

Access & Inclusivity Statement

Building Q2

King's Cross Central
General Partner Ltd

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King's Cross

Contacts

All Clear Designs

3 Devonshire Mews
London
W4 2HA

T: +44 (0) 20 8400 5093
W: www.allclear.co.uk

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Appendix A

Management Issues

1.0 Introduction

This document sets out the process adopted by the developer (King's Cross Central General Partner Limited) to create an accessible and inclusive environment within Building Q2 and associated public realm located within the King's Cross Central (KXC) Development site.

This statement has been prepared to accompany a reserved matters application for Building Q2 and associated public realm. It has been prepared to discharge Condition 19 (Access Statement) of the KXC Outline Planning Permission ('the Outline Planning Permission'), granted in December 2006 (with ref. 2004/2307/P) and Section V of the associated Section 106 Agreement on Access and Inclusivity.

Both the proposed building and the public realm are located within Development Zone Q to the north east of the KXC development. The building is designed to accommodate two phases of use; an initial phase comprising a temporary Construction Training Centre ('CTC') at lower ground floor, replacing the current facility on the Triangle Site, and an interim fitness suite at upper ground floor level only; and a permanent state providing an indoor sports hall at lower ground floor level and a fitness suite across both levels (Class D2).

Revised landscape details will be brought forward for the R4 Courtyard (previously approved as part of the R5 North Reserved Matters submission ref 2011/0431/P). The submission also includes landscaping details for the public realm along Wilberforce Street which runs between Handyside Street and Beaconsfield Street, and a short section of York Way alongside Building Q2.

1.1 Context

Documents which relate to access and inclusivity within KXC are developed under a document hierarchy as follows:

1. King's Cross Central Access and Inclusivity Strategy (Sept 2005)	A scene setting document establishing the principles and containing the master plan philosophy and over arching strategies, as referred to in the S106 Agreement.
2. Access Statement (this document)	A document containing descriptions of the features described in the strategy.
3. Building Regulations Access Statement	A document accompanying the future building regulations application for each of the buildings/areas being applied for individually. This document, when submitted, will contain a further level of detailed description to accompany the increased level of detail of the Building Regulations submission.

1.2 Scope

This Access Statement contains an explanation of measures that will be incorporated within the proposals for Building Q2 and associated public realm to facilitate access and use by all people including disabled people, and indicates how the design meets the required design standards, good practice guidance and Building Regulations access requirements. The document focusses on the building in its permanent state as a sports hall and fitness suite. However, reference is made in Section 2.10 to any access considerations arising from the temporary use as a CTC.

The statement takes into account the needs of people with mobility impairments including wheelchair users and those with sensory and cognitive impairments. However, it is recognised that the issues considered in this report will affect the convenience of access for all occupants, not just disabled people.

This Access Statement is based on the strategies set out in the King's Cross Central Access and Inclusivity Strategy (September 2005) and addresses the items set out in Appendix D of that document, including:

- Explanation of policy and approach to access;
- Sources of advice and guidance on accessibility;
- Details of consultations undertaken or planned;
- Details of access consultant involvement;
- Explanation of specific issues affecting accessibility and details of access solutions adopted; and
- Details of potential management policies and procedures to be adopted to enhance and maintain accessibility.

Areas where technical or other constraints have prevented or constrained the application of the principles set out in the above strategy are highlighted as appropriate.

The areas covered in the building include entrances, horizontal and vertical circulation and sanitary accommodation. At this stage, the statement does not cover operational aspects in detail, but it identifies and comments on areas where management procedures are likely to be required to ensure good accessibility.

Landscape considerations are discussed where relevant, including materials, routes, lighting, parking and street furniture.

This Access Statement is based on, and should be read in conjunction with, the architectural drawings and Urban Design Report prepared by Bennetts Associates Architects ('BA') and the landscape drawings prepared by Townshend Landscape Architects ('TLA') and Carve (for Wilberforce Street and the R4 Courtyard, respectively).

1.3 Role of Access Consultant

The access consultant has been actively involved in the preparation of the submitted proposals. The role of the access consultant is to advise the design team and appraise elements of the design at the relevant stages of the design process to ensure that the best possible level of access is achieved and that the proposals meet relevant legislation, the S106 Agreement requirements and recognised good practice guidance. The consultant also provides recommendations about measures that can be incorporated within the scheme to facilitate access and use by disabled people.

The access consultancy services have ensured the integration of accessibility measures into the building whilst also maintaining the overall concept of the design.

1.4 Criteria for assessment and design guidance references

The following documents and guidance have informed the proposals and are referenced where appropriate:

- Argent (King's Cross) Limited, King's Cross Central Access and Inclusivity Strategy, September 2005.
- Sport England; Accessible Sports Facilities 2010
- GLA, Accessible London: Achieving an Inclusive Environment, April 2004.
- Building Regulations Part K, Approved Document K, 2004 edition (incorporating the 2013 amendments).
- Building Regulations Part M, Approved Document M, 2004 edition (incorporating the 2010 and 2013 and 2015 amendments).
- British Standard BS8300:2010A Design of buildings and their approaches to meet the needs of disabled people – Code of Practice.

- British Standard BS9999:2008 Code of practice for fire safety in the design, management and use of buildings.
- DETR, Parking for Disabled People, Traffic Advisory Leaflet 5/95, 1995.
- Other currently recognised good practice design guidance including *Sign Design Guide*, (SDS, 2000); *Guidance on the use of Tactile Paving* (UK, DETR), *Inclusive Mobility* (DoT); *Designing for Accessibility* (CAE, 2004), *The Access Manual*, (Blackwell, 2006) and *Manual for Streets* (DfT and DCLG 2007).

It is also necessary to observe reasonable functional and financial practicalities and to take into account the nature of this and its neighbouring buildings. Wherever possible, the design team have gone beyond the minimum requirements of Part M (Building Regulations) and the guidance provided in the Approved Document M. This will assist the landlord and occupier(s) in meeting its/their duties under the Equality Act 2010.

1.5 Factors contributing to accessibility

This Access Statement considers accessibility at an early stage in the design. Detailed design issues such as fixtures, fittings, street furniture, play equipment, lighting, communication systems, management and other issues which contribute to the accessibility of the services and facilities provided will need to be considered in the future.

The individual needs of occupiers and visitors cannot always be known in advance, thus it is acknowledged that further adjustments to estate management policy or procedure or to the physical features of the building and landscaping may become necessary. However, it is the intention of the design team to ensure that the need for further physical alterations and cost implication of this is reduced to a minimum.

1.6 Consultation

The proposals were presented to and discussed with the King's Cross Design and Access Forum at a meeting held on 12 May 2016. These meetings have been developed as a method of ensuring that there is adequate user input into the design development process ahead of the planning submission.

Issues raised at this meeting have been noted and where possible, incorporated into the scheme, for example:

Issues raised & comments submitted	Response
"Where are the nearest accessible parking bays?"	<p>Double yellow lines along Wilberforce Street will permit accessible drop off outside the proposed main entrance. Further, there will be two accessible parking bays (blue badge) just north of the main entrance on Wilberforce Street.</p> <p>Please see Section 2.2</p>
"Will the accessible changing and WC facilities be handed to give both left and right hand transfer?"	<p>The AWC facilities can be handed floor to floor.</p> <p>Please see Section 2.7.</p>
"The stairs do not appear to offer protection to the underside of the steps to prevent people walking into them."	<p>Undersides of stairs will not be open below 2000mm affl</p> <p>Please see Section 2.4.2.</p>
"It is pleasing that the doors are to be wider to accommodate sports wheelchairs etc. but please ensure that the door weight does not become a disabling factor and that it is still below 30 Newton's opening force."	<p>Where doors cannot achieve 30 newtons opening force they will be automated.</p> <p>Please see Section 2.5.</p>
"It is disappointing there is no changing places facility."	<p>Changing places WCs provide adult change facilities for those requiring a relatively high level of assistance. Building Q2 will have accessible changing and shower areas, but will not provide the hoisted support systems of a changing places facility. A changing places facility was not part of the brief from LB Camden and is not a requirement of policy or the guidance/standards set out in Section 1.4 for a sports facility of this type and size. There is, however, a changing places facility located nearby in the public areas of Building B3 (Camden Council offices and leisure centre/library).</p>
"How will the main entrance doors be made apparent from the surrounding glazing?"	<p>The main entrance doors will be distinguished using lighting and other devices such as visual manifestation on the glazing, entrance matting and contrasting finishes.</p> <p>Please see Section 2.3.</p>
"Consideration needs to be given to induction loops, at the reception and also in the gym spaces that will fit all the possible types of events that will be held there."	<p>These elements will be considered at the fit-out stage of development and are noted.</p> <p>Please see Section 2.9 and Appendix A</p>

Further details are provided in the full assessment of the proposals set out in Section 2.0.

2.0 The Proposals

2.1 Building Q2

Plot Q2 forms part of Development Zone Q within the northern part of the KXC site. It is a trapezoidal-shaped site bounded by Plot Q1 to the south, York Way to the east and north, and Wilberforce Street to the west as shown on Figure 1 below.

In its permanent state, the proposed Building Q2 will provide a public indoor sports hall and fitness suite across two levels (lower and upper ground floors). However, part of the building could be used initially to house the CTC currently located on the Triangle Site. The CTC would be provided at lower ground floor level in the spaces that will later become the sports hall and part of the fitness suite. An interim fitness suite could also be provided by LB Camden in this 'initial phase' at upper ground floor level. The main entrance to the sports facilities in both phases would be located on Wilberforce Street. A second entrance on York Way, which will eventually become a fire escape, would provide access to the CTC.

The completed facility, incorporating the indoor sports hall and fitness suite will be fitted-out and operated by LB Camden (or an operator appointed by them) for public use.



Figure 1: Location plan of Q2

A detailed description of the proposed building is provided in the Urban Design Report and is shown in the submitted Drawing Package.

This document describes the access arrangements for the building in its permanent state as a sports facility. However, Paragraph 2.10 explains any access considerations arising from the temporary use of the building as the CTC and fitness suite.

2.2 Parking

An overall site-wide strategy for parking has been approved under the KXC Outline Planning Permission, with maximum ratios of parking spaces agreed, and appropriate percentages of parking provision for disabled people. The latter have been treated as part of a holistic strategy which distributes on-street 'blue badge' spaces across the site to ensure all buildings have access to a nearby accessible parking bay (in addition to any provided within the building itself).

Two blue badge accessible car parking spaces are proposed on Wilberforce Street, just north of the main entrance. Two blue badge bays are also envisaged further south along Wilberforce Street adjacent to Plot Q1 as part of the site wide accessible parking strategy. These spaces are expected to be brought forward as part of the Reserved Matters submission for that building. Both sets of spaces are shown on Figure 2 below. Due to the proximity of the Gasworks Tunnels below the building, Q2 does not have a basement to provide additional parking provision.

Double yellow lines on Wilberforce Street will permit drop-off outside/close to the main entrance.

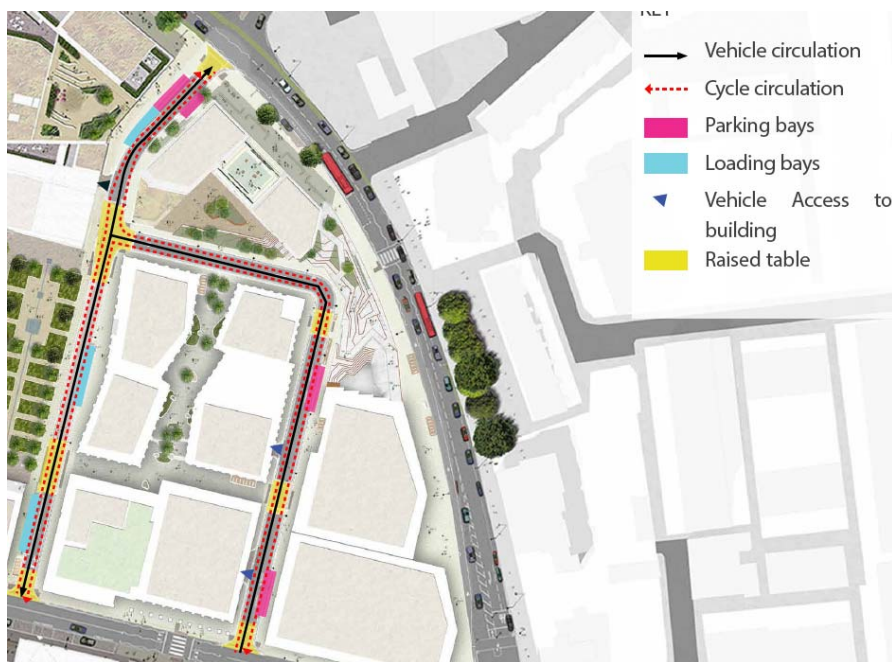


Figure 2: Location of parking facilities

2.3 Entrances and exits

In both the permanent and interim phases, the sports uses within Building Q2 will have a single main entrance to the west of the building located on Wilberforce Street (indicated by the indent on Figure 2 and indicated by the red arrow in Figure 3 below).



Figure 3: Proposed entrances to the building. The red arrow shows the main entrance to the building in the permanent state and for the sports uses in the initial phase, while the yellow arrow shows the temporary entrance to the CTC.

The entrance is recessed below a double height portal, with a glazed frontage and entrance doors leading to the reception area. The decision to have one entrance in this location has been informed by the significant level change between York Way and Wilberforce Street and the desire to provide level access into and throughout the lower ground floor of the building.

The entrance is clearly articulated within the building elevation as an opening in the wrap around metal cladding, lined with contrasting timber panel reveals. The entrance will provide a level threshold and utilise solid entrance matting.

Wilberforce Street is to the west of the building and has a continuous slope up from south to north of approximately 1:25. Figure 4 shows the proposed entrance arrangement for Q2 on Wilberforce Street. In order to provide a level approach to the main entrance, a landing of 1:80 (effectively level) has been created which projects 1500mm from the main entrance doors to the edge of the footpath. There is then a sloped paved area that joins to the rising pavement which has gradients that vary between 1:21 to 1:80. Please refer to Section 3.0 for a more detailed description of the site levels in this location.

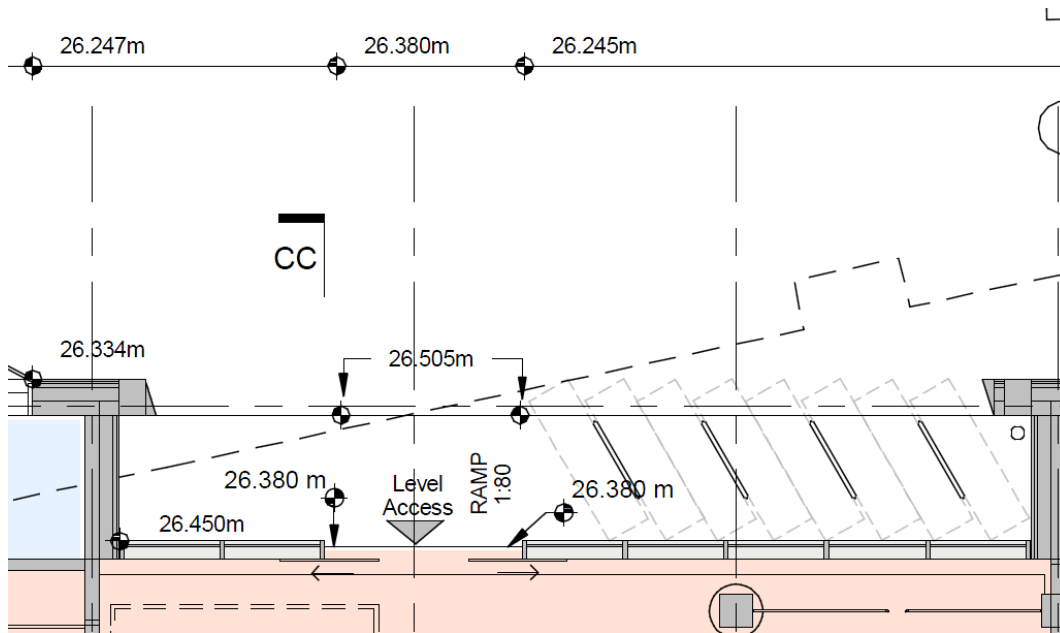


Figure 4: The entrance arrangement for access onto the pavement

The entrance doors will provide in excess of 1200mm clear opening in line with Sport England Guidance.

Glazed doors and screens will have visual manifestation on the glazing in line with guidance in Part M.

In addition to the main entrance, a fire exit is also provided on York Way, shown in Figure 3 above (in orange). This will also have level threshold and openings in line with guidance in Part M. As a fire exit, the door does not require guarding to the outwards opening door. Nonetheless, cycle stands are proposed to the north of the exit to guide pedestrians away from the doorway. Please see Section 2.10 on the use of this door by the CTC in the interim phase.

2.4 Vertical Circulation

2.4.1 Passenger Lift

The building is served with a single passenger lift that will serve both floor levels. This is located behind the secure gate-line in the main entrance reception area.

The lift will have minimum internal dimensions of 1700mm x 1270mm and will meet and exceed the requirements of Part M of the Building regulations and BS/EN 81-70 2003.

The upper ground floor plan (Figure 5) shows the small leaf of the Fitness Suite entrance clipping the circulation/waiting zone for the lift. In practice this smaller leaf will only be used for fire escape purposes and the relocation of large equipment, and will therefore not impede the use of the lift waiting zone.

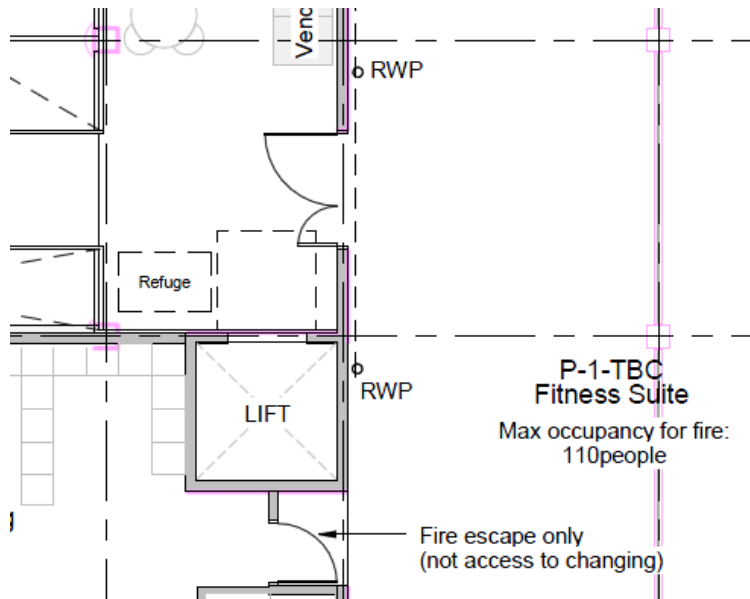


Figure 5: Upper Ground lift circulation area

2.4.2 Stairs

The proposed building has two stair cores which address the lower ground and upper ground floor levels: one in the main reception area accessible from behind the secure gate-line; and the other linking both levels to the fire escape on York Way.

Both staircases will meet Part K of the Building Regulations and BS8300:2010A guidelines for use by people with ambulant and visual disabilities in the form of visually contrasting nosings and appropriate handrails.

The main stair is clearly visible within the open entrance reception and sits opposite the lift. The design team are aware that the underside of this staircase will need to be protected where it is below 2000mm from the floor to avoid accidental collisions, and this will be developed further.

2.5 Doors

Publicly accessible internal doors will meet the Sport England guidance for accessible sports facilities, which will achieve a clear opening width of 875mm and will be provided with visual manifestations where glazed, and/or vision panels where solid and on an access route.

Air pressure differentials can sometimes make the doors difficult to open. Where a door cannot achieve 30 Newtons of opening force, power assisted doors will be utilised.

2.6 Internal Floor Finishes

Floor finishes in the internal public areas will provide a slip resistance equal to or greater than R10 (to meet DIN51130:2004).

2.7 Sanitary Accommodation

Accessible toilet accommodation has been provided on both the lower ground and upper floor levels. The accessible WCs will be alternately handed at each level ('handed' being the side that the WC is located; left handed or right handed) and will comply with Part M of the Building Regulations and BS8300:2010A.

Two accessible WC/Shower facilities of 2400mm by 2500mm have been provided, adjacent to the accessible WCs on each floor level. These facilities will be similarly alternately handed and will comply with Part M of the Building Regulations and BS8300:2010A.

2.8 Escape Arrangements

Areas of refuge have been provided at both levels within the stair core areas, as shown on submitted drawings KXC-Q2-P-SH-001-A-1405-20-UGF and KXC-Q2-P-SH-001-A-1405-20-LGF. These areas meet BS9999:2008 Code of Practice for Fire Safety in the Design, Management and Use of Buildings.

Management procedures will be put in place by the operator and the estate management to ensure that refuges are checked in the event of an emergency and/or for staff to respond to a disabled person in the refuge.

Staff will be suitably trained to assist disabled people and to assist with use of evacuation chairs where provided.

Operator and estate management policy, procedures and practices will be developed together with a means of escape strategy for disabled people, whether staff or visitors. Personal Emergency Egress Plans (PEEP) for individual disabled users will be developed as required.

2.9 General Details

Details of the following areas and how they will be made accessible shall be addressed as the scheme develops and form part of any Building Regulations Submission:

- decoration – colour contrasts etc;
- lighting;
- service counters, including hearing enhancement systems;
- sanitaryware selection and layouts;
- fire alarm details;

- lift details;
- toilet layout details;
- signage;
- furniture selection; and
- kitchen layout.

In addition, Appendix A of this statement sets out the management issues which estate staff should be aware of to ensure access is achieved and maintained.

2.10 Construction Training Centre

The building has been designed to facilitate an initial phase which accommodates a replacement CTC at lower ground floor level. The main sports hall will accommodate workshops and some freestanding office accommodation, and the future fitness suite on the lower ground floor will be subdivided to be classrooms. Where possible, the fit-out for the CTC would include final finishes for the sports hall/fitness suite in order to minimise abortive costs. Consequently, the upper ground floor level, which does not include any CTC facilities, will be constructed to enable the early provision of a smaller fitness suite by LB Camden as part of the initial phase and does not include any changes to the layout. However, there are some areas at lower ground floor level, such as partition walls and doorways to the classrooms/offices, which will be provided on a temporary basis while this use is in place. Please see submitted drawing KXC-Q2-P-CTC-001-A-1405-20-LGF

All doors to the CTC will meet the Part M 800mm minimum clear opening widths. The fitness suite at the upper level will include the same specification as the permanent state, specifically a minimum clear opening width of 875mm in accordance with the Sports England guidance.

Appropriate audio communication facilities will be installed to allow for the use of induction loops, (where required) in classrooms and workshops.

During the CTC period, the entrance will be from York way as described in Section 2.3. Level entrance into the building is via the wheelchair accessible entrance located on Wilberforce Street which provides level access to the CTC facilities.

During the CTC period, there will be no changing facilities at lower ground floor, although accessible WCs will be provided.

3.0 Public Realm

This submission includes revised details of the R4 courtyard and new details of the public realm immediately adjacent to the building, namely Wilberforce Street (between the southern boundary of Q2 and the junction with Beaconsfield Street) and a short section of York Way. The details submitted include the proposed surface treatments, planting, cycle parking and seating, as well as ramp gradients and steps.

3.1 General Levels

The building is bounded to the east by York Way, retaining existing levels and falls. York way is approximately 1.9 metres above Wilberforce Street at the point taken through the entrance of Building Q2 (the Wilberforce Street entrance is located at 26.530 AD and the fire escape on York Way is at 28.440 AD).

This transition will be addressed through the landscaping for Gatti Park which will sit to the north of Q2 and provide steps and ramps for pedestrians to access Wilberforce Street (and vice versa). Gatti Park is outside the scope of this submission; details of this space will be submitted separately for approval in due course. In the alternative, pedestrians can also access Wilberforce Street via Handyside Street to the south, or via Beaconsfield Street to the north, which both provide suitable gradients for wheelchairs (see below).

The west of the building is bound by a new road referred to as Wilberforce Street. Wilberforce Street generally rises from a base point (at the lower south east edge of Q2) of 24.50m AOD to 28.100m AOD at its highest in the elbow of the bend, and then back down to approximately 25.8m AOD at the western end of the R4 courtyard. Across the length of the building, the street slopes approximately 1.6 metres which results in a varying gradient of approximately 1:28 and a level platform at the location of the entrance doors (refer to Section 2.3).

The pavement slopes are determined by existing and permitted site levels. Both York Way and Wilberforce Street achieve gradients of 1:20 or better. They do not require level landing features except to the main entrance of Q2 in order to create level access into the building.

3.2 Materials

The public realm area will have a consistent palette of materials which have been utilised throughout the KXC scheme to provide a coherent and navigable landscape, whilst reinforcing pedestrian routes and crossings.

The footpaths on Wilberforce Street and York Way will consist of natural sandstone paving with a 200mm granite kerb along the road edge. The R4 courtyard will be differentiated from the public realm through the use of clay paviours.

Raised table crossings have been provided on Wilberforce Street to the north and south of the entrance of Q2, defined by a paving pattern located in a tarmac road surface.

Granite setts have been proposed to define the area utilised for bike stands and at the base of trees. These are rough cut sets and provide a tactile as well as visual indication of the potential hazard. These have been used to good effect in similar applications across the KXC development.

Further details of the proposed materials are provided in the submitted Urban Design Report and on submitted drawing TOWN279.11.06(08)3001.

3.3 Threshold Treatments

All thresholds onto the public realm will be flush, with no more than a 15mm level change, and with joints of no more than 10mm wide. Where possible, thresholds between materials will also have a visual contrast (using different materials) to assist people with visual disabilities.

3.4 Street Furniture

Street furniture in the form of cycle stands have been located so that they are contained within well-defined areas. Cycle parking for staff (and visitors) to Building Q2 is provided within the recess to the main entrance, away from the footpath and doorway. Further visitor parking is provided along the edge of the footpath on Wilberforce Street (adjacent to the road) and alongside the building façade on York Way. The siting of the racks follows the approach elsewhere on the development, maintaining a generous pavement width and minimising obstructions for people with partial vision and/or mobility disabilities.

There will also be a series of seating opportunities, such as the benches provided within the R4 courtyard as part of the perimeter treatment to the raised central beds (please see submitted drawing TOWN279.11.06(08)3001).

3.5 R4 Courtyard

The triangular shaped area between Wilberforce Street and the rear entrance of Building R4 is known as the R4 Courtyard, outlined in purple in Figure 6 below.



Figure 6: R4 Courtyard

The centre part of the courtyard is approximately 25.92m AOD. However, Wilberforce Street is approximately 25.80m AOD at the western end of the Courtyard, rising to approximately 28.10 at the eastern end. This means that the street facing elevation of the Courtyard has a significant change in level.

The design for this courtyard is a series of grassed and planted terraces, defined with "Corten" steel facings and integrated seating. These terraces are used to provide a terraced/banking effect to the boundary of the courtyard where it meets Wilberforce Street, providing an effective way of overcoming this change in level without resorting to tapered steps.

The boundary of the courtyard at the south-eastern edge of Rubicon Court (R4), where it meets the future Gatti Park, will take the format of seating steps with risers of 400mm at the top and the bottom, and 200mm in the two central risers. These are sized such that they are not intended to be used as stairs, and consequently, do not require handrails.

3.6 Security and Lighting

A comprehensive CCTV system will form part of the estate wide management strategy, which will considerably improve user security across the site. The area will also be regularly patrolled by members of the estate management team throughout the day.

A lighting scheme will be developed to deliver light levels which support the safety initiatives in the area, and navigation by people with visual disabilities.

Night time lighting of the scheme is intended to come from lighting within the buildings and from the amenity lighting previously approved in the Public Realm submissions.

This strategy will encourage people to use the more direct outer pathways at night.

Appendix A

Management issues

The following management issues will be brought to the attention of relevant parties to ensure that access is achieved and maintained:

- **external routes** – keep in good repair and free of obstructions and leaves, ice, snow and surface water;
- **doors** – adjustment of door closers; ironmongery to be kept in good working order;
- **horizontal circulation** – keep routes free from obstructions and furniture layouts/seating arrangements accessible;
- **vertical circulation** – regular checking of lifts to ensure floor of car aligns with finished floor level;
- **WCs** – checks to ensure that manoeuvring space in accessible compartments is not obstructed by bins, sanitary disposal equipment etc; replenishment of toilet paper and paper towels in accessible WCs as well as other WCs;
- **communication** – new signs to integrate with existing sign system, no ad hoc homemade signs; all information to be kept up-to-date; signers and translation services to be provided as necessary; appropriate provision of accurate access information and other literature;
- **hearing enhancement systems** – advertising; regular checking and maintenance of systems;
- **alarm systems** – checking of systems; staff training in procedures;
- **surfaces** – ensuring cleaning does not cause slippery surfaces; maintaining junctions to avoid worn surfaces becoming tripping hazards; replacing surfaces like with like; maintaining colour contrast in redecoration;
- **lighting** – prompt replacement of bulbs; keeping windows and light fittings clean;
- **means of escape** – specific evacuation strategies to be devised for people who need assistance, including staff and visitors; staff training; regular practice drills; maintenance of fittings and equipment; reviewing evacuation procedures;
- **security** – ensuring security procedures do not conflict with accessibility good practice;
- **training** – staff training is critical to maintain access and to provide accessible services and employment opportunities. Training can cover areas such as disability awareness and equality, use of equipment such as platform lifts and induction loops, British Sign Language, hearing awareness, clear lip speaking, guiding people with visual impairments and general access awareness.

- **health and safety policies** – implementation of policies on access, risk assessment;
- **responsibilities for access** – identification of responsible people to approve improvements, set priorities, ensure access is included in maintenance and refurbishment programmes, provide auxiliary aids, review numbers of disabled people using a service and establish and run user groups;
- **funding for access improvements** – identification of specific access funds or grants; funds for specific employees such as 'Access to work'; use of the maintenance budget;
- **policy review** – regular reviews of all policies, practices and procedures affecting access.

King's Cross

4 Stable Street
London
N1C 4AB

T +44 (0)20 3664 0200
www.kingscross.co.uk