

- Notes
- 1

Guaged Brickwork over window head
- 2

Painted Hardwood box sash window
- 3

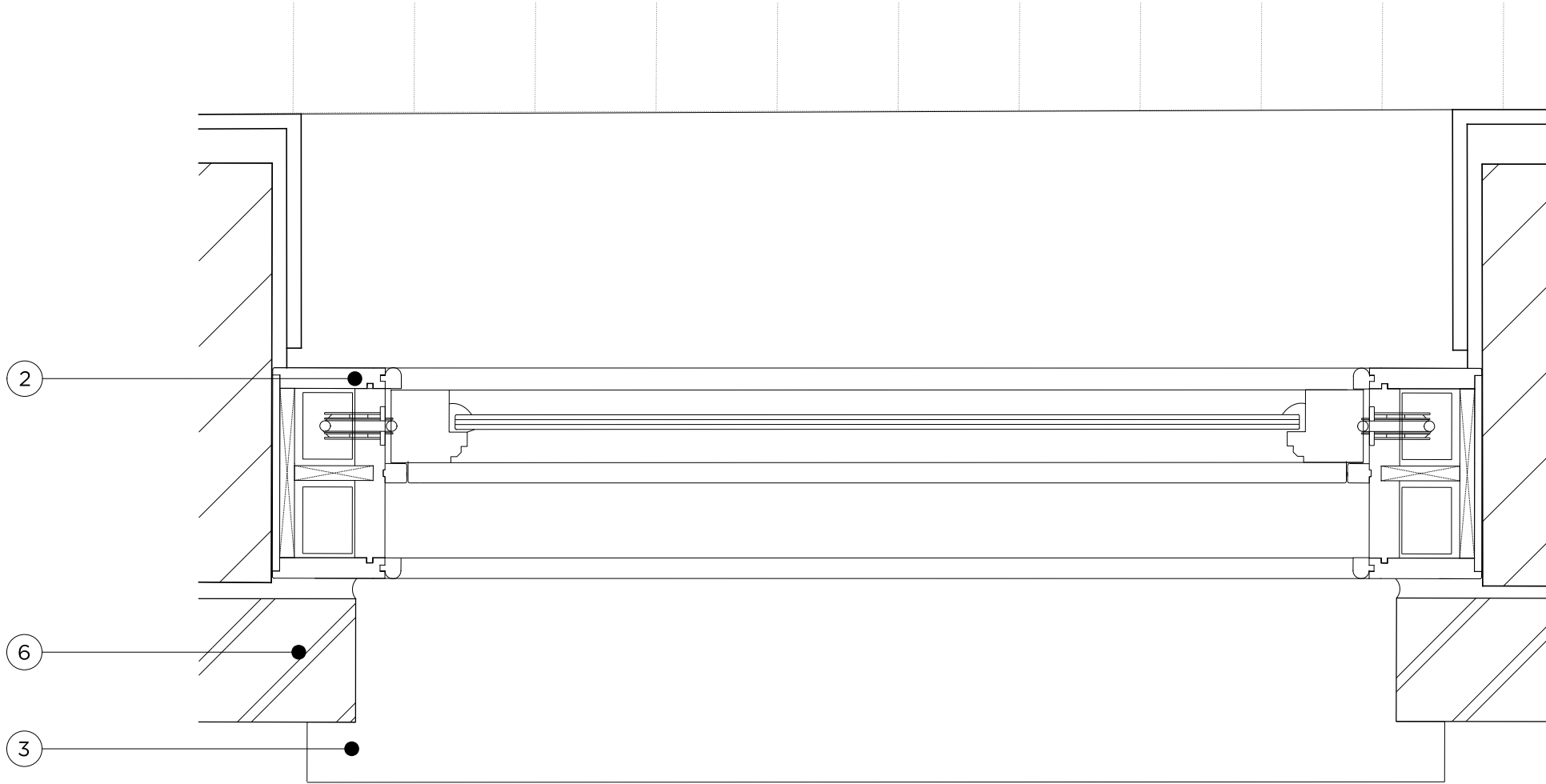
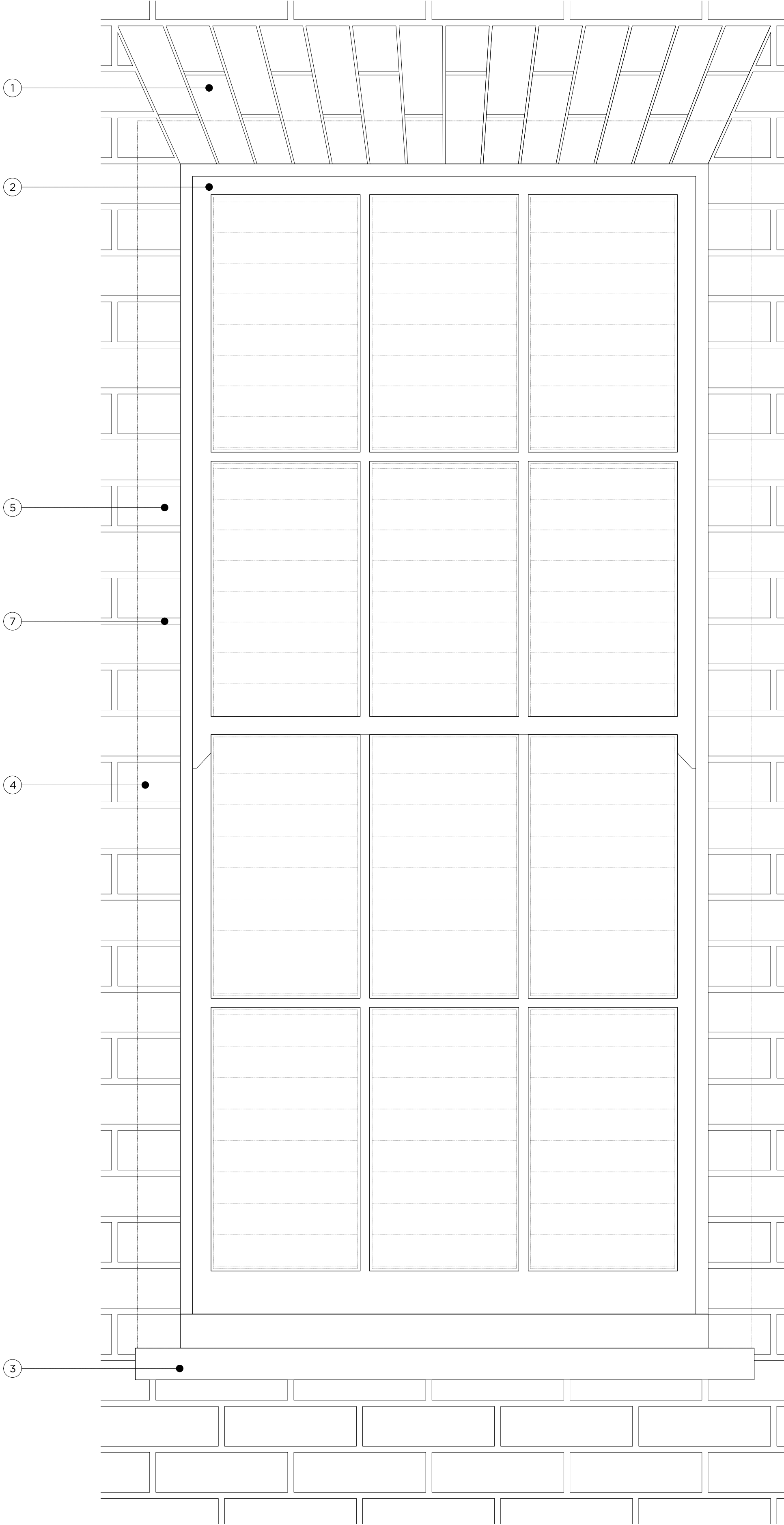
Painted concrete window cill
- 4

Outline of window frame behind brickwork
- 5

Brickwork dressed to front of existing masonry wall
- 6

Selected brickwork - Reclaimed dark london multi stock matching brick to front of 7 Warwick Court
- 7

Flat recessed lime mortar pointing



Brickwork/window detail precedent
Project: John Street
Architect: MWA



Brickwork/window detail precedent
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Key Plan, Scale 1:250

Demolition Key:

Existing structure / ground

Proposed removal of existing structure (in section)

Proposed removal of existing structure/fittings (in elevation)

Proposed removal of existing structure (in section)

Hatch denotes removal of existing concrete slab.

Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend

Proposed straight-plank hardwood floor finish on specified floor build-up

Proposed tiled floor finish on specified floor build-up

Portland stone

Timber decking

Natural stone floor tiles

Proposed slate roof finish on existing and new roof structure

General Notes:

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.

2. All existing floor finishes and existing ply to be carefully removed.

3. Existing floorboards to be carefully removed and reused where possible.

4. New existing floorboards to be installed.

5. New furring/joists are to be installed to the top of the existing joists in order to level. See Structural Engineer's Information, Low profile UHF throughout.

6. New drainage and concrete slab to be laid at basement level.

7. Existing slate roof finish to be carefully removed and stored, and new roof felt installed using slate to be fitted. New slates to match existing to respect any dormer windows to be removed and replaced on a like-for-like basis.

8. Joists are to be double up and strengthened where required to support increased loads, to Structural Engineer's details.

9. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.

10. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.

11. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes

01 Existing panelling to be refurbished and redecorated.

02 Existing window replaced with double-glazed, timber framed sash window.

03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.

04 Non-original skirting/trunking to be removed.

05 Traditionally detailed, compliant, timber balustrade to replace existing.

06 Existing sash windows refurbished and fitted with secondary glazing internally.

07 Zinc, brompton bicycles & £250 bicycle anchor to be supplied to each flat.

08 New, double-glazed, timber framed sash windows. Refer to design & Access Statement.

09 New lift.

10 Damaged window sills replaced on a like-for-like basis.

11 Lightwell to be lowered by 1100mm. New, painted metal stairs to accommodate level change.

12 Existing rear envelope retained. New, contemporary brick-clad rear extension to reduce existing.

13 Proposed bin store.

14 New, double-glazed, angled aluminium, recessed lift. Fitted externally.

15 New, fixed, double-glazed, angled aluminium framed glazing panels.

16 New, double-glazed, walk-on rooftop.

17 New, double-glazed, conservation rooftop.

18 Partial demolition of existing roof, new ridge proposed, matching height and width of existing.

19 New, automatic-opening vent to communal stair.

20 Terrace to the east of proposed rear extension, with timber decking new planting and wind-around glass balustrade.

21 No, proposed condenser in attenuated enclosure.

22 Proposed condensers in attenuated enclosure, refer to M&E design.

23 Reinstated stair to basement level with compliant, traditionally-detailed, timber balustrade.

24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.

25 Existing fireplace to be protected and covered.

26 Reconfiguration of existing stair.

27 New dummy window.

28 New double-glazed, traditionally detailed French door.

29 Linking to early wall.

30 Proposed lead dormer arrangement to line through with existing windows. Replacement of existing non-original dormer windows.

31 Terrace to flat 01, with new planting and Yorkstone paving.

32 Existing joists to be trimmed out.

33 Single, surviving cast-iron spandrel to ground floor stair to be preserved and maintained.

34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

35 Slate to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.

36 Facade Refurbishment.

37 Existing facade to be re-rendered and redecorated.

38 Etched glass partition.

39 New Railings.

40 Fixed & obscure proposed windows.

41 Proposed Roof.

42 Paint to be removed from Brickwork and re-coated as required.

Rev - 16.09.2016 Issued for Planning

PLANNING

Project No. 14029
Client GFZ Developments
Date September 2016
Scale 1:100 @ A3 / 1:50 @ A1
Project 7 Warwick Court

Drawing Title: Brickwork/Window Detail

Drawing No. 300_106 Rev. -

Drawn DG	Approved TB	Signed AB
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