

Mr Chee-Kit Lai  
Mobile Studio Architects  
Studio G10  
23-27 Arcola Street  
London  
E8 2DJ

Application Ref: **2015/2460/P**  
Please ask for: **Patrick Marfleet**  
Telephone: 020 7974 1222

11 October 2016

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted Subject to a Section 106 Legal Agreement

Address:  
**32 Ferncroft Avenue**  
**London**  
**NW3 7PE**

Proposal:

External alterations including enlargement of single storey rear extension, excavation work to increase size of existing basement and installation of front and side lightwells.

Drawing Nos: FER 001, FER 003, FER 004, FER 005, FER 006, FER 007, FER 008, FER 009, FER 010, FER 011, FER 150, FER 151, FER 152, FER 153, FER 155, FER 250, FER 251, FER 252, FER 350, FER 351, FER 352, Design & Access Statement dated April 2015, Price & Myers BIA dated July 2015 and July 2016, Campbell Reith final audit report dated April 2016.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and



Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans FER 001, FER 003, FER 004, FER 005, FER 006, FER 007, FER 008, FER 009, FER 010, FER 011, FER 150, FER 151, FER 152, FER 153, FER 155, FER 250, FER 251, FER 252, FER 350, FER 351, FER 352, Design & Access Statement dated April 2015, Price & Myers BIA dated July 2015 and July 2016, Campbell Reith final audit report dated April 2016.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 The development hereby approved shall not commence until such time as a suitably qualified chartered engineer with membership of the appropriate professional body has been appointed to inspect, approve and monitor the critical elements of both permanent and temporary basement construction works throughout their duration to ensure compliance with the design which has been checked and approved by a building control body. Details of the appointment and the appointee's responsibilities shall be submitted to and approved in writing by the local planning authority prior to the commencement of development. Any subsequent change or reappointment shall be confirmed forthwith for the duration of the construction works.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Development Policies and policy DP27 (Basements and Lightwells) of the London Borough of Camden Local Development Framework Development Policies.

- 5 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

- a) Typical details of new front lightwell railings at a scale of 1:10 including materials, finish and method of fixing.

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the

course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Reasons for granting permission.

The proposed external alterations to the rear of the site are considered sympathetic to the setting of the host and neighbouring properties, particularly as they would match the design and appearance of the adjoining property at 34 Ferncroft Avenue. The proposed front lightwell would be concealed by the garden area and boundary treatments to the front of site which provide a visual buffer from the street and ensure the proposal does not detract from character of the surrounding conservation area.

The increased depth of the existing single storey rear extension by 1.3m would not cause undue harm to the residential amenity of any neighbouring occupiers in terms of loss of light or outlook. Furthermore, the proposed balcony would be located at ground floor level, looking over the proposed lower ground floor patio at the site, and would not result in the loss of privacy to the adjoining property at No.34.

A Basement Impact Assessment (BIA) has been submitted as part of this application. This document has been independently audited and further information was requested to adequately identify the impacts from the basement and outline suitable mitigation measures. These have been received and considered acceptable. A construction management plan would be secured by legal agreement to ensure the transport impacts would be acceptable.

No objections were received following statutory consultation. The planning history of the site has been taken into account when coming to this decision.

Special regard has been attached to the desirability of preserving or enhancing the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposed development is in general accordance with policies CS5, CS14 and CS19 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25, DP26 and DP27 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2016; and paragraphs 14, 17, 56-66 and 126-141 of the National Planning Policy Framework.

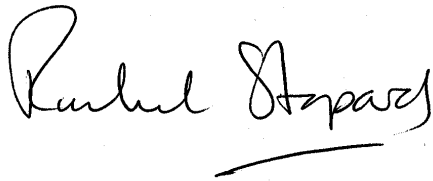
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Rachel Stopard  
Executive Director Supporting Communities