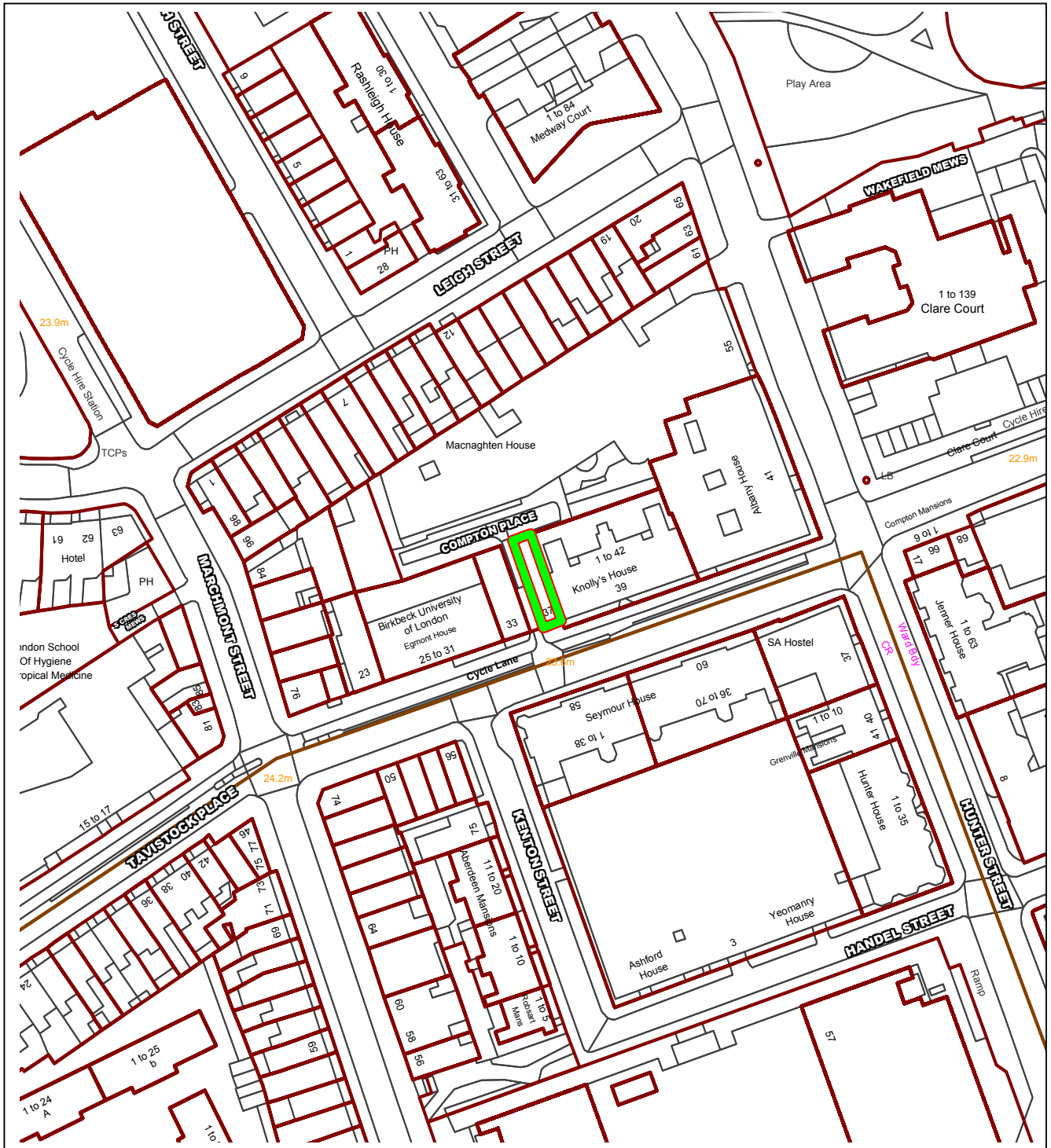


2016/4196/A – 37 Tavistock Place



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1. Front elevation – existing shopfront (37 Tavistock Place)



2. Front (right) – hanging sign will be fixed below right-hand cornice / illuminated lettering on fascia board beneath overhanging balcony



3. Front (right) – shows how balcony overhangs fascia board and (with cornice) helps to prevent any direct glare affecting Knolly's House (shown with scaffolding)



4. Front view from beneath balcony showing extent of overhang masking fascia



5. Front (left) – no signage proposed here (no views of signage)



Delegated Report		Analysis sheet	Expiry Date:	22/09/2016
(Members' Briefing)		N/A	Consultation Expiry Date:	n/a
Officer			Application Number(s)	
Tony Young			2016/4196/A	
Application Address			Drawing Numbers	
37 Tavistock Place LONDON WC1H 9SE			Refer to draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Display of internally illuminated (halo illuminated lettering) fascia sign and non-illuminated hanging sign.				
Recommendation(s):	Grant advertisement consent			
Application Type:	Advertisement Consent Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	0	No. of responses	04	No. of objections	04
			No. Electronic	00	No. of supports	00
Summary of consultation responses:	<p>4 consultation responses were received from local residents (all living in Knolly's House, 39 Tavistock Place) and have been taken into consideration when reaching this recommendation. The objections are summarized as follows:</p> <ol style="list-style-type: none"> Concerns that the proposed illumination of both the fascia and projecting signs will be too intrusive and disturb the occupants of adjacent properties, especially at night. <i>Officer response: Consideration has been given to the impact of the proposals on amenity grounds in recognition of the close proximity of the host building to neighbouring and adjoining buildings (please see the assessment section of this report with particular regard to revisions to the proposals and conditions attached to any approval).</i> The colour that the exterior brickwork is proposed to be painted does not enhance or preserve the Conservation Area. <i>Officer response: The proposed change to the exterior colour of the shopfront/brickwork do not require advertisement consent and cannot be considered in the assessment. The applicant was made aware of this and advised accordingly.</i> <i>However, in good faith and a gesture of goodwill, the applicant has offered to alter the colour to a more understated shade of blue, more in-keeping with the existing colour and tonal quality of the shopfront (see drawing number 0700-002 rev D).</i> 					
CAAC/Local groups* comments: *Please Specify	<p><u>Bloomsbury Association</u>: objected to the application due to:</p> <ol style="list-style-type: none"> "... concerned that the illumination proposed for both the projecting sign and the fascia sign will be too intrusive". <i>Officer response: see response (1) above.</i> "...concerned that the choice of colour is inappropriate in the context of the street scene... nor enhances or preserves the Bloomsbury Conservation Area". <i>Officer response: see response (2) above.</i> 					

Knolly's House Residents Association: objected to the application due to:

1. "...concerned that due process of notification (far less consultation) has NOT taken place with the relevant communities – particularly, in my case with local residents affected".

Officer response: *No neighbour notification letters or publicity were posted or displayed for this application in accordance with Council's Statement of Community Involvement for advertisement consent applications. However, all consultation responses received have been taken into consideration when reaching this recommendation.*

2. "...Inappropriate illuminations - at the moment the King of Falafel Café turns off its lights in the evening, including the dull green 'café' illumination as well as the flashing 'open' lights. I don't think there is a case for giving The Generator special treatment in regards to illumination and signage".

Officer response: *see initial response (1) above.*

3. "...I believe the colour scheme to be inappropriate to the surrounding – principally red brick and white of – buildings".

Officer response: *see initial response (2) above.*

Site Description

The application site is located on the northern side of Tavistock Place. The application relates to an existing ground floor shopfront unit positioned next to an access route through to Compton Place where the Generator Hostel is located. The application proposals to display signage have been submitted in connection with this hostel.

The building is not listed but the site sits within Bloomsbury Conservation Area. The building is recognised in the Bloomsbury Conservation Area Appraisal and Management Strategy as making a positive contribution to the conservation area, however, the shopfront is not formally listed as a *Shopfront of Merit*.

Relevant History

9101102 - Change of use from a travel agency to a pizza take-away and home delivery service. Planning permission refused 14/01/1992

CA/398 – Internally illuminated double sided projecting box sign with black and white letters to read SAME DAY CLERNING BY LEX on a white and red background. Overall projection 3'6", depth 2', overall height 12'. Advertisement consent granted 21/03/1966

CA/398A – An internally illuminated shop fascia sign with orange, blue and black letters on an opal and black background reading "BROOKGREEN DRY CLEANERS AND LAUNDERERS" Size: 4'1" (124m)x9'3" (2.82m), overall height above ground 12'1" (3.90m). Advertisement consent refused 17/09/1973 as the size of the sign was considered too large.

CA/398B - Erection of an illuminated fancia sign measuring 2.819 m (9'3") long by 0.762 m (2'6") high at an overall height above ground of 3.2 m. (10'6") reading "BROOKGREEN dry cleaners and

launderers" in orange, blue and black lettering on a white panel surrounded by a black strip border.
Advertisement consent granted 14/11/1973

EN13/1049 – Change of use complaint received. No breach found (15/11/2013) as the use had been ancillary to the hostel use of the Generator for in excess of ten years.

Relevant policies

National Planning Policy Framework 2012

Paragraphs 186 and 187

London Plan March 2016

LDF Core Strategy and Development Policies 2010

CS5 (Managing the impact of growth and development)

CS14 (Promoting high quality places and conserving our heritage)

DP24 (Securing high quality design)

DP25 (Conserving Camden's heritage)

DP26 (Managing the impact of development on occupiers and neighbours)

Camden Planning Guidance 2013

CPG1 (Design) July 2015 – Chapter 8: Advertisements, signs and hoardings

Town & Country Planning (Control of Advertisements) (England) Regulations 2007

Bloomsbury conservation area appraisal and management strategy, adopted April 2011

Assessment

1.0 Proposal

1.1 The application relates to the display of:

- One non-illuminated hanging sign. The sign would measure 500mm (W), 500mm (H), and 35mm (in thickness).
- One internally illuminated fascia sign. The sign would measure 1722mm (W), 210mm (H), and 35mm (in thickness) and be made up of individual steel 3D letters. The sign would be illuminated by halo illuminated individual letters.
- Other signage shown on the plans are logos on frosted vinyl applied to the inside glass faces of windows and doors. These are considered to benefit from deemed advert consent and are only shown on the plans for information purposes.
- Other proposed alterations shown on the drawings that do not relate to signage (i.e. repainting the exterior, installation of street light, repair of stain glass, etc.) are not a consideration under this application and have not been assessed. The applicant has been made aware of this and advised accordingly.

1.2 Revision

1.3 Following officer's concerns the hanging sign has been revised so that it would be non-illuminated.

1.4 The Town and Country Planning (Control of Advertisements) Regulations 2007 permits the

Council to only consider amenity and public safety matters in determining advertisement consent applications.

2.0 Amenity

2.1 The Bloomsbury Conservation Area Statement states that adverts should not detract from the character and appearance of the conservation area. Camden's Planning Guidance CPG1 also reiterates this point, as well as, stating that consideration should be given in conservation areas (and on or near listed buildings) to the sensitivity and historic nature of these areas or buildings, and that adverts should not obscure or damage any special architectural features of the building. Furthermore, illumination should be sympathetic to the design of the building in which it is located.

2.2 The hanging sign which would be externally positioned does not obscure or damage any architectural features of the building and is considered acceptable in terms of its proportions, location, position and design. Original proposals included the illumination of this sign. However, given concerns raised by local residents and groups with regard to the possible adverse effect on the amenity of neighbours from an illuminated sign that projects forward from the host building, and following Council advice, the applicant has revised the proposals so that this sign would now be non-illuminated.

2.3 On the basis of this revision, and given that the sign would not be unduly obtrusive in the street scene or disturb residents or occupiers, a non-illuminated hanging sign in this location is considered to be acceptable.

2.4 The display of the fascia sign, which involves the external positioning of individual steel letters at fascia level above the existing shopfront, does not obscure or damage any architectural features of the building. The lettering is suitably modest in size and occupies only a small part of the fascia being positioned to the right-hand side of the fascia. The sign is considered to be acceptable in terms of its proportions, location, position and design.

2.5 The method of illumination for the proposed fascia sign by means of internal static LED 'halo' illuminated lettering would not result in an excessive amount of illumination. Luminance levels would be a maximum of 500cd/m, and as such, are within the Council's recommended maximum level of 650cd/m. Furthermore, the sign would be sensitively positioned beneath and set-back under an existing balcony, and to the side of an existing cornice affording both the occupiers of the host property itself, as well as, the closest neighbours (in Knolly's House, 39 Tavistock Place) protection from any direct glare and lessening further any possible adverse impact from the proposed illumination. The modest size of the sign, sensitive positioning and illumination levels therefore are considered to be sympathetic to the design and location of the existing shopfront, as well as, not to be unduly obtrusive in the street scene or disturb residents or occupiers either adjoining the host property or across the road in Tavistock Place.

2.6 Nevertheless, given concerns raised by local residents and groups with regard to the possible adverse effect on the amenity of neighbours from an illuminated fascia sign, and following Council advice, the applicant has offered to further mitigate any potential amenity issues by restricting the time period during which the illumination would be switched on. The applicant has revised their proposals to include the installation of an automatic time clock to ensure that the fascia sign will only be illuminated between the hours of 08:00 and 22:00. A condition would be attached to any approval to secure this restriction.

2.7 On this basis, an illuminated fascia sign in this location is considered to be acceptable.

2.8 Overall the proposals are considered to be visually appropriate and not harmful to either the amenity or character and appearance of the host building, the wider Bloomsbury Conservation Area, or settings of any listed buildings, and would not obscure or damage any special architectural features.

3.0 Public Safety

3.1 The location of the signage is not considered harmful to either pedestrian or vehicular traffic. The proposals therefore raise no public safety concerns.

4.0 Recommendation:

4.1 The proposed signage is in general compliance with policies CS5, CS14, DP24, DP25 and DP26 of the Local Development Framework, and as such, the application is therefore recommended for approval with conditions attached.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 19th September 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

**Regeneration and Planning
Development Management**
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Tel 020 7974 4444

planning@camden.gov.uk
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Design CLD
4 Peterborough Road
Harrow-on-the-Hill
HA1 2BQ

Application Ref: **2016/4196/A**
Please ask for: **Tony Young**
Telephone: 020 7974 **2687**

13 September 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990

Advertisement Consent Granted

Address:
**37 Tavistock Place
LONDON
WC1H 9SE**

DECISION

Proposal:
Display of internally illuminated (LED 'halo' illuminated lettering only) fascia sign and non-illuminated hanging sign.

Drawing Nos: Site location plan; 0700-002 rev D, 0700-005.

The Council has considered your application and decided to grant consent subject to the following condition(s):

Conditions and Reasons:

- 1 No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the site entitled to grant permission.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 2 No advertisement shall be sited or displayed so as to
(a) endanger persons using any highway, railway, waterway, dock, harbour or

Executive Director Supporting Communities



aerodrome (civil or military);

(b) obscure, or hinder the ready interpretation of any traffic sign, railway signal or aid to navigation by water or air; or

(c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 3 Any advertisement displayed and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 4 Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a safe condition.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 5 Where an advertisement is required under these Regulations to be removed, the site shall be left in a condition that does not endanger the public or impair visual amenity.

Reason: - As required by regulation 2(1) and Schedule 2 of the Town & Country Planning (Control of Advertisements) (England) Regulations 2007.

- 6 Prior to the first operation of the illuminated fascia sign hereby approved, an automatic time clock shall be fitted to ensure that the sign is not illuminated between 22:00 and 08:00 hours. The timer equipment shall thereafter be permanently retained and maintained in accordance with the manufacturer's recommendations.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies CS5 (Managing the impact of growth and development) of the London Borough of Camden Local Development Framework Core Strategy; and policy DP26 (Managing the impact of development on occupiers and neighbours) of the London Borough of Camden Local Development Framework Development Policies 2010.

Informative(s):

- 1 Please be aware that proposed alterations shown on the drawings that do not relate to the signage stated in the proposed description above are not a consideration under an advertisement consent application and have not been determined. You are advised to seek separate advice concerning these alterations.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice in regard to your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities

DRAFT

DECISION