

43 Cumberland Terrace London NW1 4HP

DESIGN & ACCESS STATEMENT

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INTRODUCTION

1.1 INTRODUCTION

This Design and Access Statement accompanies the application for the internal refurbishment and general modernisation of the existing property at 43 Cumberland Terrace, London NW1 4HP. The Design and Access Statement has been written to meet the Town and Country Planning (General Development Procedure) (Amendment) (England) Order 2010.

1.2 SITE DESCRIPTION

The property at 43 Cumberland Terrace is a third floor apartment which forms part of the building that is Grade I listed with group value and is located in the London Borough of Camden's Regent Park Conservation Area. The apartment stretches across the top floor of two former town houses, previously numbered as 19 and 20. The property also includes a small separate basement unit.

Following the Second World War, a decision was made to convert most of Cumberland Terrace into flats. During the conversion which took place in the 1960s, all of the original internal fabric was lost, with only the structural elements to the front and rear elevations and the party walls between the buildings remaining original.

1.3 PLANNING HISTORY

No planning applications have been registered for this property since the 1960s conversion.

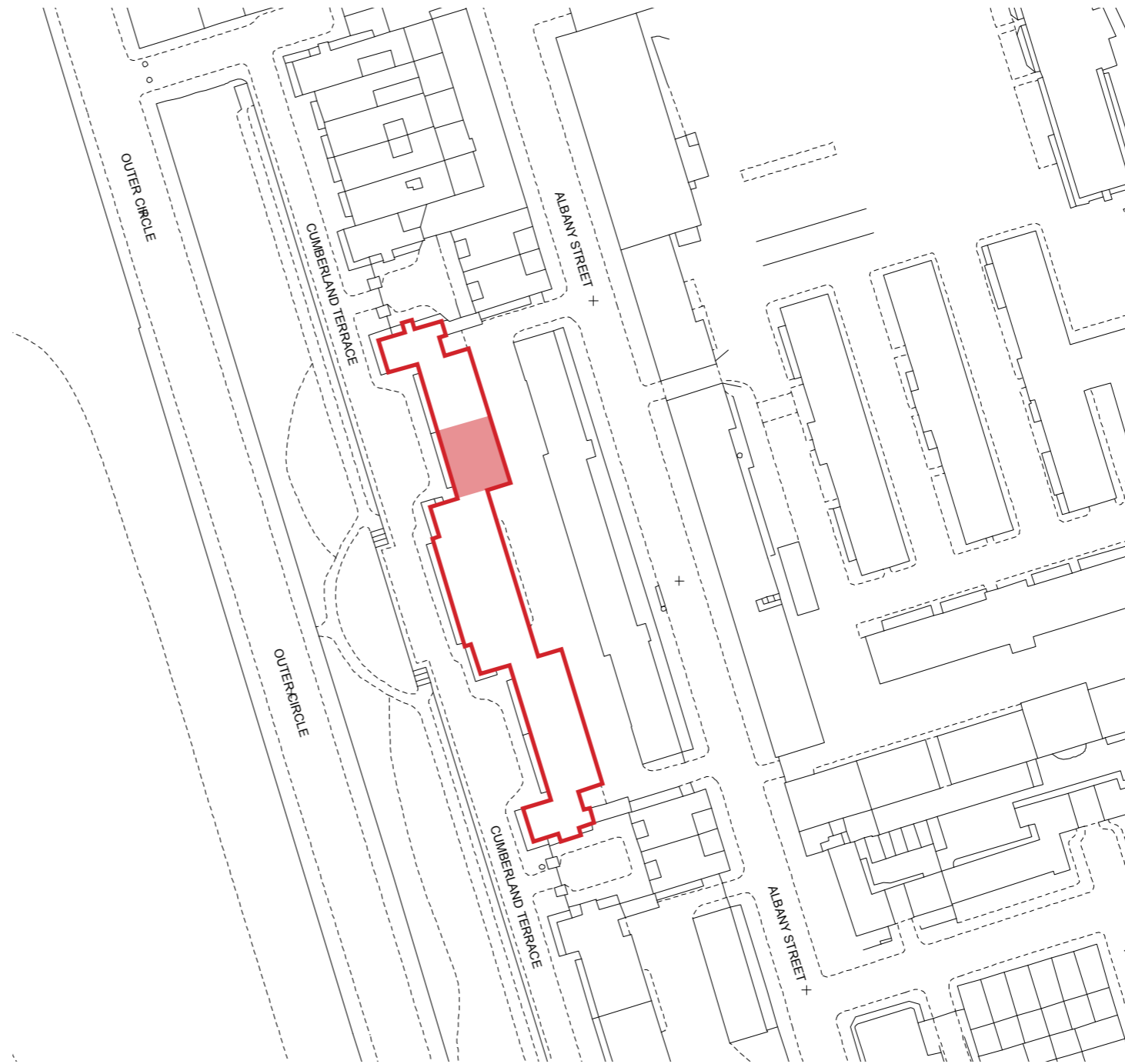


FIGURE 1.1: Site Plan @ 1:1250

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SITE PHOTOGRAPHS



FIGURE 2.1: Cumberland Terrace principal elevation



FIGURE 2.2: Existing Kitchen



FIGURE 2.3: Existing Drawing Room



FIGURE 2.4: Existing Master Bedroom



FIGURE 2.5: Existing Bedroom 3



FIGURE 2.6: Existing Bathroom



FIGURE 2.7: Existing Master Ensuite

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DESIGN PROPOSAL

3.1 OVERVIEW

The design proposal for 43 Cumberland Terrace seeks to refurbish the interior of the apartment to create a clean and contemporary living space to meet modern requirements. The existing interior was modern over fifty years ago but is presently not only dated but oppressive.

The changes that comprise this scheme will have no impact on any original fabric of Cumberland Terrace and will only consist of the replacement of previous additions.

3.2 LAYOUT

The main adjustments to the layout includes incorporating a small existing hall into the kitchen to create a practical, modern space. The existing cloakroom will be moved into a storage area.

The opening between the drawing room and dining room is to be widened slightly to create a greater sense of connection between these two rooms by means of a pair of flush sliding doors.

In the bedroom part of the apartment, a single partition wall is to be moved to create two equal sized rooms. One shall be used as a bedroom with the other a study. These rooms are presently unequal in size.

The bathroom and master ensuite remain in their existing locations and will have their layouts reoriented to accommodate the new sanitaryware.

A small basement unit is also demised to 43 Cumberland Court, located within the same part of the building at lower ground floor level. This unit has also been unmodernised since the 1960s. The proposal will entail the refurbishment of this unit and include the installation of a small shower room and kitchenette.

3.3 MODERNISATION

The 1960s conversion of Cumberland Terrace introduced many non-original features throughout the property. Partition walls are constructed from hollow clay pot bricks with contemporary cornices, architraves and skirtings that adorn the walls. Modern panelled doors and joinery have been used throughout.

The top floor position of the apartment indicates that these spaces would have originally been used as the servants quarters to the town

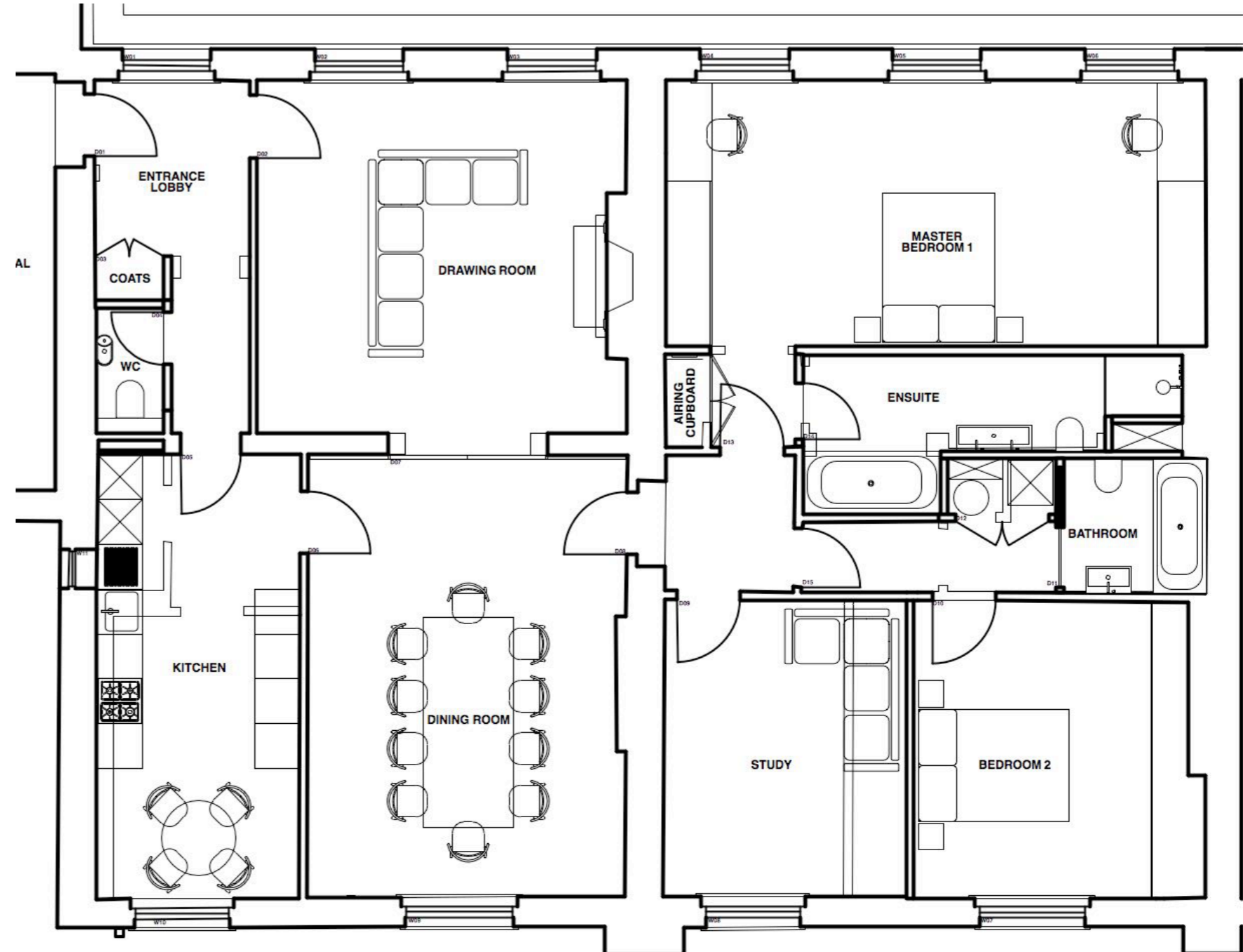


FIGURE 3.1: Proposed layout

house. The low ceilings are characteristic of this and they would have traditionally been very simply fitted out. The existing modern cornices do not fit comfortably within this setting and in some instances they fall below the window heads.

The refurbishment scheme proposes a minimal design which will clearly identify the existing spaces and reduce the oppressive impact of the low ceilings. Details such as flush full height doors, recessed skirtings and the absence of cornices and architraves will add emphasis to the vertical dimension of the spaces.

The proposed kitchen will benefit from clean contemporary units that run the full height of the room in a composition of simple forms. The language of joinery proposed for the kitchen will reappear elsewhere in the apartment in places such as the bedroom wardrobes and entrance coat cupboard.

Contemporary bathrooms are characterised by the sanitary fittings composed in an integrated manner, combining joinery. This is very different from the stand alone ceramic fittings from the 1960s. The master ensuite, family bathroom and cloakroom will all be designed with this in mind, combining joinery and sanitary fittings.

3.4 FINISHES

The proposed design for the apartment will be characterised by the use of natural materials.

Timber flooring will run as a continuous surface from the entrance to the flat through all of the living spaces to create a warm and simple aesthetic.

The kitchen and bathrooms will use stone tiling to the floors and walls.

The bedrooms will feature wall to wall carpeting.



FIGURE 3.2: Natural materials to be used in the proposed living room



FIGURE 3.3: Fitted joinery to bedrooms



FIGURE 3.4: Simple contemporary units to proposed kitchen

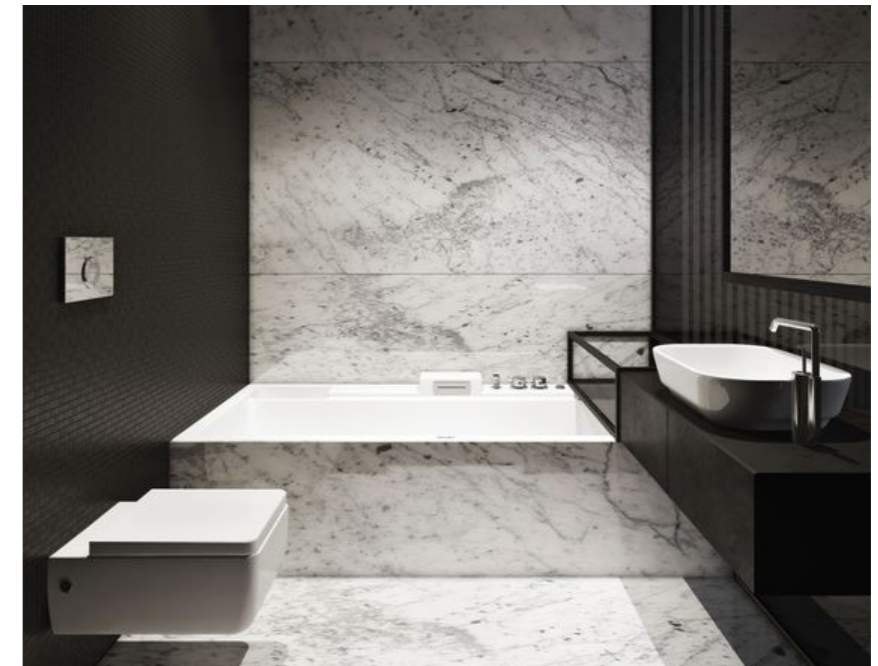


FIGURE 3.5: Natural stone and simple detailing to bathrooms

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DRAWINGS

270.110	1:50	DRAWINGS as existing
270.200	1:50	DRAWINGS as proposed
270.201	1:50	STUDIO DRAWINGS as proposed
270.210	1:50	DEMOLITION DRAWINGS as proposed