

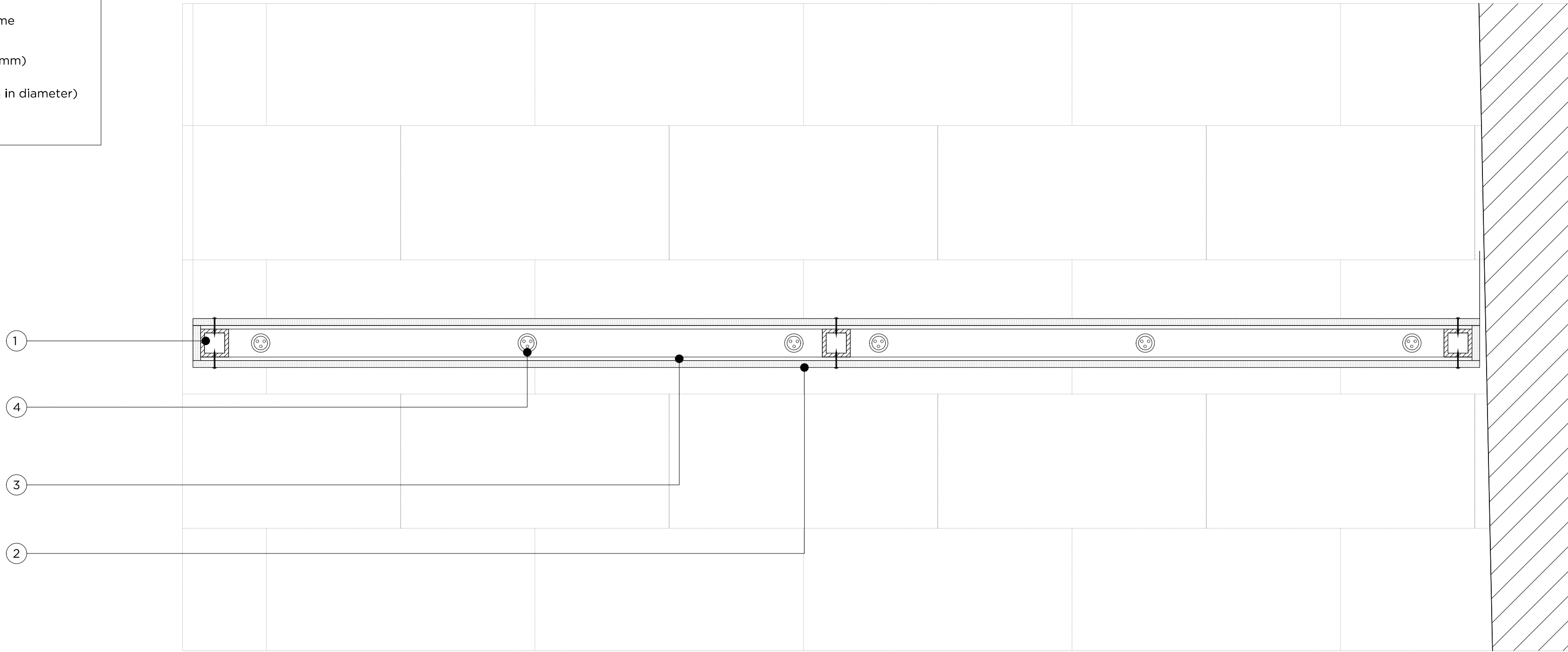
- Notes
- 1

Mild steel frame (80x80x1,980mm)
- 2

Cedar boards fixed to steel frame (40x20mm)
- 3

2No. Perspex boards (1,840x10mm)
- 4

6No. Floor LED fixtures (45mm in diameter)



Proposed Basement Plan



Privacy screen height: 1,900 mm



Timber privacy screen precedent
Project: Cleveland Square
Architect: MWA



Timber privacy screen precedent
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Timber privacy screen precedent
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Key Plan, Scale 1:250

Key Plan, Scale 1:250

Demolition Key:

Proposed finishes legend

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.

2. All existing floor finishes and existing ply to be carefully removed

3. Existing floorboards to be carefully removed and reused where possible.

4. New/damaged floorboards to be replaced.

5. New furniture, joinery etc to be installed to the top of the existing joists in order to level the structural engineer's information. Low profile UPH throughout.

6. New drainage and concrete slab to be laid at basement level.

7. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slate to be replaced with new slate to match existing to replace any damaged slate. Likewise to fit portion of the roof, existing entrance canopy and dormer windows to be removed and replaced on a like-for-like basis.

8. Joists are to be repaired up and strengthened where required to support increased loads, to Structural Engineer's details.

9. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.

10. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.

11. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes:

01

Existing panelling to be refurbished and redecorated.

02

Existing window replaced with double-glazed, timber framed sash window.

03

Non-original fireplace to be removed and replaced with traditionally-styled fireplace.

04

Non-original skirting/trunking to be removed.

05

Traditionally detailed, compliant, timber balustrade to replace existing.

06

Existing sash windows refurbished and fitted with secondary glazing internally.

07

2no. brompton bicycles & £250 bicycle voucher to be supplied to each flat.

08

New, double-glazed, timber framed sash windows. Refer to design & Access Statement.

09

New lift.

10

Damaged window sills replaced on a like-for-like basis.

11

Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.

12

Existing rear envelope retained. New, contemporary, timber-clad rear extension to replace existing.

13

Proposed bin store.

14

New, double-glazed, anodised aluminium, roll-up timber framed windows, with etched glass louvers fitted externally.

15

New, fixed, double-glazed, anodised aluminium framed glazing panels.

16

New, double-glazed, walk-on rooflight.

17

New, double-glazed, conservation rooflight.

18

Partial demolition of existing roof. New ridge proposed. Existing height and width of existing.

19

New, automatic-opening vent to communal stair.

20

Terrace to the roof of proposed rear extension with Timber decking and new planting and wrap-around glass balustrade.

21

The proposed condenser in attenuated enclosure.

22

Proposed condensers in attenuated enclosure, refer to M&E design.

23

Reinstated stair to basement level, with compliant, traditionally-detailed, timber balustrade.

24

New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.

25

Existing fireplace to be protected and covered.

26

Reconfiguration of existing stair.

27

New dummy window.

28

New double-glazed, traditionally detailed French door.

29

Lining to party wall.

30

Proposed lead dormer arrangement to line through with existing windows. Replacement of existing non-original dormer windows.

31

Terrace to Flat 01, with new planting and Yorkstone paving.

32

Existing joists to be trimmed out.

33

Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.

34

Single, surviving cast-iron spindle to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

35

Slate to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.

36

Facade Refurbishment.

37

Existing facade to be re-rendered and redecorated.

38

Etched glass partition.

39

New Railings.

40

Fixed & obscure proposed windows.

41

Proposed Roof.

42

Paint to be removed from Brickwork and repainted as required.

Rev - 16.09.16 Issued for planning submission

PLANNING

Project No. 14029

Client GFZ Developments Ltd.

Date October 2015

Scale 1:20@A3 / 1:10@A1

Project 7 Warwick Court

Drawing Title: Proposed Privacy Screen

Drawing No. P_18 Rev. -

Drawn DI Approved MW Signed AB

Marek Wojciechowski Architects Ltd.

66-68 Margaret Street W1W 8SR T. 020 7580 9336 www.mw-a.co.uk

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0 0.5m 1m 2m 3m 4m 5m