

**LEGEND:**

- GENERAL CONVENTIONS:  
 - - - - - SERVICE AT LOW LEVEL  
 - - - - - SERVICE AT HIGH LEVEL & EXPOSED  
 - - - - - SERVICE AT HIGH LEVEL & CONCEALED  
 - - - - - SERVICE BELOW FLOOR & CONCEALED

- DIRECTION OF FLUID FLOW:  
 F/A, T/A FROM ABOVE, TO ABOVE  
 F/B, T/B FROM BELOW, TO BELOW  
 L/L, H/L LOW LEVEL, HIGH LEVEL

- ABOVE GROUND DRAINAGE ABBREVIATIONS:  
 CI CAST IRON  
 G GULLY  
 SVP SOIL VENT PIPE  
 VP VENT PIPE  
 SS STUB STACK  
 WP WASTE PIPE  
 RWP RAINWATER PIPE  
 DP DRAIN PIPE

- HEATING ABBREVIATIONS:  
 HTG HEATING  
 P/W PIPEWORK

- BELOW GROUND DRAINAGE ABBREVIATIONS:  
 MH MANHOLE  
 RP RODDING PIPE

PIPEWORK ANCILLARIES

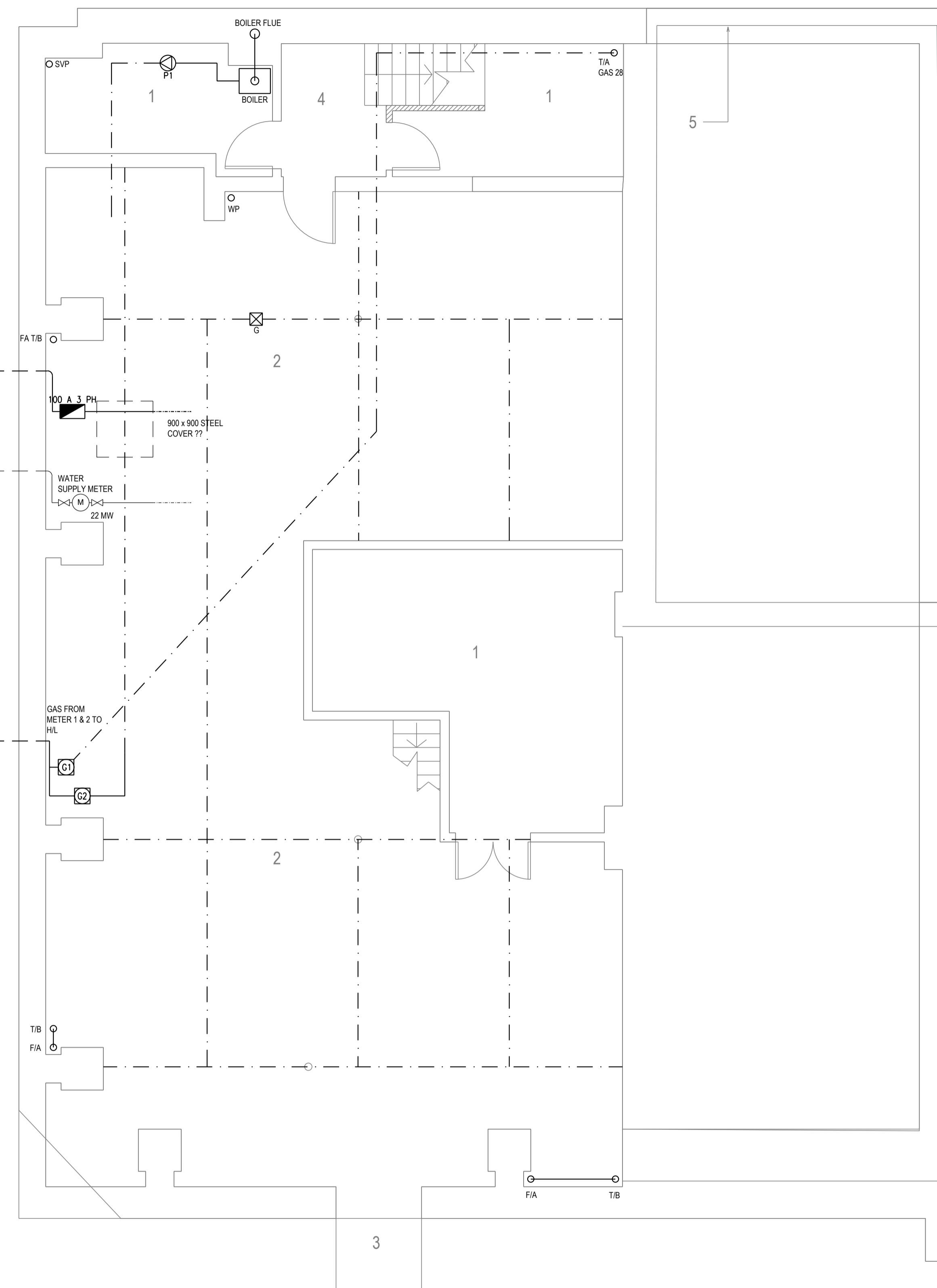
- SC STOPCOCK  
 TV THROUGH ISOLATION VALVE  
 WM WATER SUPPLY METER  
 GM GAS METER  
 P PUMP (\* DENOTES PUMP NUMBER)

POWER DISTRIBUTION

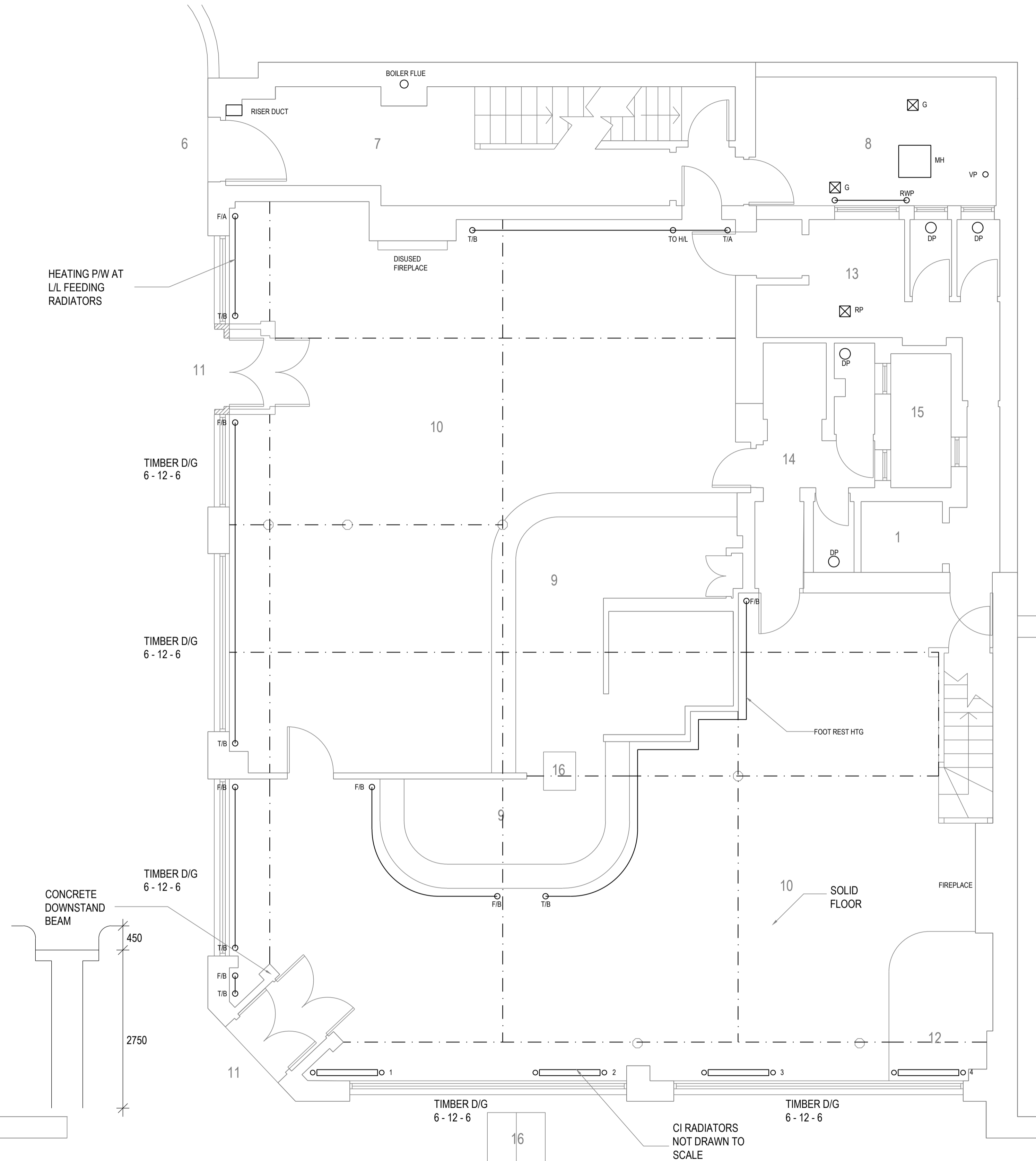
- DB DISTRIBUTION BOARD - SINGLE PHASE

SCHEMATIC SYMBOLS

- RF RADIATOR PLAN



EXISTING BASEMENT



EXISTING GROUND FLOOR



Rev	Date	Description
A	07/11/2014	INFORMATION

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Client  
**FLAMESTRIKE LTD**  
 Architect  
**MARK FAIRHURST LTD**

Project title  
**THE COCK TAVERN  
 PHEONIX ROAD, LONDON NW1 1HB**

Drawing title  
**BASEMENT/GROUND FLOOR  
 EXISTING M&E**

Drawn by  
 HP  
 Date  
 DATE  
 Scale (at A1)  
 SCALE

Job No  
 1258  
 Drawing No  
 Z[-] 001  
 Rev  
 / . A

- 1. STORE
- 2. CELLAR
- 3. BARREL DROP
- 4. LOBBY
- 5. LINE OF BUILDING ABOVE
- 6. RESIDENTIAL ENTRANCE
- 7. ENTRANCE HALL
- 8. YARD
- 9. BAR
- 10. LOUNGE
- 11. PUB ENTRANCE
- 12. STAGE
- 13. WC MALE
- 14. WC FEMALE
- 15. LIGHTWELL
- 16. BEDROOM
- 17. LANDING
- 18. KITCHEN
- 19. CUPBOARD
- 20. BATHROOM
- 21. DUMB WAITER
- 22. SHOWER ROOM
- 23. CORRIDOR
- 24. CUPBOARD
- 25. WC

**LEGEND:**

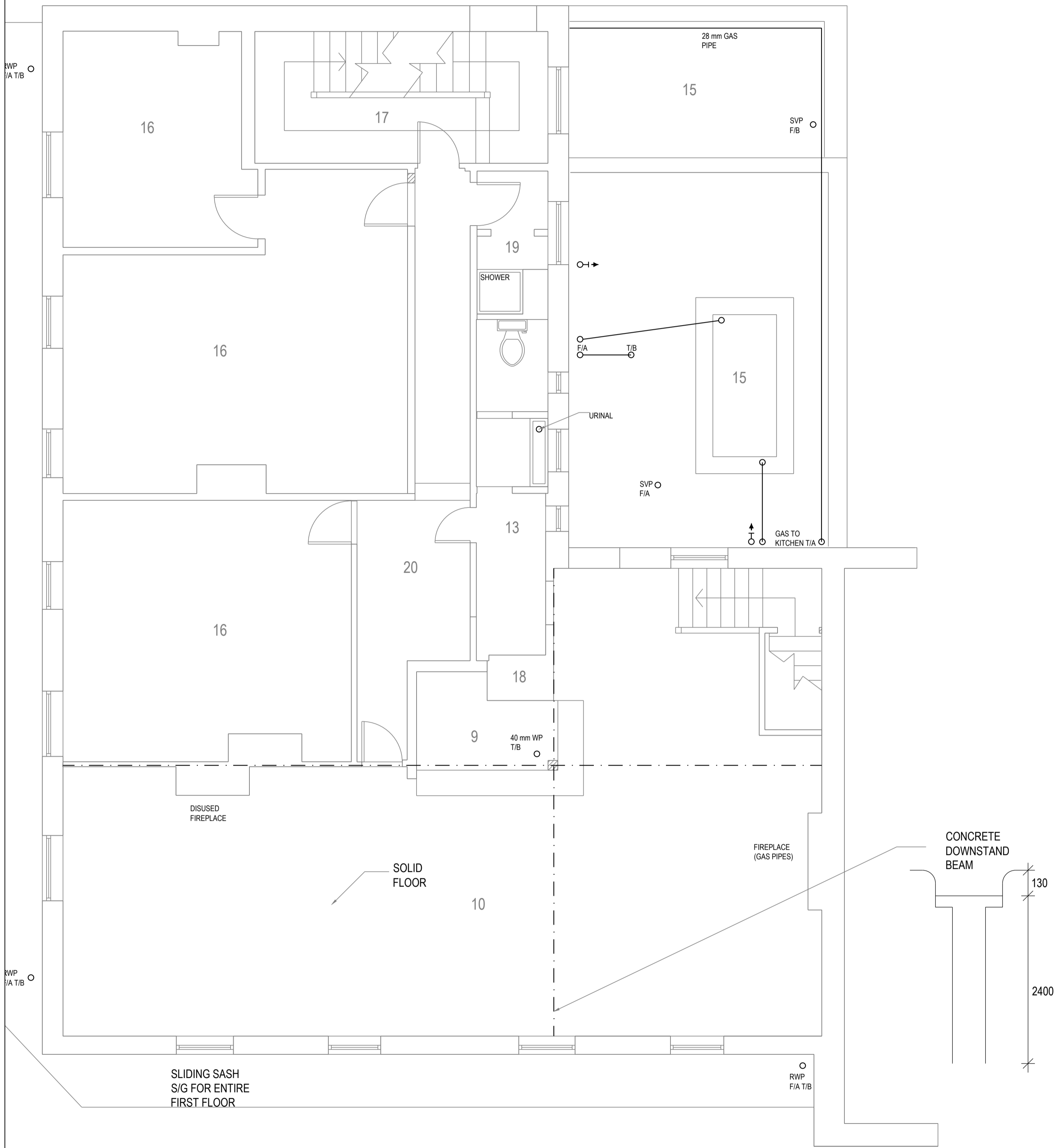
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 - - - SERVICE AT HIGH LEVEL & EXPOSED  
 - - - SERVICE AT HIGH LEVEL & CONCEALED  
 - - - SERVICE BELOW FLOOR & CONCEALED

DIRECTION OF FLUID FLOW:  
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 F/B, T/B FROM BELOW, TO BELOW  
 L/L, H/L LOW LEVEL, HIGH LEVEL

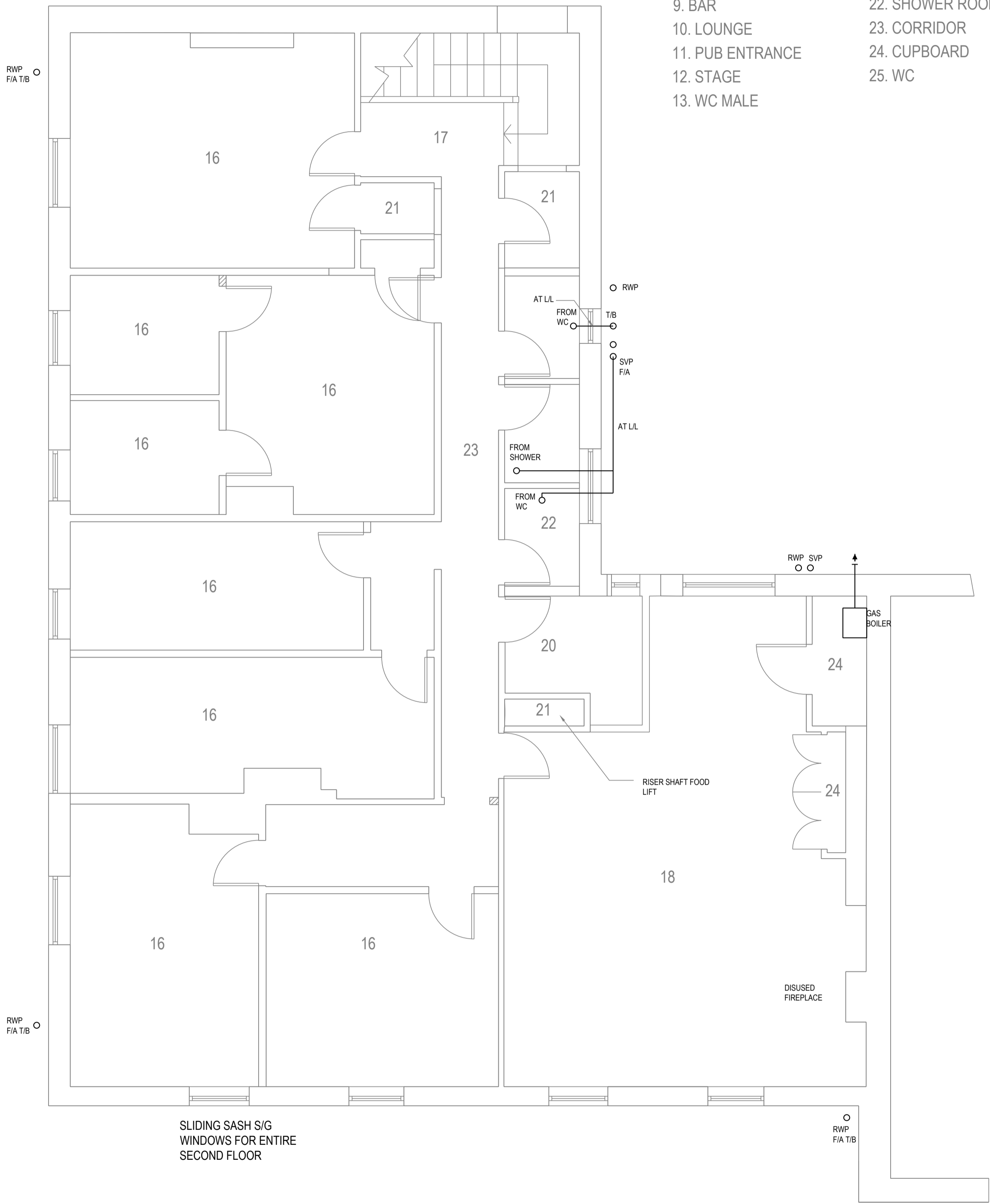
ABOVE GROUND DRAINAGE ABBREVIATIONS:  
 SVP SOIL VENT PIPE  
 VP VENT PIPE  
 SWP WASTE PIPE  
 RWP RAINWATER PIPE

HEATING ABBREVIATIONS:  
 HTS HEATING  
 PW PIPEWORK

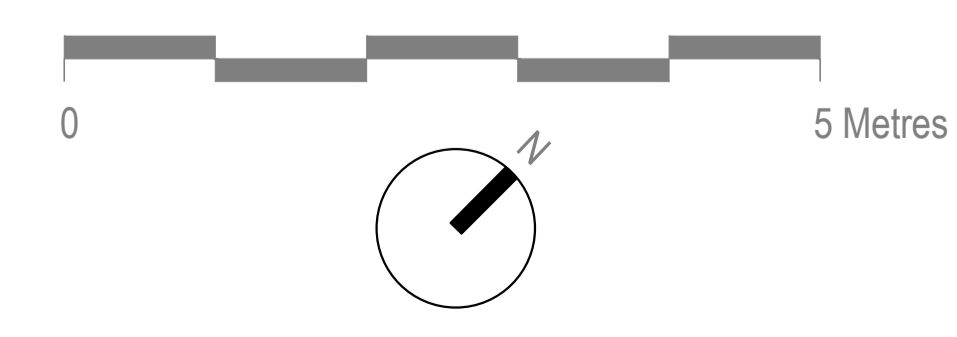
BUILDERS WORK ABBREVIATIONS:  
 SIG SINGLE GLAZED  
 DIG DOUBLE GLAZED



EXISTING FIRST FLOOR



EXISTING SECOND FLOOR



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**FLAMESTRIKE LTD**

Architect  
**MARK FAIRHURST LTD**

Project title  
**THE COCK TAVERN  
 PHOENIX ROAD, LONDON NW1 1HB**

Drawing title  
**FIRST/SECOND FLOOR  
 EXISTING M&E**

Drawn by  
 HP

Date  
 11/14

Scale (at A1)  
 1/50

Job No	Drawing No	Rev
1282	Z[-] 002	/ . A



# FIRST FLOOR - RESIDENTIAL

**NOTE 1**  
EXISTING RAINWATER PIPES MADE GOOD - REFER TO ARCHITECT'S DETAILS

**NOTE 2**  
NEW RAINWATER PIPE / SOIL VENT PIPE TO REPLACE EXISTING

**NOTE 3**  
ENSURE AAVS ARE NOT COMPLETELY SEALED. ADEQUATE VENTILATION IS REQUIRED FOR FREE MOVEMENT OF AIR

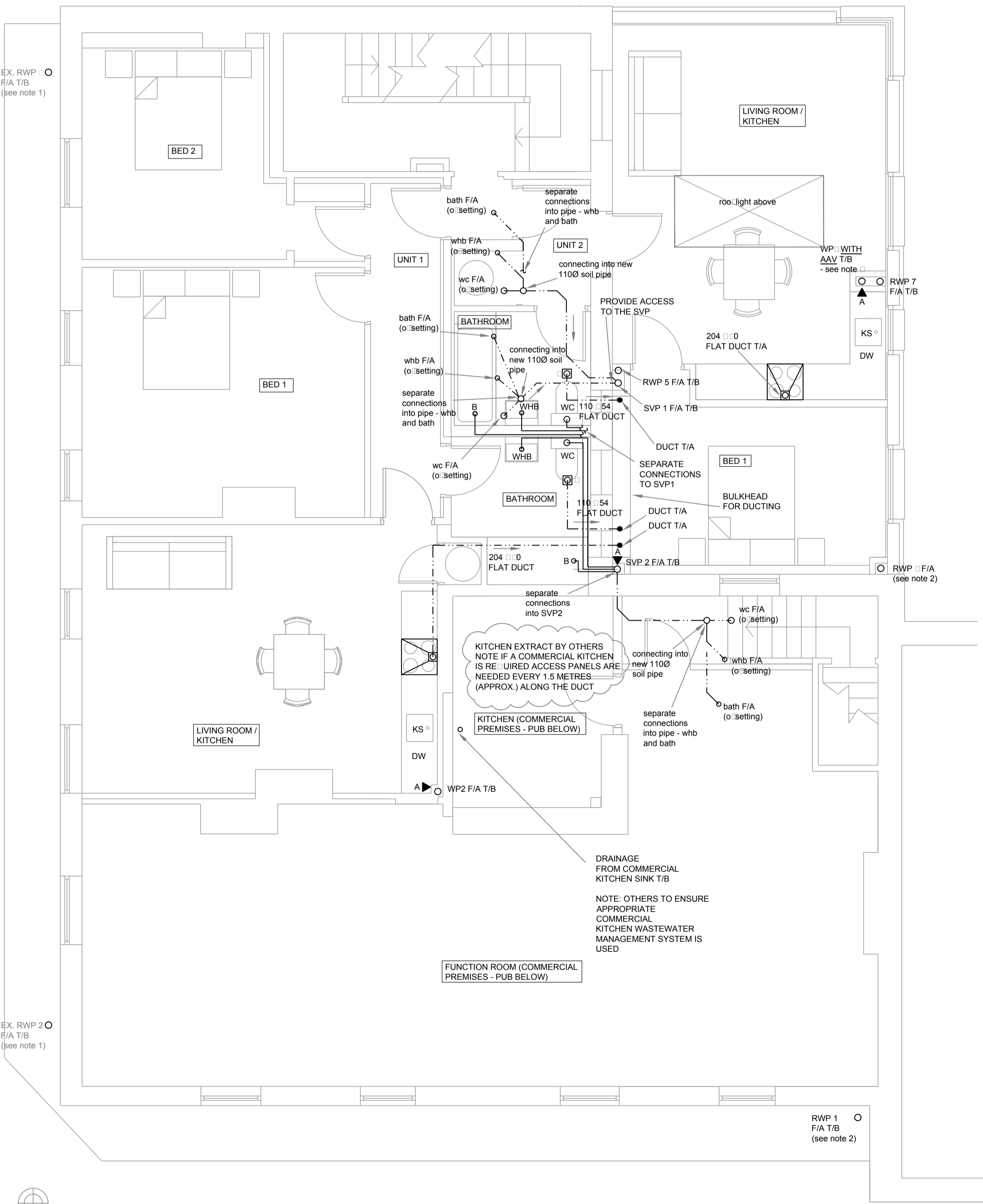
**INTERNAL RAINWATER PIPES**  
PROVIDE THERMAL & ACOUSTIC INSULATION FOR ALL INTERNAL RAINWATER PIPES TO REDUCE CONDENSATION AND NOISE.

**FIRE SAFETY**  
FIRE OFFICER TO ADVISE ON MEANS OF ESCAPE AND FIRE ALARM DETECTION SYSTEM

**VENTILATION**  
SYSTEM 1: BACKGROUND VENTILATORS AND INTERMITTENT EXTRACT FANS (IN ACCORDANCE WITH THE BUILDING REGULATIONS APPROVED DOCUMENT PART F)  
INTERMITTENT EXTRACT RATES (MINIMUM):  
• BATHROOMS - 15 L/S  
• KITCHENS (HOOD ABOVE COOKER) - 10 L/S  
• UTILITY ROOM - 10 L/S  
ALL FANS TO HAVE A SFP (SPECIFIC FAN POWER) NO WORSE THAN THE REQUIRED  
ENSURE EXTRACT LOUVRES / ROOF COWLS ARE AT LEAST 100mm AWAY FROM ANY OPENABLE WINDOWS

**SANITATION - HOT WATER SAFETY AND EFFICIENCY**  
THE BUILDING WILL BE PROVIDED WITH WHOLESOME WATER FROM THE STATUTORY WATER UNDERTAKER.  
HOT WATER SUPPLY TO BATH OUTLETS WILL BE FITTED WITH BLENDING VALVE OR OTHER TEMPERATURE CONTROL DEVICE. THIS IS TO ENSURE THAT THE TEMPERATURE IS LIMITED TO 48°C TO PREVENT RISK OF SCALDING.  
THE HOT WATER CYLINDER WILL BE PROVIDED WITH A CONTROL VALVE TO MAINTAIN THE REQUIRED WATER TEMPERATURE OF 55 DEG C WITHIN IT. THE HOT WATER CYLINDER WILL BE PROVIDED WITH A HIGH-LIMIT STAT WHICH WILL CLOSE THE CONTROL VALVE WHICH WILL BE A SPRING-RETURN DEVICE SO THAT IT IS FAIL-SAFE.

**BELOW GROUND DRAINAGE - IMPORTANT**  
PLEASE REFER TO THE CCTV DRAIN SURVEY REPORT FOR FULL DETAILS AND REPAIR WORKS



- LEGEND:**
- GENERAL LINE TYPES:**  
 - - - - - SERVICE AT LOW LEVEL  
 - - - - - SERVICE AT HIGH LEVEL & EXPOSED  
 - - - - - SERVICE AT HIGH LEVEL & CONCEALED  
 - - - - - SERVICE BELOW FLOOR & CONCEALED
- ABOVE GROUND DRAINAGE ABBREVIATIONS:**  
 AAV AIR ADMITTANCE VALVE  
 SP SOIL PIPE  
 SVP SOIL VENT PIPE  
 VP VENT PIPE  
 SS STUB STACK  
 WP WASTE PIPE  
 RWO RAINWATER OUTLET  
 RWP RAINWATER PIPE
- EQUIPMENT ABBREVIATIONS:**  
 B BATH  
 DW DISHWASHER  
 KS KITCHEN SINK  
 S SINK  
 SH SHOWER  
 WC WATER CLOSET  
 WHB WASH HAND BASIN  
 WM WASHING MACHINE

- ABOVE GROUND DRAINAGE**  
 ▲ ACCESS INTO PIPELINE
- VENTILATION**  
 □ EXTRACT FAN  
 ■ EXTRACT LOUVRE (PLASTIC AIR BRICK WITH MAXIMUM FREE AREA)  
 ☼ WEATHERPROOF ROOF COWL

**DRAWING FOR BUILDING REGULATIONS APPROVAL ONLY**

Rev	Date	Description
E	17.07.2011	REVISED FOLLOWING ARCH COMMENTS
D	22/01/2011	FOR INFORMATION
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**Architect**  
MARK FAIRHURST LTD

**Project title**  
THE COCK TAVERN  
PHOENIX ROAD, LONDON NW1 1HB

**Drawing title**  
FIRST FLOOR PLAN  
DRAINAGE AND VENTILATION SERVICES

**Drawn by** VD **Date** 07/11 **Scale (at A1)** 1/50

**Job No** 1282 **Drawing No** T[0]00 **Rev** / E

# SECOND FLOOR - RESIDENTIAL

**NOTE 1**  
EXISTING RAINWATER PIPES MADE GOOD - REFER TO ARCHITECT'S DETAILS

**NOTE 2**  
NEW RAINWATER PIPE / SOIL VENT PIPE TO REPLACE EXISTING

**NOTE 3**  
ENSURE AAVS ARE NOT COMPLETELY SEALED. ADEQUATE VENTILATION IS REQUIRED FOR FREE MOVEMENT OF AIR

**INTERNAL RAINWATER PIPES**  
PROVIDE THERMAL & ACOUSTIC INSULATION FOR ALL INTERNAL RAINWATER PIPES TO REDUCE CONDENSATION AND NOISE.

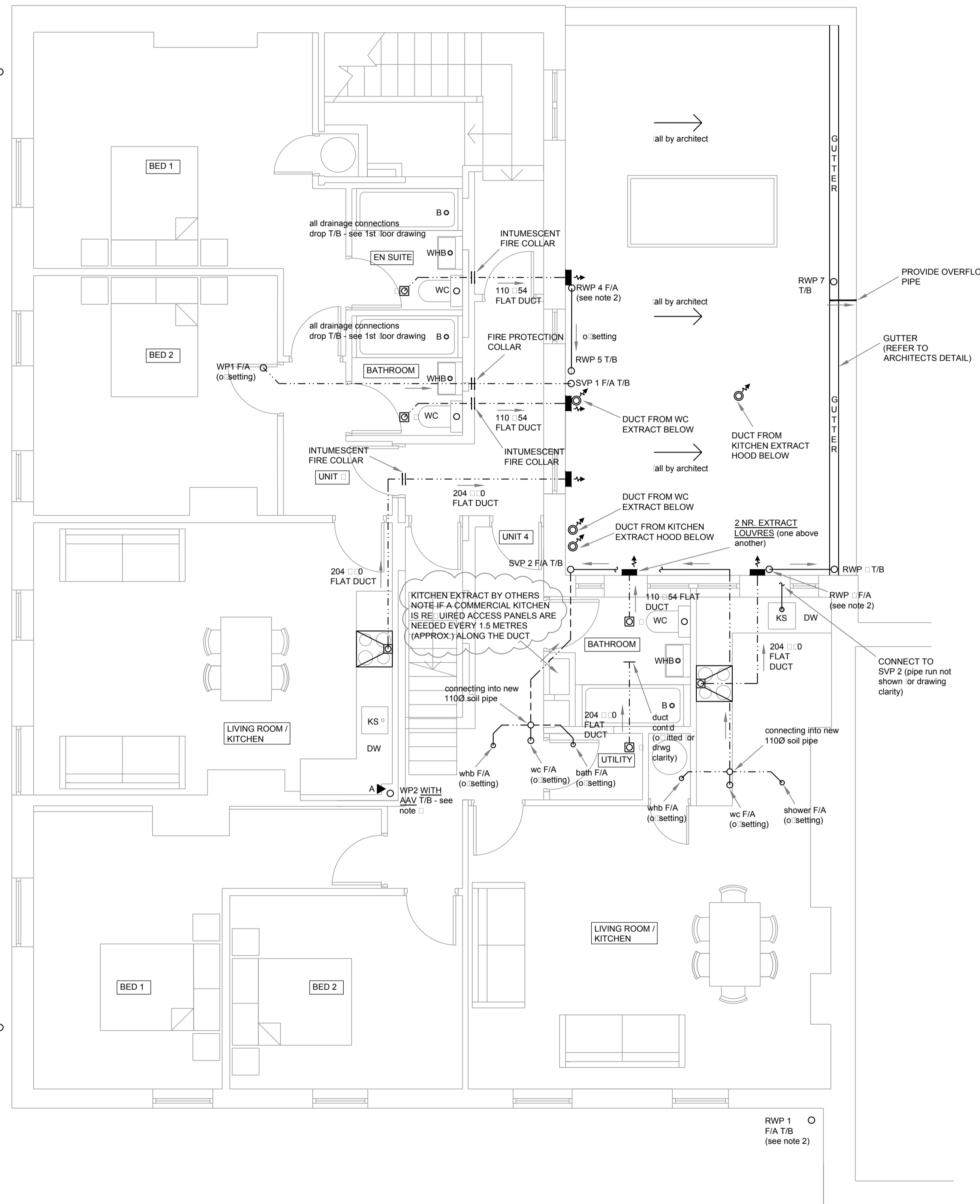
**FIRE SAFETY**  
FIRE OFFICER TO ADVISE ON MEANS OF ESCAPE AND FIRE ALARM DETECTION SYSTEM

**VENTILATION**  
SYSTEM 1: BACKGROUND VENTILATORS AND INTERMITTENT EXTRACT FANS (IN ACCORDANCE WITH THE BUILDING REGULATIONS APPROVED DOCUMENT PART F)  
INTERMITTENT EXTRACT RATES (MINIMUM):  
• BATHROOMS - 15 L/S  
• KITCHENS (HOOD ABOVE COOKER) - 10 L/S  
• UTILITY ROOM - 10 L/S  
ALL FANS TO HAVE A SFP (SPECIFIC FAN POWER) NO WORSE THAN THE REQUIRED  
ENSURE EXTRACT LOUVRES / ROOF COWLS ARE AT LEAST 1000mm AWAY FROM ANY OPENABLE WINDOWS

**SANITATION: HOT WATER SAFETY AND EFFICIENCY**  
THE BUILDING WILL BE PROVIDED WITH WHOLESOME WATER FROM THE STATUTORY WATER UNDERTAKER.  
HOT WATER SUPPLY TO BATH OUTLETS WILL BE FITTED WITH BLENDING VALVE OR OTHER TEMPERATURE CONTROL DEVICE. THIS IS TO ENSURE THAT THE TEMPERATURE IS LIMITED TO 48°C TO PREVENT RISK OF SCALDING.  
THE HOT WATER CYLINDER WILL BE PROVIDED WITH A CONTROL VALVE TO MAINTAIN THE REQUIRED WATER TEMPERATURE OF 60DEG C WITHIN IT. THE HOT WATER CYLINDER WILL BE PROVIDED WITH A HIGH-LIMIT STAT WHICH WILL CLOSE THE CONTROL VALVE WHICH WILL BE A SPRING-RETURN DEVICE SO THAT IT IS FAIL-SAFE.

EX. RWP 1  
F/A T/B  
(see note 1)

EX. RWP 2  
F/A T/B  
(see note 1)



## LEGEND:

**GENERAL LINE TYPES:**  
 - - - - - SERVICE AT LOW LEVEL  
 - - - - - SERVICE AT HIGH LEVEL & EXPOSED  
 - - - - - SERVICE AT HIGH LEVEL & CONCEALED  
 - - - - - SERVICE BELOW FLOOR & CONCEALED

**ABOVE GROUND DRAINAGE ABBREVIATIONS:**  
 AAV AIR ADMITTANCE VALVE  
 SP SOIL PIPE  
 SVP SOIL VENT PIPE  
 VP VENT PIPE  
 SS STUB STACK  
 WP WASTE PIPE  
 RWO RAINWATER OUTLET  
 RWP RAINWATER PIPE

**EQUIPMENT ABBREVIATIONS:**  
 B BATH  
 DW DISHWASHER  
 KS KITCHEN SINK  
 S SINK  
 SH SHOWER  
 WC WATER CLOSET  
 WHB WASH HAND BASIN  
 WM WASHING MACHINE

### ABOVE GROUND DRAINAGE

▲ ACCESS INTO PIPELINE

### VENTILATION

☐ EXTRACT FAN

■ EXTRACT LOUVRE (PLASTIC AIR BRICK WITH MAXIMUM FREE AREA)

☼ WEATHERPROOF ROOF COWL

**DRAWING FOR BUILDING REGULATIONS APPROVAL ONLY**

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Client  
 Architect  
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Drawing title  
**SECOND FLOOR PLAN DRAINAGE AND VENTILATION SERVICES**

Drawn by: VD Date: 07/11 Scale (at A1): 1/50

Job No: T[0]004 Drawing No: / Rev: E

# THIRD FLOOR - RESIDENTIAL

**NOTE 1**  
EXISTING RAINWATER PIPES MADE GOOD - REFER TO ARCHITECT'S DETAILS

**NOTE 2**  
NEW RAINWATER PIPE / SOIL VENT PIPE TO REPLACE EXISTING

**NOTE 3**  
ENSURE AAVS ARE NOT COMPLETELY SEALED. ADEQUATE VENTILATION IS REQUIRED FOR FREE MOVEMENT OF AIR

**INTERNAL RAINWATER PIPES**  
PROVIDE THERMAL & ACOUSTIC INSULATION FOR ALL INTERNAL RAINWATER PIPES TO REDUCE CONDENSATION AND NOISE.

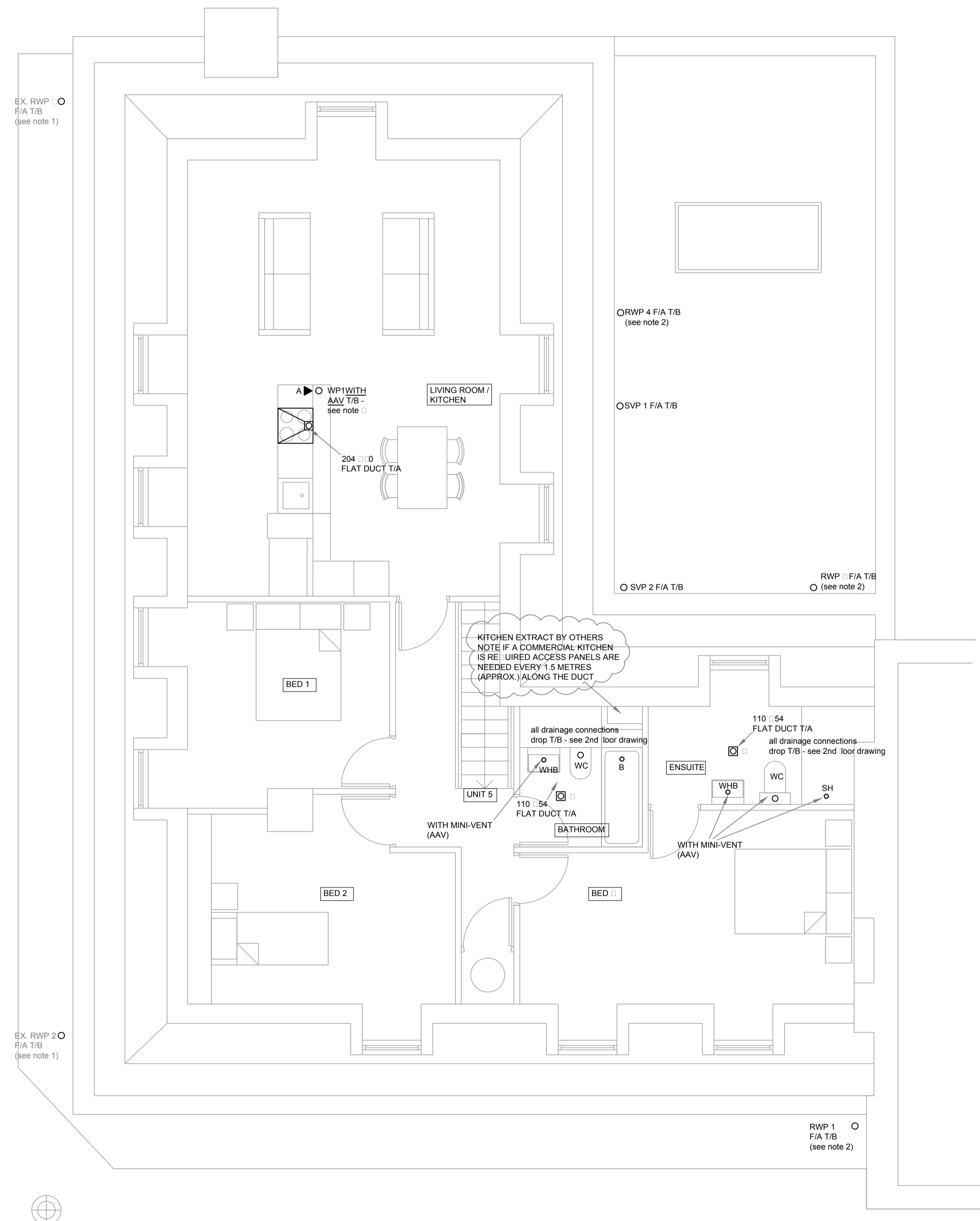
**FIRE SAFETY**  
FIRE OFFICER TO ADVISE ON MEANS OF ESCAPE AND FIRE ALARM DETECTION SYSTEM

**VENTILATION**  
SYSTEM 1: BACKGROUND VENTILATORS AND INTERMITTENT EXTRACT FANS (IN ACCORDANCE WITH THE BUILDING REGULATIONS APPROVED DOCUMENT PART F)  
INTERMITTENT EXTRACT RATES (MINIMUM):

- BATHROOMS - 15 L/S
- KITCHENS (HOOD ABOVE COOKER) - 10 L/S
- UTILITY ROOM - 10 L/S

ALL FANS TO HAVE A SFP (SPECIFIC FAN POWER) NO WORSE THAN THE REQUIRED  
ENSURE EXTRACT LOUVRES / ROOF COWLS ARE AT LEAST 1000mm AWAY FROM ANY OPENABLE WINDOWS

**SANITATION - HOT WATER SAFETY AND EFFICIENCY**  
THE BUILDING WILL BE PROVIDED WITH WHOLESOME WATER FROM THE STATUTORY WATER UNDERTAKER.  
HOT WATER SUPPLY TO BATH OUTLETS WILL BE FITTED WITH BLENDING VALVE OR OTHER TEMPERATURE CONTROL DEVICE. THIS IS TO ENSURE THAT THE TEMPERATURE IS LIMITED TO 48°C TO PREVENT RISK OF SCALDING.  
THE HOT WATER CYLINDER WILL BE PROVIDED WITH A CONTROL VALVE TO MAINTAIN THE REQUIRED WATER TEMPERATURE OF 50DEG C WITHIN IT. THE HOT WATER CYLINDER WILL BE PROVIDED WITH A HIGH-LIMIT STAT WHICH WILL CLOSE THE CONTROL VALVE WHICH WILL BE A SPRING-RETURN DEVICE SO THAT IT IS FAIL-SAFE.



## LEGEND:

**GENERAL LINE TYPES:**  
 - - - - - SERVICE AT LOW LEVEL  
 - - - - - SERVICE AT HIGH LEVEL & EXPOSED  
 - - - - - SERVICE AT HIGH LEVEL & CONCEALED  
 - - - - - SERVICE BELOW FLOOR & CONCEALED

**ABOVE GROUND DRAINAGE ABBREVIATIONS:**  
 AAV AIR ADMITTANCE VALVE  
 SP SOIL PIPE  
 SVP SOIL VENT PIPE  
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 SS STUB STACK  
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 RWO RAINWATER OUTLET  
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**EQUIPMENT ABBREVIATIONS:**  
 B BATH  
 DW DISHWASHER  
 KS KITCHEN SINK  
 S SINK  
 SH SHOWER  
 WC WATER CLOSET  
 WHB WASH HAND BASIN  
 WM WASHING MACHINE

### ABOVE GROUND DRAINAGE

▲ ACCESS INTO PIPELINE

### VENTILATION

☐ EXTRACT FAN

■ EXTRACT LOUVRE (PLASTIC AIR BRICK WITH MAXIMUM FREE AREA)

☉ WEATHERPROOF ROOF COWL

**DRAWING FOR BUILDING REGULATIONS APPROVAL ONLY**

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Client

Architect

Project title

Drawing title  
 THIRD FLOOR PLAN  
 DRAINAGE AND VENTILATION SERVICES

Drawn by: VD Date: 07/11 Scale (at A1): 1/50

Job No: T[0]005 Drawing No: / Rev: E

# ROOF - RESIDENTIAL

**NOTE 1**  
EXISTING RAINWATER PIPES MADE GOOD - REFER TO ARCHITECT'S DETAILS

**NOTE 2**  
NEW RAINWATER PIPE / SOIL VENT PIPE TO REPLACE EXISTING (WITH EXISTING LOCATION RETAINED)

SVPS TERMINATING ON THE ROOF MUST BE AT LEAST 100MM ABOVE ANY OPENING INTO THE BUILDING NEARER THAN 1M  
ALL SVPI/DUCTS TERMINATING ON THE ROOF MUST BE POSITIONED AT ADEQUATE DISTANCES FROM THE ROOF EDGES TO ENSURE WATERPROOFING AROUND TERMINATION POINTS ARE MADE GOOD

**INTERNAL RAINWATER PIPES**  
PROVIDE THERMAL & ACOUSTIC INSULATION FOR ALL INTERNAL RAINWATER PIPES TO REDUCE CONDENSATION AND NOISE.

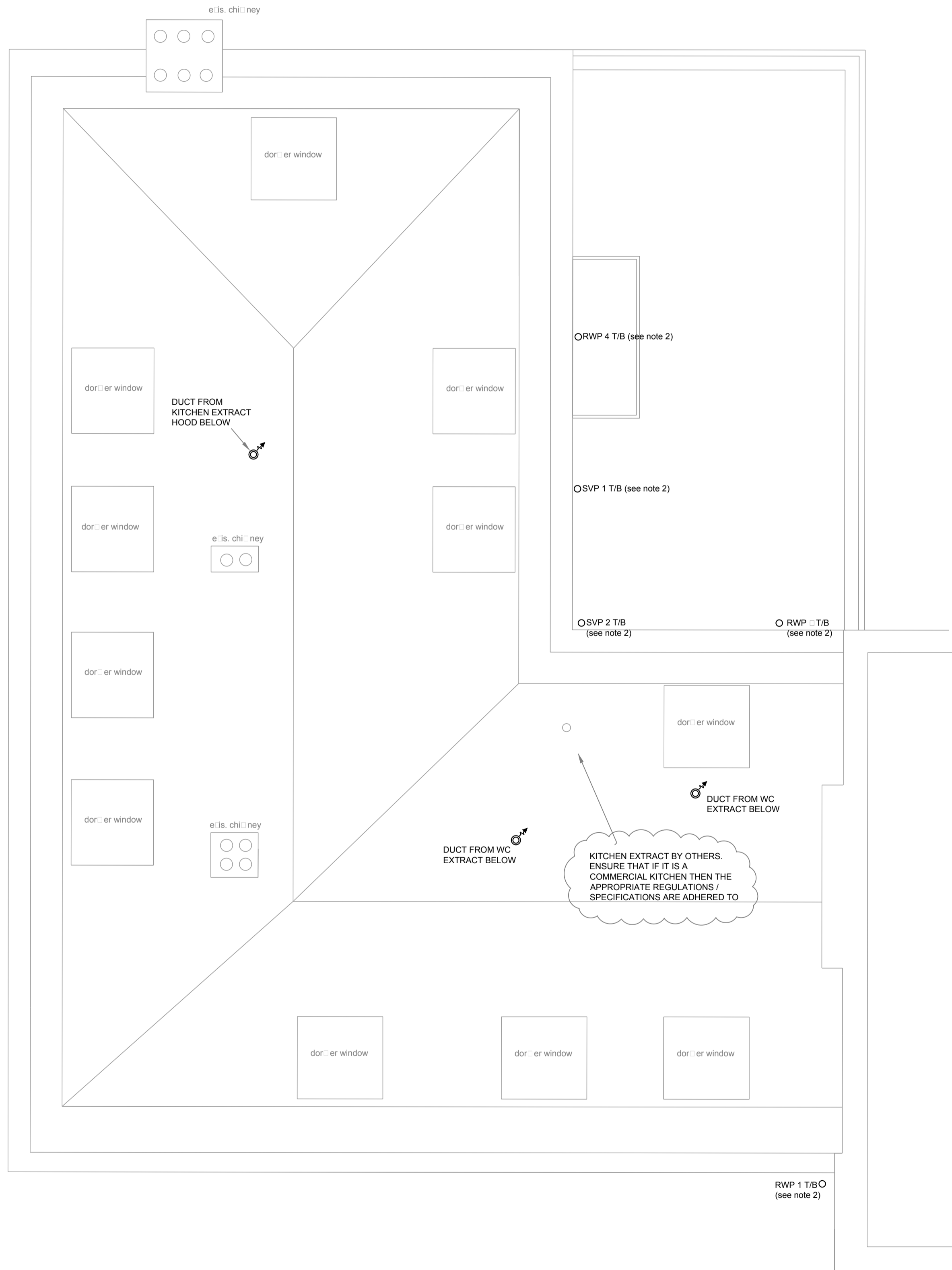
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EX. RWP 1 T/B (see note 1)

EX. RWP 2 T/B (see note 1)



## LEGEND:

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 WHB WASH HAND BASIN  
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**ABOVE GROUND DRAINAGE**  
 ▲ ACCESS INTO PIPELINE  
**VENTILATION**  
 □ EXTRACT FAN  
 ■ EXTRACT LOUVRE (PLASTIC AIR BRICK WITH MAXIMUM FREE AREA)  
 ⚙ WEATHERPROOF ROOF COWL

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 Architect  
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**ROOF PLAN  
 DRAINAGE AND VENTILATION SERVICES**

Drawn by: VD Date: 07/11 Scale (at A1): 1/50

Job No: T[0]00 Drawing No: / Rev: E