

Rob Oliver
111 Millway
LONDON
NW7 3JL

Application Ref: **2016/4716/P**
Please ask for: **Darlene Dike**
Telephone: 020 7974 **1029**

11 October 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
162A Goldhurst Terrace
London
NW6 3HP

Proposal:
Erection of a single storey rear extension to flat.

Drawing Nos: Site Location Plan (Ref GT/162/ Rev A); GT/162/06 Rev E; GT/162/05 Rev E - Existing Ground Floor Plan; GT/162/05 Rev E - Existing Roof Plan; GT/162/02 Rev E - Proposed Comparable Elevation; GT/162/02 Rev E - Proposed Elevations; GT/162/02 Rev E - Proposed Ground Floor Plan; GT/162/02 Rev E - Proposed Roof Plan; Design and Access Statement; Existing Photo: Proposed Glazing Photo 1: Proposed Glazing Photo 2: Proposed Glazing Photo 3

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans; Site Location Plan (Ref GT/162/ Rev A); GT/162/06 Rev E; GT/162/05 Rev E - Existing Ground Floor Plan; GT/162/05 Rev E - Existing Roof Plan; GT/162/02 Rev E - Proposed Comparable Elevation; GT/162/02 Rev E - Proposed Elevations; GT/162/02 Rev E - Proposed Ground Floor Plan; GT/162/02 Rev E - Proposed Roof Plan; Design and Access Statement; Existing Photo: Proposed Glazing Photo 1: Proposed Glazing Photo 2: Proposed Glazing Photo 3

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The proposed single storey rear extension would be subordinate to the host building in terms of its form, scale and proportions. With respect to its depth, the application has been revised so that the extension reaches no further than the rear building line of the existing extension it replaces, in line with current rear projections at numbers 160,162 and 164 Goldhurst Terrace. This allows for uniformity within the terrace and for the retention of a reasonable proportion of garden space at the host site. In respect of height, also scaled down by revisions, at 3.7m the proposed extension is still admittedly high, however in its context acceptable. It would be lower than the neighbouring conservatory at 164 Goldhurst Terrace which is 4m high, lower than the existing conservatory which it replaces (again 4m high) and in keeping with the heights of approved extensions at 156,166 and 168 Goldhurst Terrace. The width of the proposed extension is also acceptable because though full width, it would only be 1.3m wider than the combined width of the existing rear extension and conservatory.

In terms of design the extension is acceptable as it features a simple aesthetic and sympathetic materials. Its walls are to be constructed of brick to match the existing and roof largely glazed with powder coated aluminium supports, allowing for a lightweight roof structure which is also high quality and an improvement on the

existing uPVC conservatory. Likewise the use of powder coated aluminium windows and doors is fitting for a modern extension in a conservation area and an improvement on the previous uPVC. The choice of materials respects the character and setting of neighbouring buildings, and means that the proposed extension, though of a contemporary design, would not detract from the property's positive contribution to the South Hampstead Conservation Area. Detailed fenestration to the roof is fitting too as the proposed glazed skylights would be discrete within the roof form.

Given the proposed extension's modest size, glazed roof, and its positioning at ground floor level beside high boundary vegetation that separates it visually and physically from 164 Goldhurst Terrace, there would be negligible harm to the amenity of any adjoining residential occupiers in terms of the loss of outlook, privacy or added sense of enclosure. In terms of loss of daylight and sunlight, given that the rear gardens of Goldhurst Terrace (even) are north facing, it is not felt that the new extension would be in a position to block noticeable levels of daylight or sunlight to adjoining occupiers during the course of the day.

Two objections have been received, and are addressed in the consultation summary. The planning history of the site and relevant appeal decisions were taken into account when coming to this decision.

Considerable importance and weight has been attached and special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under and s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior

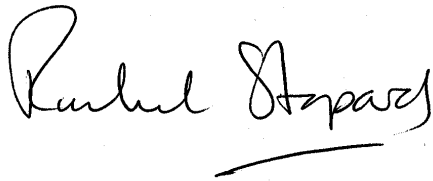
approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Executive Director Supporting Communities