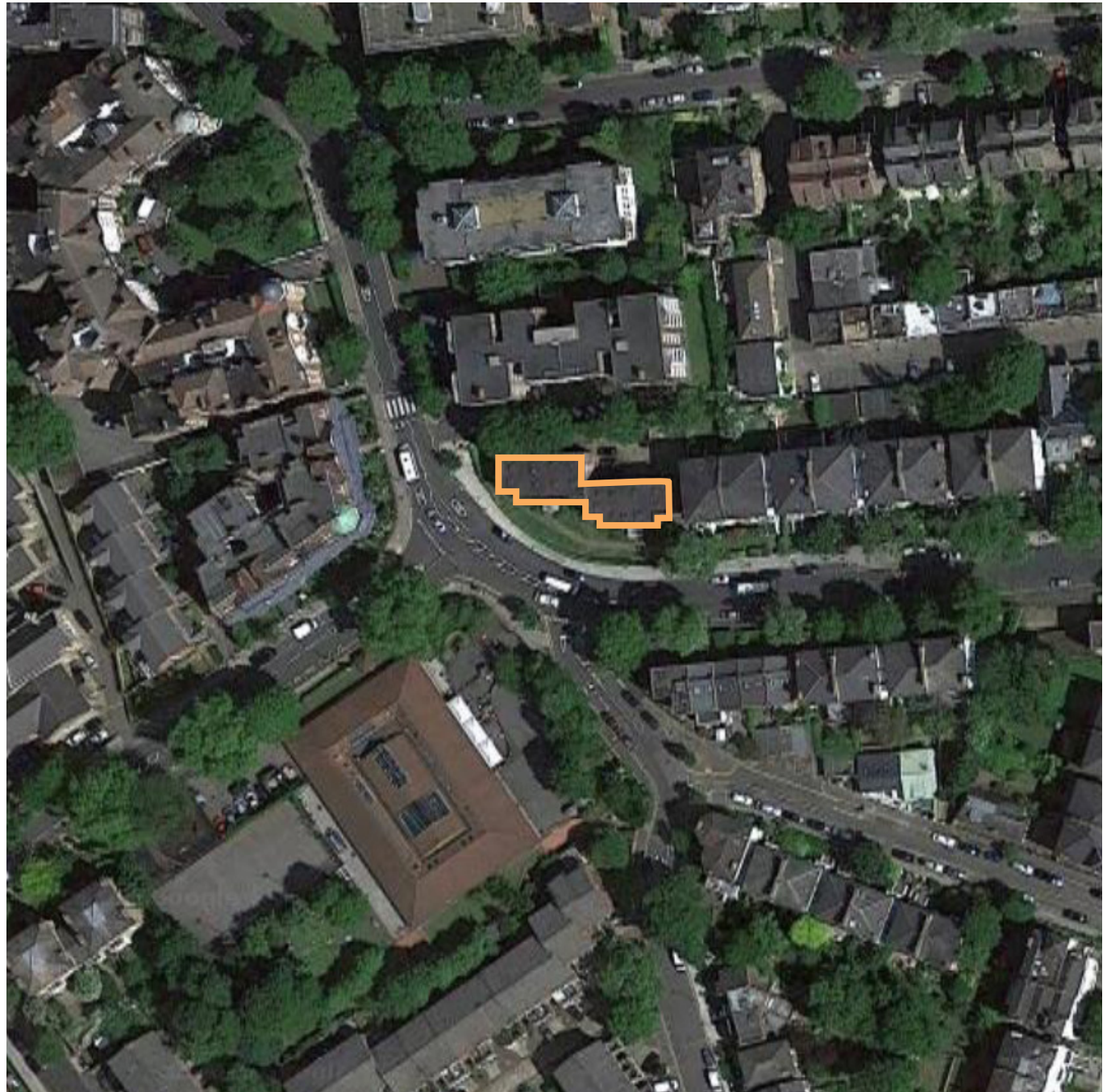
Priory Road  
Conservation Area

## The Existing Building

Manor Court is a purpose built block of flats. Planning permission was first granted in 1956 for 9 self contained units and 6 garages on the site.

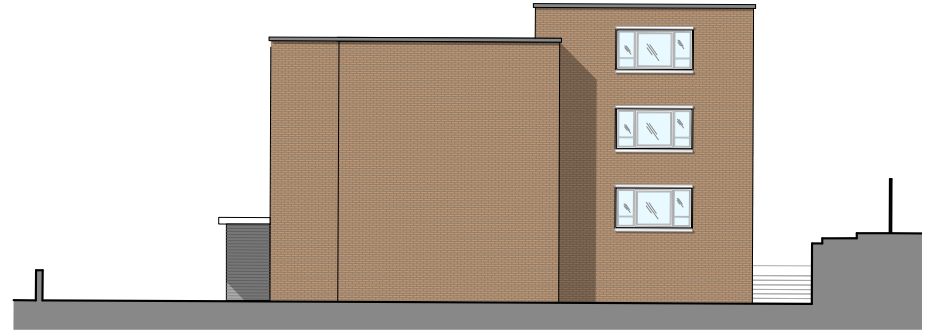
The building which was subsequently constructed consists of 12 flats and no garages, but onsite parking for 8 cars (one is now used for refuse storage). It is a concrete and brick structure with a flat roof. The 3 stories of flats are accessed via 2 staircases. Each staircase serves 2 flats on each floor. No lift is provided for the existing flats.

The flats have a communal garden with mature trees to the north which screen it from the adjacent property, Kingswood Court. A converted Victorian house neighbours Manor Court to the East, they are separated by Manor Court's car park access and the windows within the elevation which face Manor Court are to non habitable rooms.

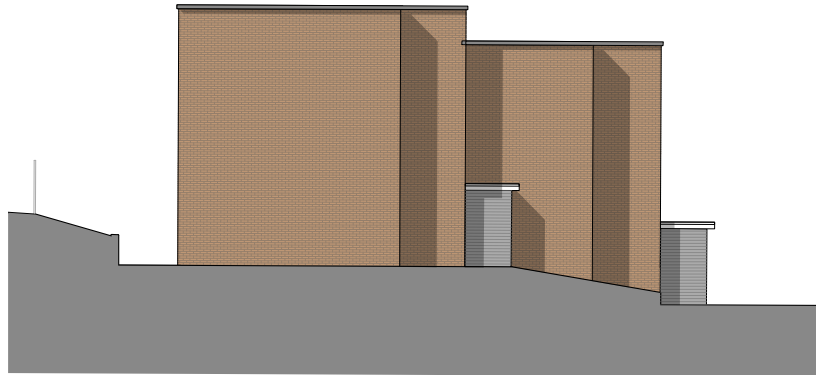




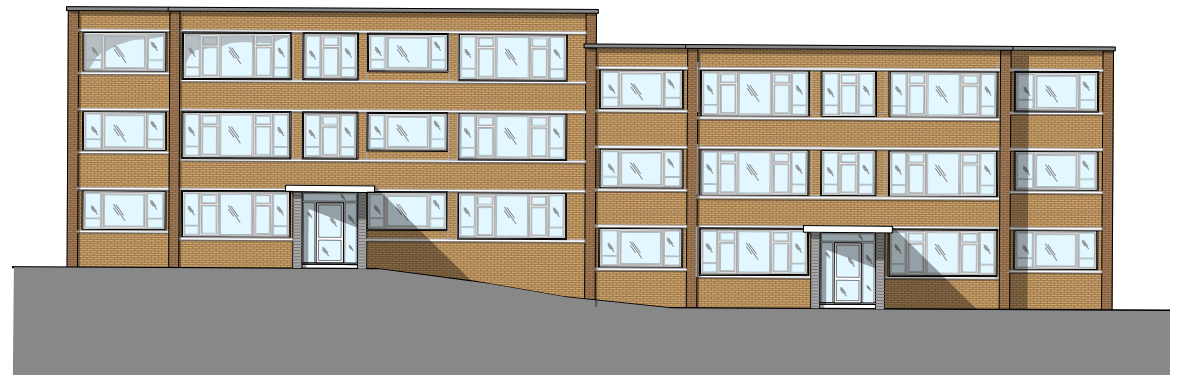
Existing North Elevation



Existing East Elevation



Existing West Elevation



Existing South Elevation

## Existing Elevations

## The Proposals

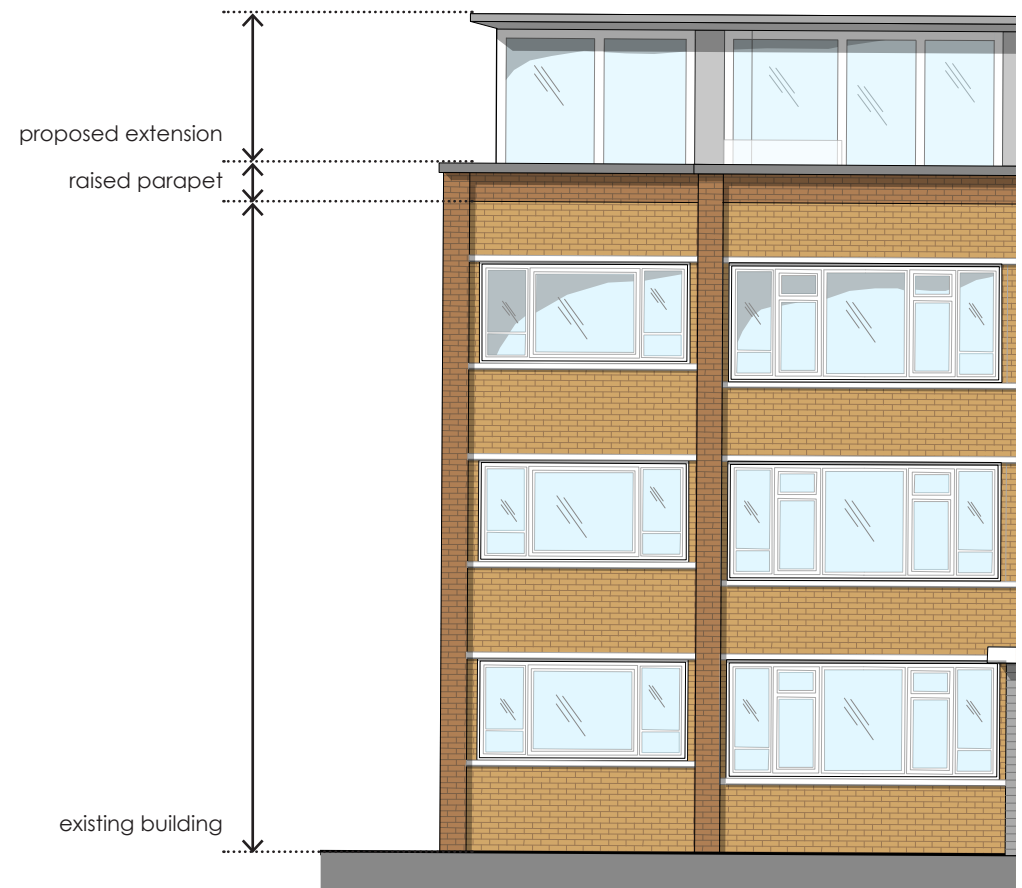
The proposal is to increase the density of accommodation within the existing footprint by creating an additional storey on top of the structure. The existing post war building is substantial and is capable of bearing the weight of an additional structure without interventions within the existing dwellings.

The design of the proposed elevations have tied new façade elements to those of the existing host building below. This can be seen on the southerly elevation where the brick piers are followed through but changed in material as to not mimic the building below. This aids continuity between the two buildings while allowing them to be distinct from one another.

The form, position and material choice have all been carefully considered resulting in a subservient additional to Manor Court which will be minimal in scale.

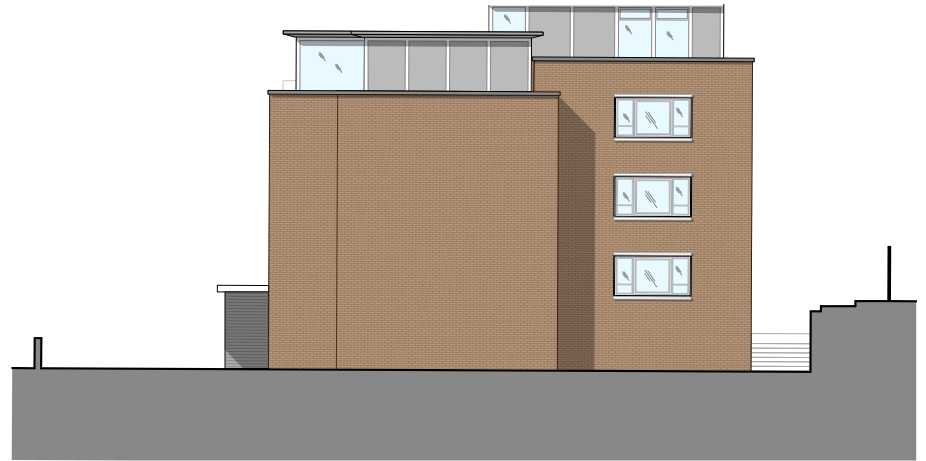
To reduce the impact of the proposal on the surrounding area a number of design moves have been made;

- The additional storey is to be set back. This aids the design in two ways; it create a distinction between the existing and the new, but also reduces the visual impact of the proposal within the townscape context.
- The existing parapet is increased in height. This reduces the visible section of the proposal and enables it to be subservient against the host building.
- The eaves of the additional storey are tapered to create a crisp edge that mirrors that of the existing parapet and gives a crisp line to the top of the building.





Proposed North Elevation



Proposed East Elevation

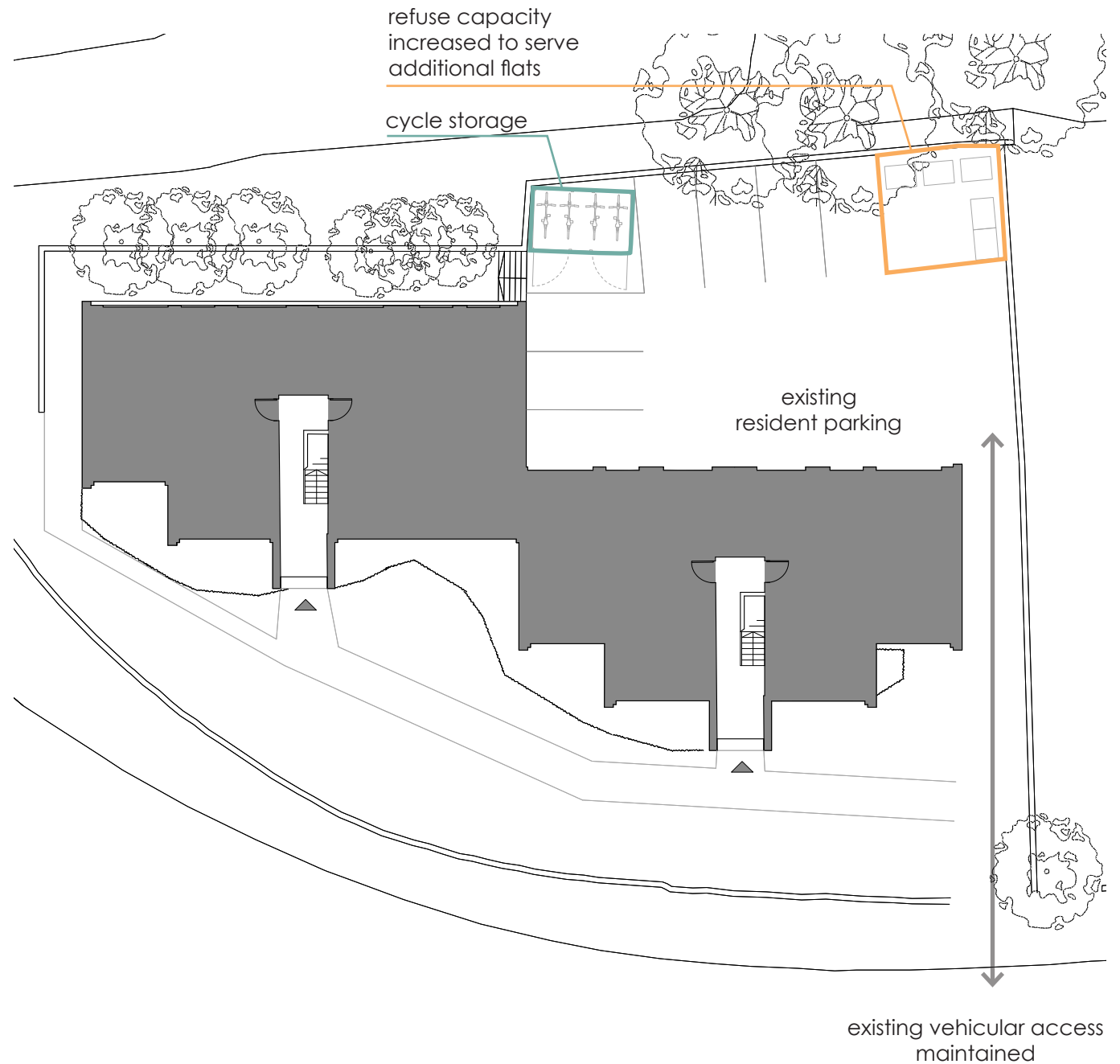


Proposed West Elevation



Proposed South Elevation

## Proposed Elevations



## Access

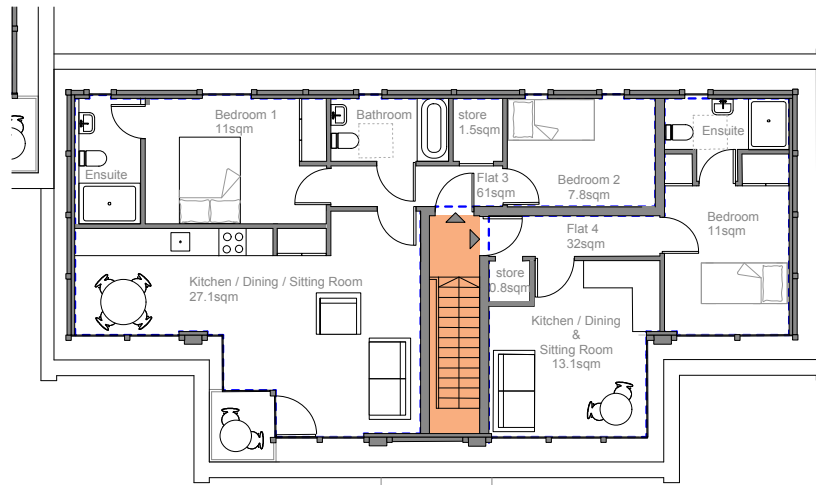
### Pedestrian Access

Manor Court is easily accessed by foot from Abbey Road via a private path through the communal garden. The additional four flats will be accessed through the two existing communal front doors which will remain unchanged.

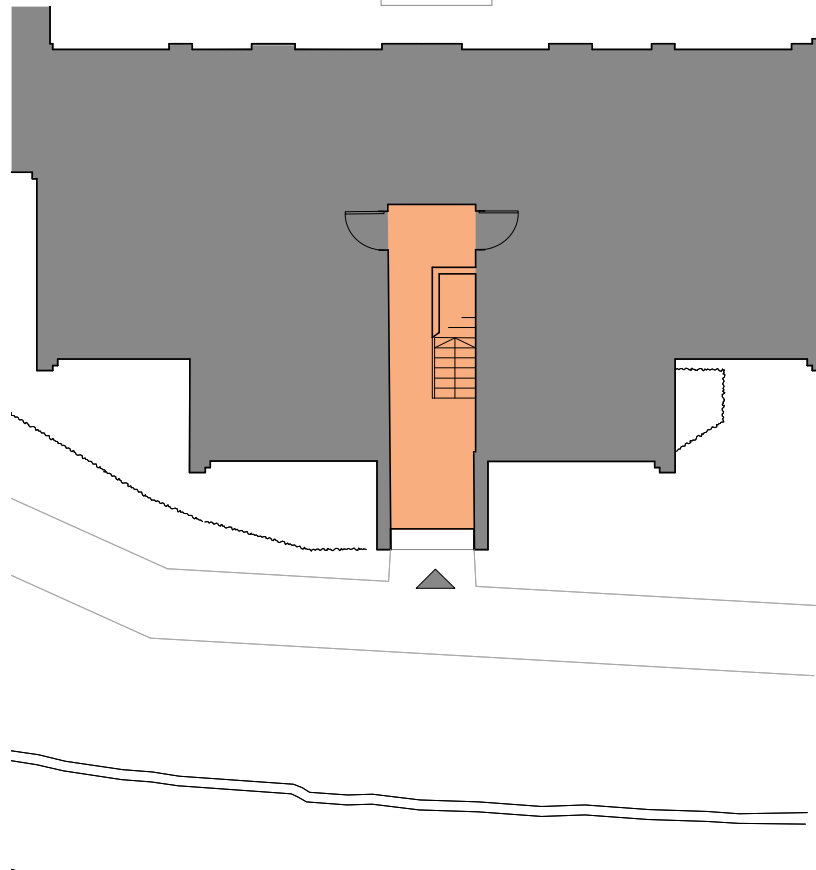
### Vehicular and Cycle Access

Both vehicular and cycle access is directly from Abbey Road. In accordance with Camden Development Policy DP18 no additional parking is provided as the site in question is located within 'excellent' access to public transport as defined by Transport for London's PTAL 6b.

As the development is taking place over an existing building it is not possible to provide cycle parking in accordance with Camden CPG7 which requires it to be within the building at ground floor level. Therefore it is proposed to provide a new covered cycle storage area to the rear of Manor Court, within the car park.



3rd Floor



Ground Floor

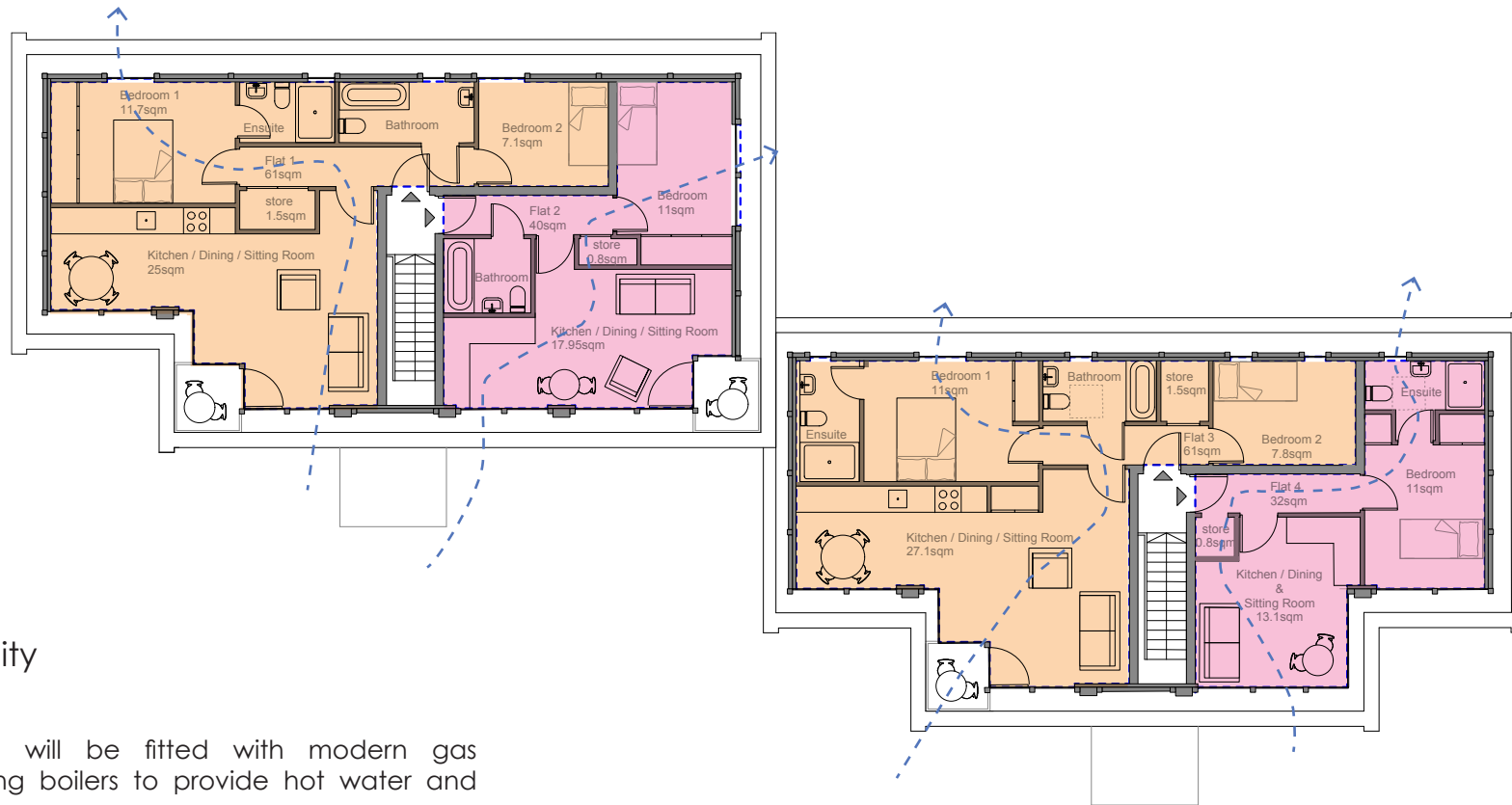
## Building Access

As stated previously the existing access from Abbey Road, through the communal garden, to Manor Court is to remain unchanged.

There are a number of single steps of approximately 150mm along the communal path which remain unchanged. The existing staircase will remain and one new flight added to each of the stair cores. These will provided access to two flats each.

There is no existing lift within this building and no suitable area to situate one.





## Sustainability

- The units will be fitted with modern gas condensing boilers to provide hot water and heating.
- Overhanging eaves will reduce summer overheating to south and west elevations.
- Openable windows in each room will enable natural ventilation.
- Each of the new units is dual aspect which improves natural ventilation with through flow.
- Window sizes are reduced along the north elevation to reduce heat loss.
- The new dwellings will be well insulated and provide a high level of thermal comfort.
- Low flush WCs and flow restrictors on the showers to reduce water waste.
- Low energy lighting to be used.
- Hardwearing resilient materials which will have a long life span and therefore reduce waste and maintenance are to be used externally.