

Peter Stern
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33 Denman Drive North
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NW11 6RD

Application Ref: **2016/3427/P**
Please ask for: **Nora-
Andreea.Constantinescu**
Telephone: 020 7974 **5758**

23 September 2016

Dear Sir

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
22 Lambolle Place
London
NW3 4PG

Proposal:

Roof extension including two front dormers, rear dormer incorporating roof terrace with pergola and new slate roof covering to top flat (Class C3)

Drawing Nos: Site location plan; 23973A/1; 23973A/2; 23973A/3; 23973A/4; 23973A/5; 405/04A and 405/03C; 405/05C; 405/06C (received 09/09/16).

The Council has considered your application and decided to grant permission subject to the following conditions:

Conditions and Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, as shown on the approved plans

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 if in CA of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site location plan; 23973A/1; 23973A/2; 23973A/3; 23973A/4; 23973A/5; 405/04A and 405/03C; 405/05C; 405/06C (received 09/09/16).

Reason:

For the avoidance of doubt and in the interest of proper planning.

Informatives:

- 1 Reasons for granting permission:

It is proposed to remove the existing rear dormer windows and front roof lights, and to extend the roof to the front with two dormer windows and to the rear with a dormer window and a roof terrace. In addition, the whole roof will be covered with new slate.

The proposed front dormers will keep the rhythm of the windows below and have slim cheeks, double hung sash windows fixed with slim line metal frame windows. Numerous properties within the terrace have been extended with front dormers. As such, the front dormer windows are considered to conserve the character of the host property, the streetscene and Belsize Park Conservation Area.

The proposed rear roof extension has been revised to two separate elements, dormer window and roof terrace. Previous permission was granted for a similar proposal under reference 2013/4857/P and subsequently revised under a non-material amendment reference 2016/2994/P. In addition, numerous properties within the terrace have been extended with rear dormers and inset terrace, and opposite side of Lambolle Place with mansard style additions. As such, the proposed two elements are considered to be a more logical and subordinate addition to the roof slope, which will be in keeping with the character of the street scene and Belsize Park Conservation Area.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise

and Regulatory Reform Act 2013.`

Two objections have been received and taken into consideration prior to making this decision - see consultation summary.

The planning history of the site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with the London Borough of Camden Local Development Framework Core Strategy, with particular regard to policies CS5 and CS14 and the London Borough of Camden Local Development Framework Development Policies, with particular regard to policies DP24, DP25 and DP26, and Belsize Park Conservation Area Statement. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2015 and paragraphs 14, 17, 56-58 and 126-141 of the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 4 The Mayor of London introduced a Community Infrastructure Levy (CIL) to help pay for Crossrail on 1st April 2012. Any permission granted after this time which adds more than 100sqm of new floorspace or a new dwelling will need to pay this CIL. It will be collected by Camden on behalf of the Mayor of London. Camden will be sending out liability notices setting out how much CIL will need to be paid if an affected planning application is implemented and who will be liable.

The proposed charge in Camden will be £50 per sqm on all uses except affordable housing, education, healthcare, and development by charities for their charitable purposes. You will be expected to advise us when planning permissions are implemented. Please use the forms at the link below to advise who will be paying the CIL and when the development is to commence. You can also access forms to allow you to provide us with more information which can be taken into account in your CIL calculation and to apply for relief from CIL.

<http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil>

We will then issue a CIL demand notice setting out what monies needs to paid when and how to pay. Failure to notify Camden of the commencement of development will result in a surcharge of £2500 or 20% being added to the CIL payment. Other surcharges may also apply for failure to assume liability and late payment. Payments will also be subject to indexation in line with the construction costs index.

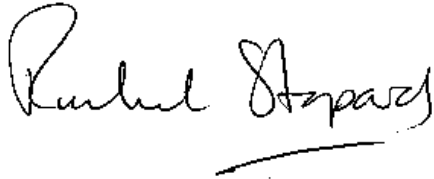
Please send CIL related documents or correspondence to CIL@Camden.gov.uk

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Executive Director Supporting Communities