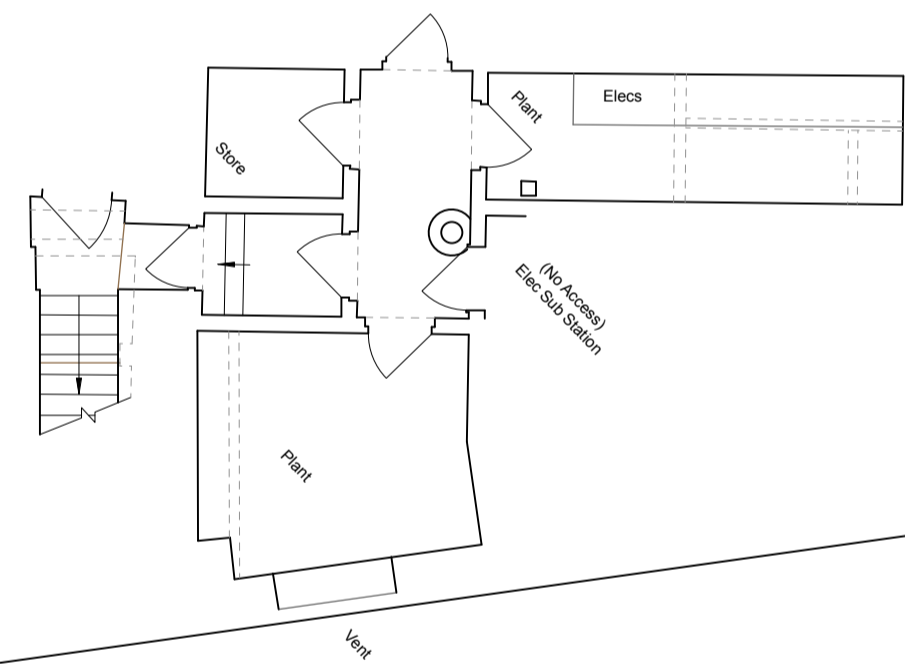


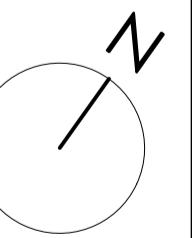
EARLHAM STREET

NEAL STREET

NO WORK REQUIRED ON THIS LEVEL




SHELTON STREET

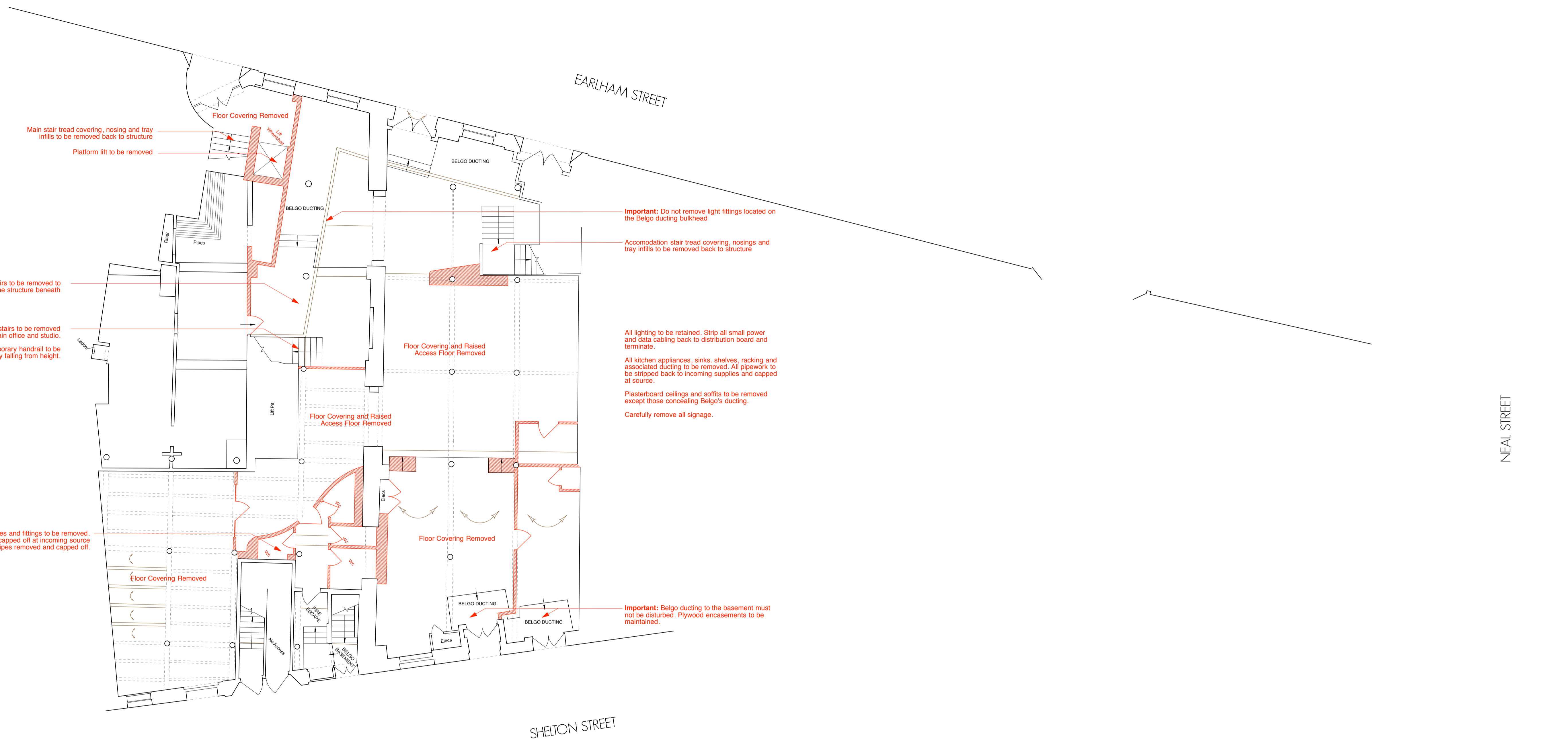


NOTE:
The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

			PROJECT SEVEN DIALS WAREHOUSE LONDON WC2				DRAWING TITLE EXISTING BASEMENT PLAN			
			CLIENT PEC NEALE LTD				 architecture & interior design T: 020 7549 2133 F: 020 7549 2144 E: info@gpadltd.com W: www.gpadltd.com			
rev.	date	notes	SCALE 1:100 @ A1	DATE July 16	DWG BY SF / DS	REV.			Unit 1 9a Dallington Street Clerkenwell London EC1V 0BQ	
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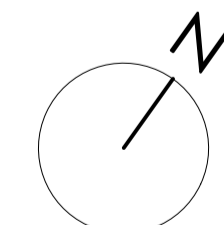
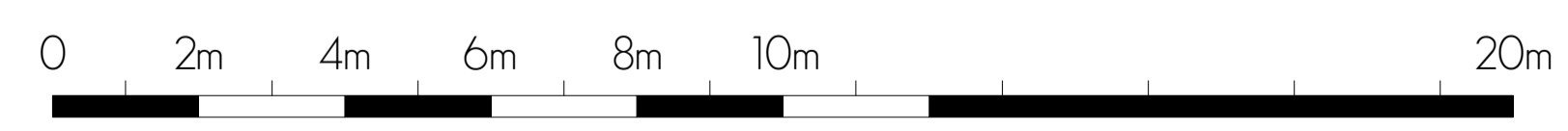
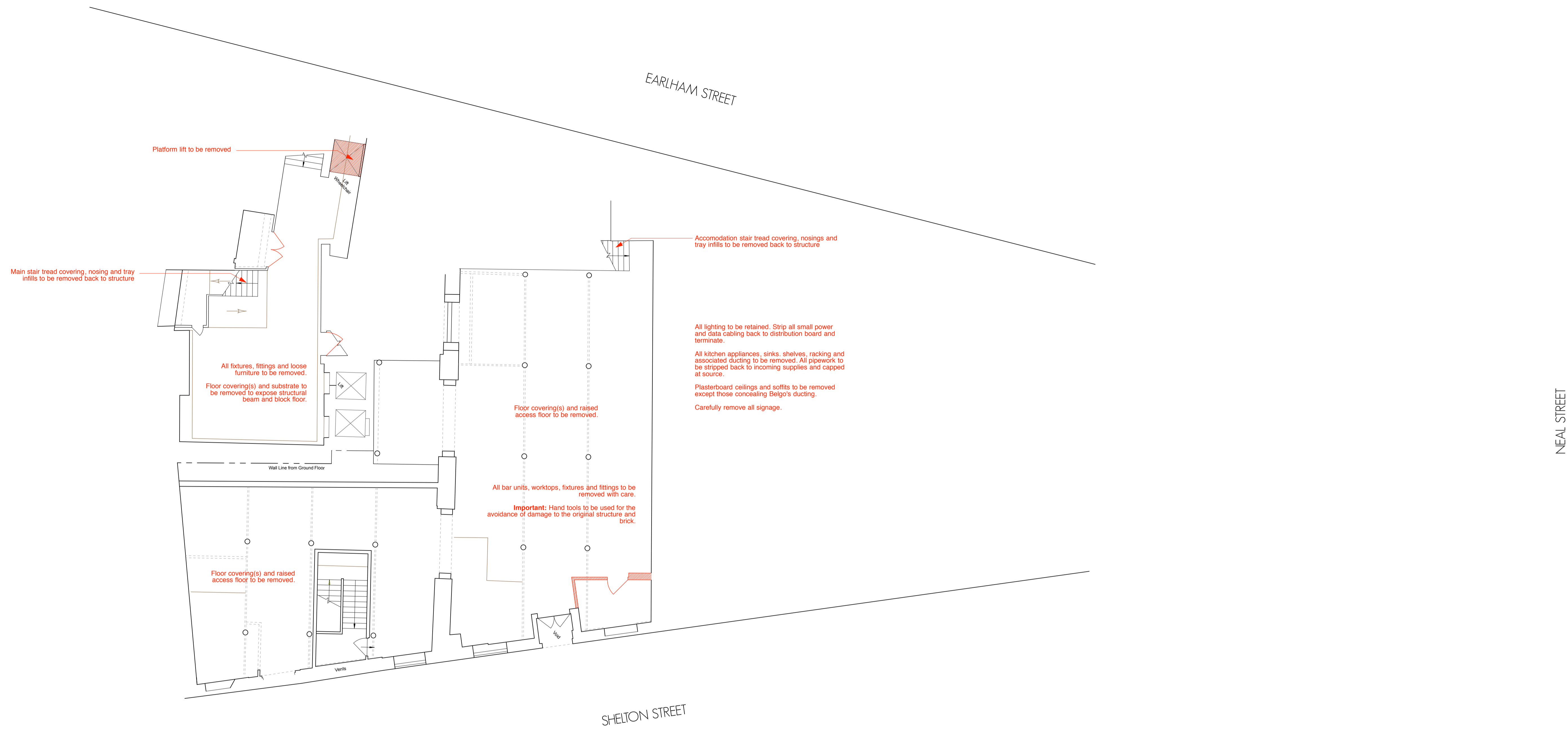
NOTE:
 The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

			PROJECT SEVEN DIALS WAREHOUSE LONDON WC2				DRAWING TITLE EXISTING GROUND PLAN		
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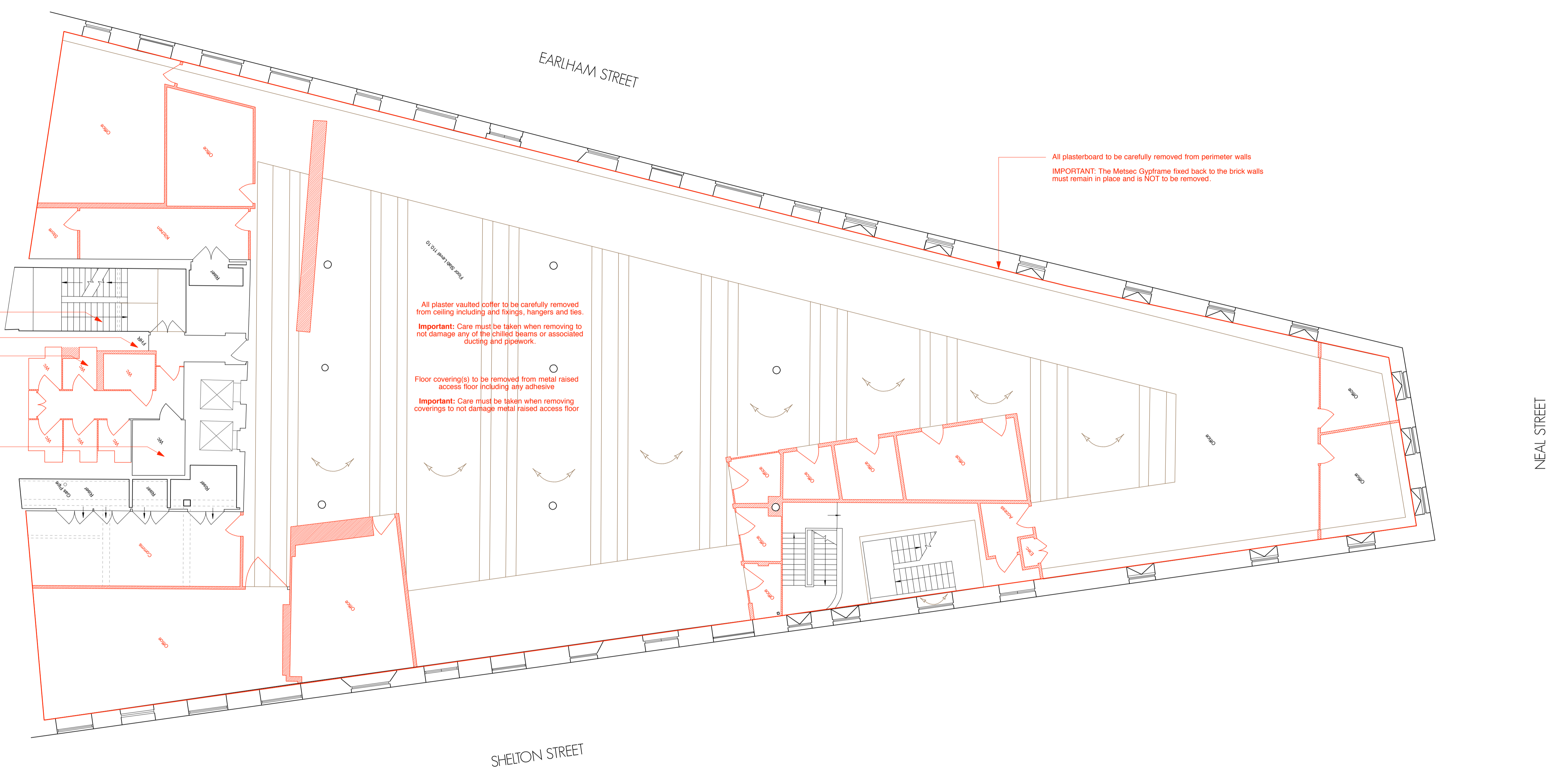


NOTE:
The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

			PROJECT SEVEN DIALS WAREHOUSE LONDON WC2				DRAWING TITLE EXISTING FIRST (MEZZ) PLAN		
			CLIENT PEC NEALE LTD				 T: 020 7549 2133 F: 020 7549 2144 E: info@gpadltd.com W: www.gpadltd.com Unit 1 9a Dallington Street Clerkenwell London EC1V 0BQ		
rev.	date	notes	SCALE 1:100 @ A1	DATE July 16	DWG BY SF / DS	REV. A			
			CHKD.	DWG NO. 527-SO.03					
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EARLHAM STREET

NEAL STREET

SHELTON STREET

All plasterboard to be carefully removed from perimeter walls
IMPORTANT: The Metsec Gyproframe fixed back to the brick walls must remain in place and is NOT to be removed.

All plaster vaulted coffer to be carefully removed from ceiling including and fixings, hangers and ties.
Important: Care must be taken when removing to not damage any of the chilled beams or associated ducting and pipework.

Floor covering(s) to be removed from metal raised access floor including any adhesive
Important: Care must be taken when removing coverings to not damage metal raised access floor

Main stair tread covering, nosing and tray infills to be removed back to structure

Important: Dry riser must be retained

Strip back all timber veneer wall panels and veneer partitions to expose the original brick and blockwork

Remove all ceramics including fixtures and fittings, mirrors and floor covering

All pipework to be removed and capped off at main incoming supply to WC

All soil pipes connecting to main SVP to be removed and capped off at main SVP stack

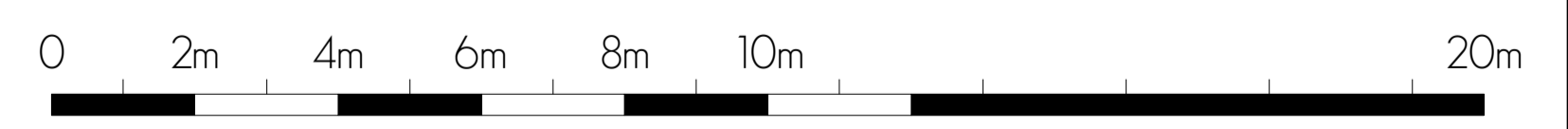
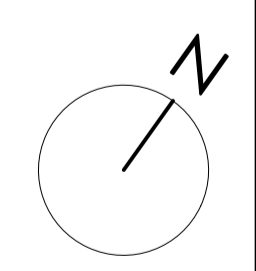
Important: WC and shower facilities to be retained in isolated location with running services for the purpose of providing site welfare to contractors on site

All suspended and recessed lighting to be removed from cellular partitioned office areas. All cabling to be removed and electricity to be isolated in these locations.

Plasterboard ceilings and soffits to be removed.

All signage to be carefully removed.

IMPORTANT: ALL O&M MANUALS MUST BE RETAINED IN THE CABINET AND SECURELY STORED.

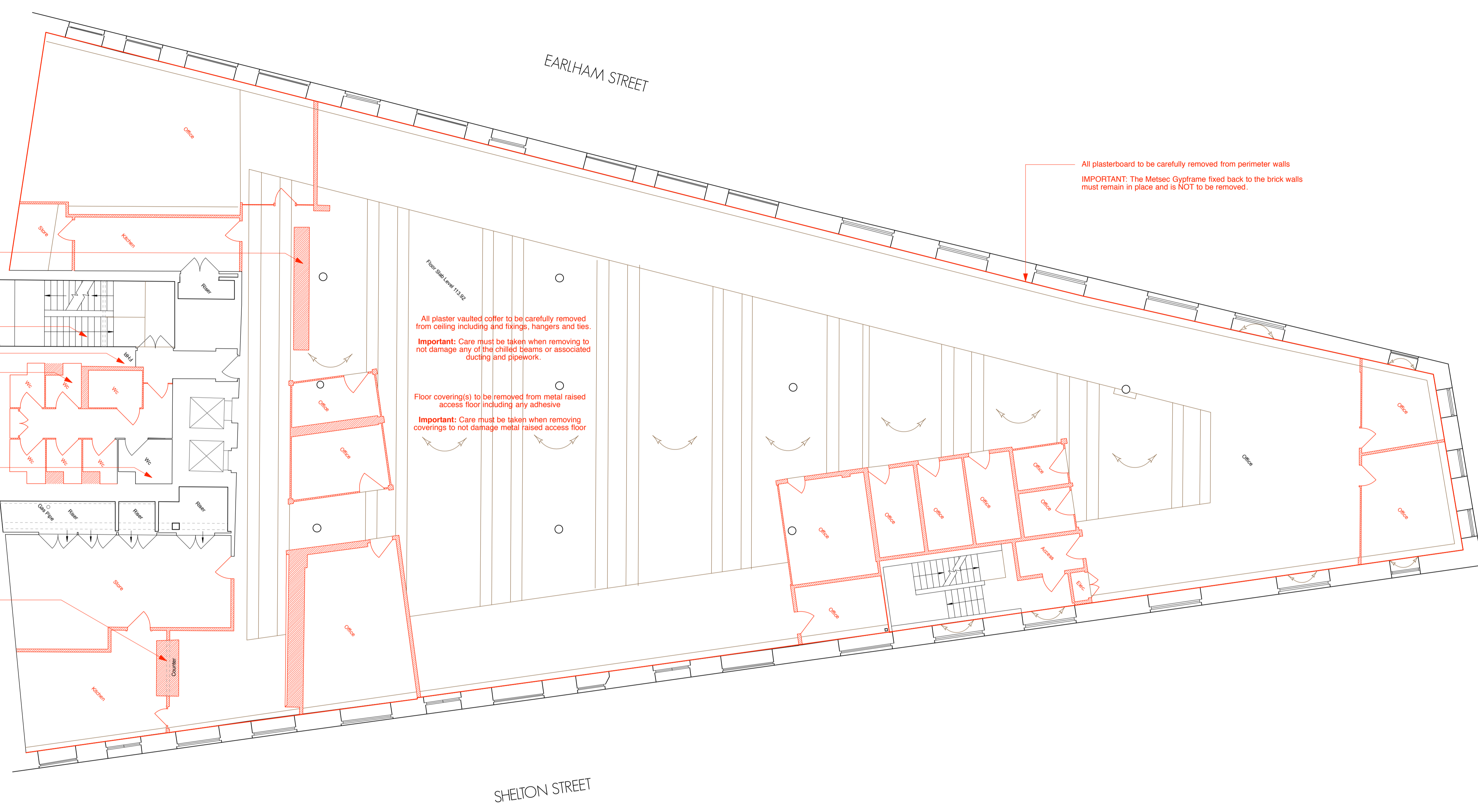


NOTE:
 The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

PROJECT SEVEN DIALS WAREHOUSE LONDON WC2			DRAWING TITLE EXISTING THIRD PLAN				
CLIENT PEC NEALE LTD							
rev.	date	notes	SCALE	DATE	DWG BY	REV.	
B	02.09.16	Note added to remove perimeter plasterboard	1:100 @ A1	July 16	SF / DS	B	
A	05.08.16	Note amended	CHCKD.	DWG NO.	527-SO.04		
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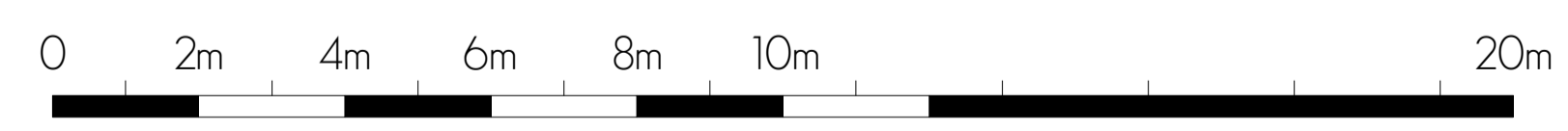


- Lockers and loose furniture to be removed
- Main stair tread covering, nosing and tray infills to be removed back to structure
- Important:** Dry riser must be retained
- Strip back all timber veneer wall panels and veneer partitions to expose the original brick and blockwork
- Remove all ceramics including fixtures and fittings, mirrors and floor covering
- All pipework to be removed and capped off at main incoming supply to WC
- All soil pipes connecting to main SVP to be removed and capped off at main SVP stack
- Important:** WC and shower facilities to be retained in isolated location with running services for the purpose of providing site welfare to contractors on site
- Counter and storage to be removed
- All suspended and recessed lighting to be removed from cellular partitioned office areas. All cabling to be removed and electricity to be isolated in these locations.
- Plasterboard ceilings and soffits to be removed.
- All signage to be carefully removed.
- IMPORTANT:** ALL O&M MANUALS MUST BE RETAINED IN THE CABINET AND SECURELY STORED.

All plaster vaulted coffer to be carefully removed from ceiling including and fixings, hangers and ties.
Important: Care must be taken when removing to not damage any of the chilled beams or associated ducting and pipework.

Floor covering(s) to be removed from metal raised access floor including any adhesive
Important: Care must be taken when removing coverings to not damage metal raised access floor

All plasterboard to be carefully removed from perimeter walls
IMPORTANT: The Metsec Gyproframe fixed back to the brick walls must remain in place and is NOT to be removed.

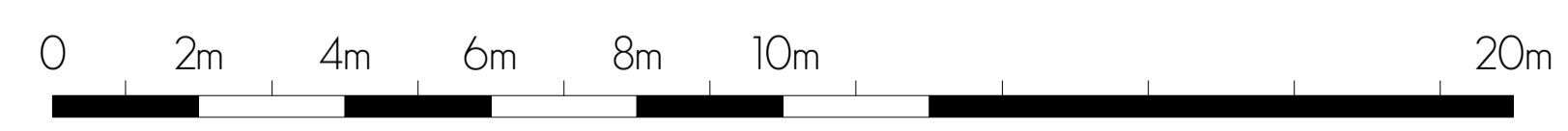
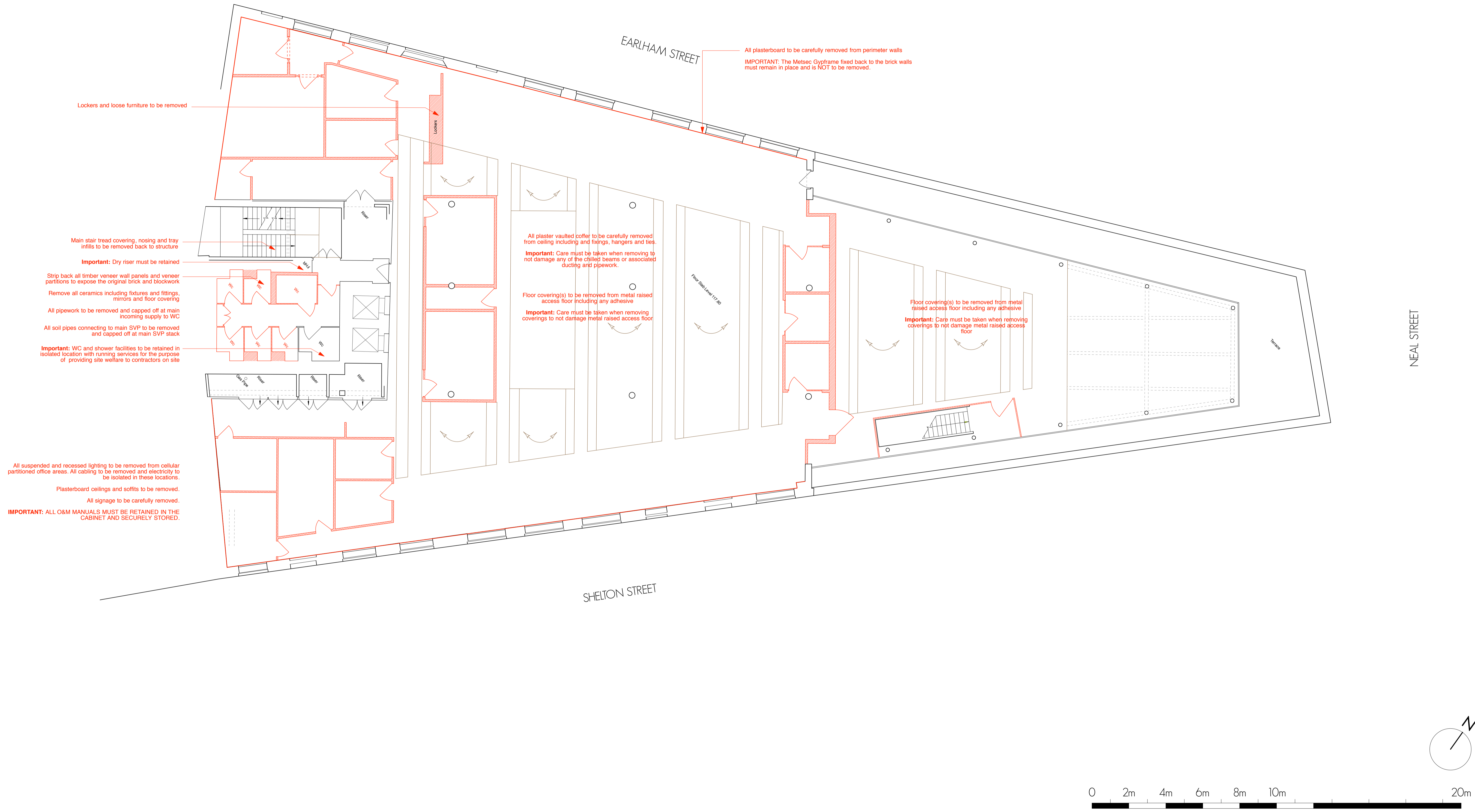


NOTE:
 The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

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rev.	date	notes															
B	02.09.16	Note added to remove perimeter plasterboard															
A	05.08.16	Note amended															
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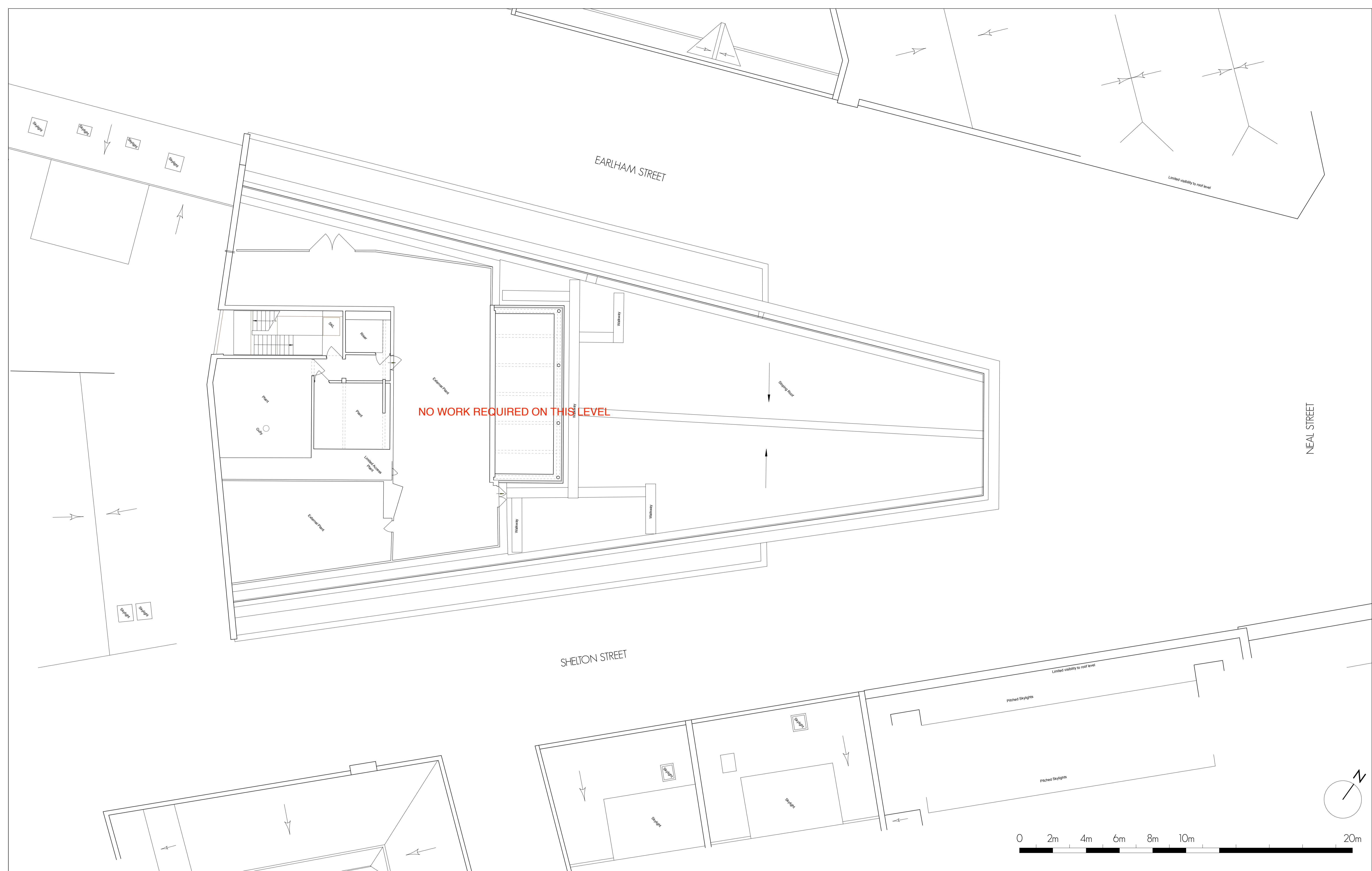


NOTE:
The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

DRAWING ISSUE

PROJECT SEVEN DIALS WAREHOUSE LONDON WC2			DRAWING TITLE EXISTING FIFTH PLAN				
CLIENT PEC NEALE LTD							
rev.	date	notes	SCALE	DATE	DWG BY	REV.	
B	02.09.16	Note added to remove perimeter plasterboard	1:100 @ A1	July 16	SF / DS	B	
A	05.08.16	Note amended	CHCKD.	DWG NO.	527-SO.06		
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NOTE:
 The proposed extension area is subject to;

- Statutory approval by local authorities;
- Assessment of impact on rights of light;
- Assessment of impact on daylight and sunlight;
- Assessment of impact on fire strategy;
- Assessment of existing structural loading capacity;
- Assessment of building services;

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rev.	date	notes

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PROJECT		SEVEN DIALS WAREHOUSE LONDON WC2	
CLIENT		PEC NEALE LTD	
SCALE	DATE	DWG BY	REV.
1:100 @ A1	July 16	SF / DS	
CHKD.	DWG NO.		
	527-SO.07		

DRAWING TITLE
EXISTING ROOF PLAN

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