



4C Courthope Road
London
NW3 2LB

**Planning Statement
(incorporating heritage statement)**

Rear First and Second floor extension with rear dormer to new rear roof.

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INTRODUCTION

4 Courthope Road is a three storey mid-terrace split-level house situated in the Mansfield Conservation Area in the London Borough of Camden. The house is not a listed building. The house is currently divided into flats and this application refers directly to 4C Courthope Road.

This planning statement (incorporating heritage statement) supports a householder planning application for full planning permission for a proposed first and second floor rear extension with a rear dormer to the proposed new roof. The extension will provide the applicant with two additional bedrooms and a living / dining / kitchen space more suitable for modern family living turning a small one bed flat into a self contained three bed family maisonette.

This statement identifies the design intent of the proposal. It also highlights relevant planning policies and the planning history for this and other similar properties.

It should be read in conjunction with:

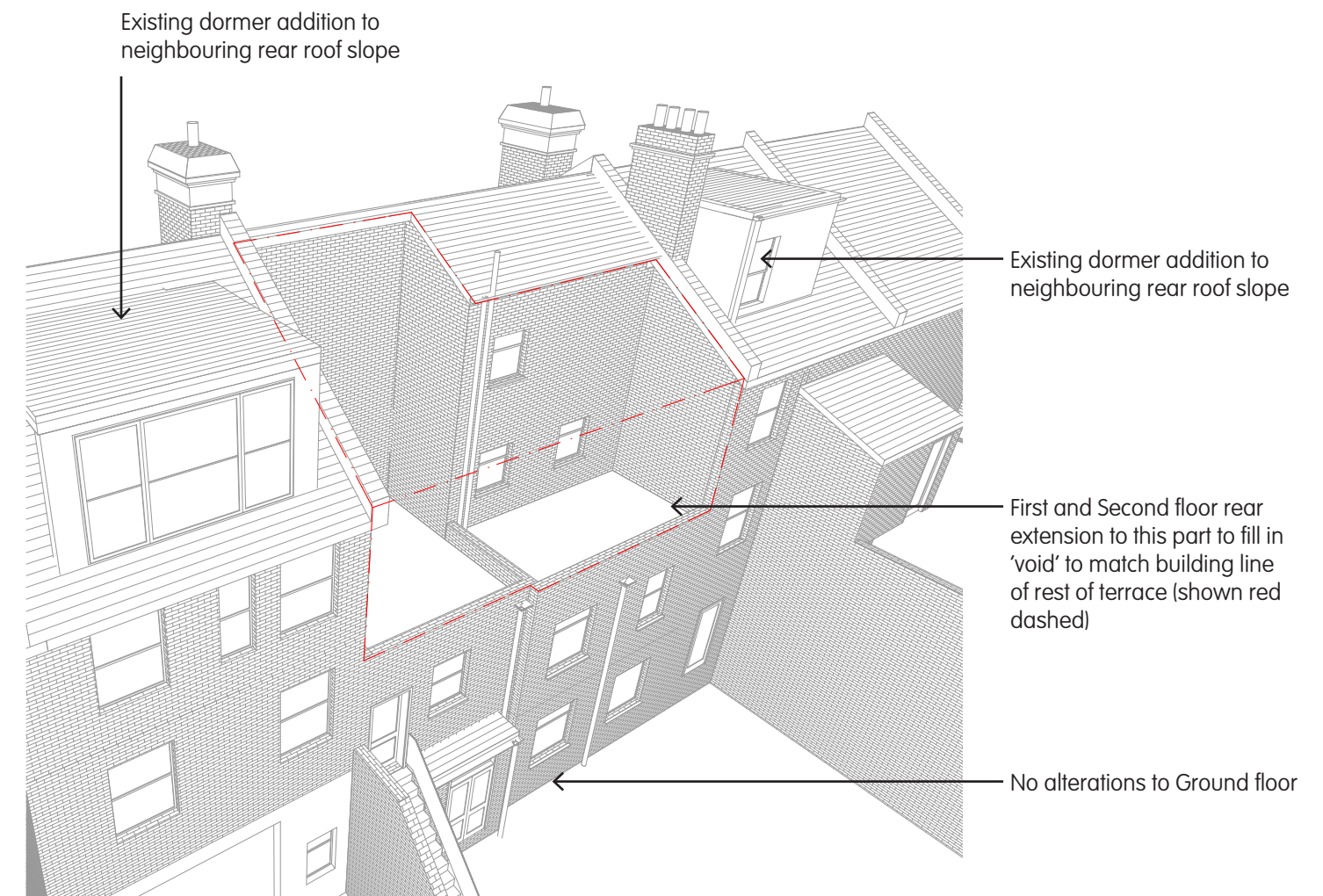
Site Location Plan
Existing and Proposed Plans
Existing and Proposed Front and Rear Elevations.
CIL form

The proposal includes the following works:

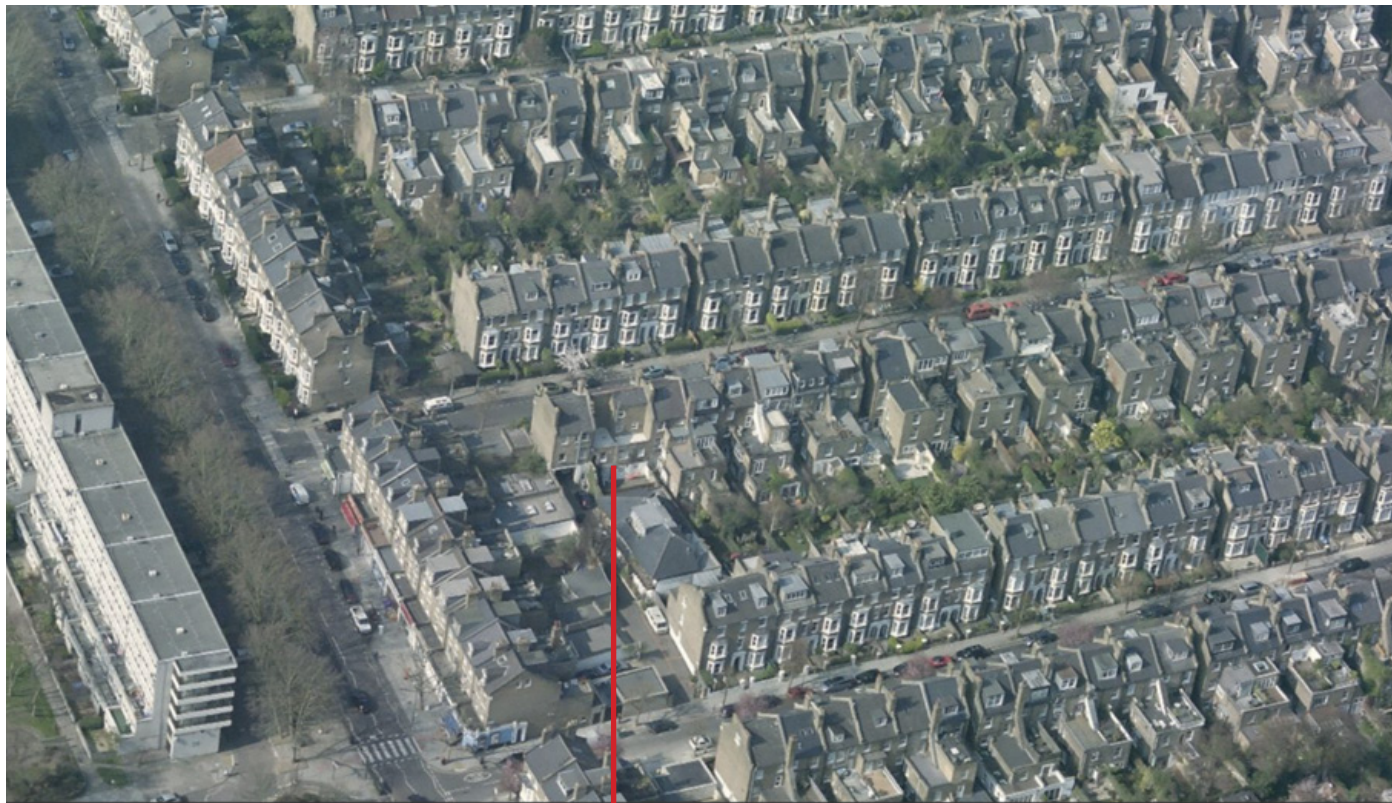
First Floor rear extension - The existing property is only half the depth of the rest of the footprint of the house from the the first floor up ie. it consists only of rooms adjacent to the front elevation. This situation is highly unusual to this specific property and unlike any of the neighbours giving it a very odd rear appearance and an awkward configuration of internal space. The proposed extension at first floor will provide a modern open-plan kitchen / dining / living space whilst providing a more consistent rear elevation and building line with the neighbouring properties. For the purpose of clarity it should be stated that this 'extension' actually only builds over the existing footprint of the property - it does not project into the garden in any way. Furthermore, it only brings the proposed rear facade out to the building line of the neighbouring properties main rear wall, not the outrigger walls present on neighbouring properties which project significantly further again.

Second Floor rear extension - The extension to the rear of the property will continue at the second floor to match the eaves height of the neighbouring properties. The proposed extension will provide two bedrooms and a bathroom.

Dormer to proposed roof space at the rear - a dormer addition to the proposed main roof. The dormer will increase the headheight and opportunity for light, ventilation and views from the currently restricted space in the proposed rear bedroom.



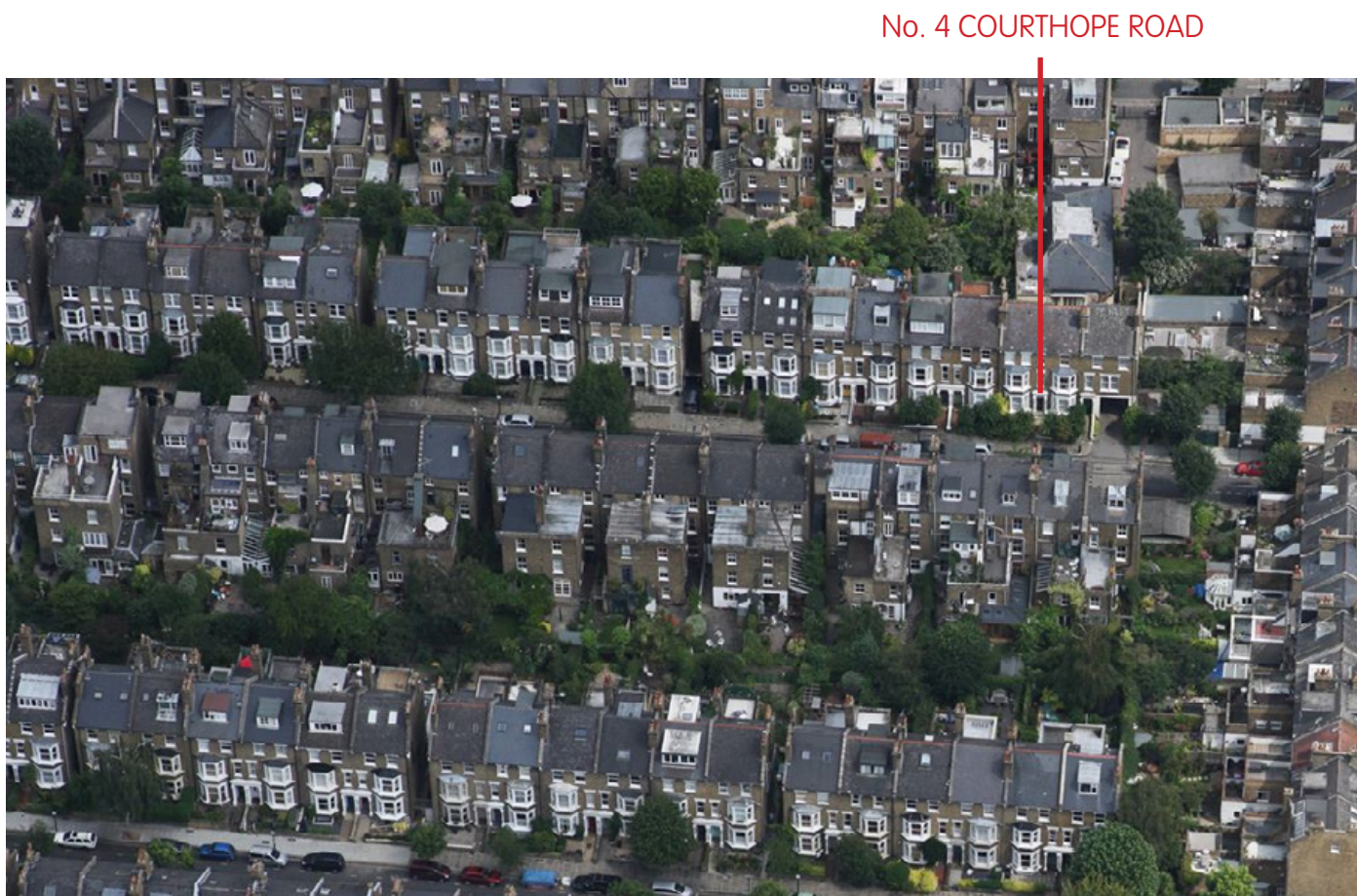
ABOVE - Sketch image of the existing indicating area of proposals at 4C Courthope Road



No. 4 COURTHOPE ROAD

ABOVE - Aerial image of rear elevation of east side of Courthope Road.
[Images from the Bing Maps Application]

BELOW - Aerial image of front elevation of east side of Courthope Road.



No. 4 COURTHOPE ROAD

RELEVANT PLANNING HISTORY / THE SITE AND CONTEXT

Courthope Road and the roads in the immediate vicinity are characterised by terraced single family dwelling houses (some of which are in use as multiple units) with an array of additions to the properties - on front and rear roof slopes and many types of rear ground and upper floor additions.

We believe that our proposal is in keeping with the immediate area in which it is situated and have highlighted below properties with similar approved works.

4 Courthope Road (APPLICATION SITE)

There have been no previous applications at the site that are recorded on Camden's online planning records.

Properties in the surrounding area :

There are no direct examples of applications in the surrounding area that are similar to ours as the situation of the existing property is so unusual. However there are numerous examples of Ground Floor extensions in Courthope Road that have recently been granted approval:

- Nos 7, 13, 27, 29, 31, 33, 35, 37, 45 Courthope Road (other side)
- Nos 6, 22, 36a, 48 Courthope Road (same side)

The following properties in the area have made applications for second floor rear extensions on the outrigger of the property, all of which have been approved. 4 Courthope Road doesn't have an outrigger and the proposed second floor extension is far less visually invasive than these second floor outrigger extensions. There are also additional properties in the area that have these extensions historically.

- 25 Courthope Road - 2015/4421/P
- 35c Courthope Road - 2013/6790/P
- 33 Courthope Road - reference unavailable
- 8 Estelle Road - 2009/5314/P
- 30 Savernake Road - 2010/4927/P
- 66 Savernake Road - 2010/3825/P
- 80 Savernake Road - 2013/3856/P

There are numerous examples of similar dormer extensions to the main roofs on Courthope Road and the surrounding roads, which the planning officer can see on a site visit to the property, these include but are not limited to:

- Nos 1, 2, 3, 5, 6, 7, 9, 11, 13, 14, 22, 25, 29, 33, 35, 37, 47, 48 Courthope Road
- Nos 10, 16, 18, 22, 28, 30, 32, 38, 40, 44, 54 Sherlock Road

Further to this, there are many more of dormer extensions and rooflight alterations on both the front and rear elevations on neighbouring streets including (but not limited to) Estelle Road, Savernake Road, Roderick Road, Rona Road and Mansfield Road where a lot of roof alterations have been made over the years. The aerial images opposite and the images taken from the property looking out from Flat 4C to the front of Courthope Road and the back of Estelle Road on the following page demonstrate how much alteration there has been in this area over the years.



ABOVE - Photo montage looking out the front window at 4C Courthope Road to the properties opposite. Notice the extent of rooflights and dormers even to the front facade of Courthope Road.



ABOVE - Photo montage looking out the rear window at First Floor 4C Courthope Road to the properties opposite. Notice the extent of rooflights and dormers and second floor terrace extensions on Estelle Road.



ABOVE - Photo montage looking out the rear window at Second Floor 4C Courthope Road to the properties opposite. Notice the blank facade in the property immediately behind and the extent of rooflights and dormers and second floor terrace extensions on Estelle Road.

4C Courthope Road - Planning Statement (incorporating heritage statement)

USE

The existing building is a mid-terrace three storey dwelling house (Use Class C3) split into three self-contained units. The application does not propose any alterations to the existing use of the building, it will remain a dwelling house (Use Class C3) with three units.

AMOUNT

The proposed extension will create an additional 73.2sqm of internal floor area. 30.5sqm of this will be at First Floor and 26.2sqm at Second Floor with 16.5sqm being habitable rooms provided in the proposed roof space.

ACCESS

The access to the property will not be altered as a result of the proposed works. The front door will remain as existing.

SCALE

The extension at the rear of the First and Second Floor will follow the scale of the neighbouring properties in all respects. The new eaves level of the proposed roof will match the neighbouring eaves and the new rear wall will be in line with the main rear building line of the rest of the terrace. The scale of the proposed extension has been carefully considered and is totally derived from the surrounding context and seeks to match the neighbouring properties and reinforce the prevailing scale and form of the terrace rather than being the anomaly. We believe that this is a practical and appropriate way to extend the dwelling without it being visually dominant to the host building due to its location within the 'void' space created by the half depth of this property.

LAYOUT

The proposal is to build a rear extension at First Floor to provide a more modern and functional family kitchen / dining / living space. The implementation of this will greatly improve the physical and visual connections between the internal living spaces. Space is also provided for a designated home office which will be of great benefit to the applicant who regularly works from home.

The proposal also seeks to build a rear extension at Second Floor to increase the number of bedrooms and introduce an en-suite in the roof space for the master bedroom as well as increasing the size of the bathroom in order that there is greater provision of sanitary arrangement more suitable for family usage.

The proposed master bedroom in the second floor extension and a part of the bathroom will benefit from two small dormers to the proposed rear roof slope. It is not out of character on this street and all the surrounding streets to propose a dormer as their are numerous and profound alterations to many of the roofs in the area. Courthope Road is not named in the conservation area appraisal as having a roofline of notable interest, as it quite clearly does not.

The dormer addition to the rear roof is positioned to be in the main habitable space of the proposed rear roof slope. In relation to the general principles for roof alterations and extensions as highlighted in the Camden Planning Guidance and other relevant policies:

- The top of the dormer is 500mm lower than the main ridge.
- The front vertical face of the dormer joins the main roof at least 500mm higher than the eaves.
- The width of the main dormer is no more than half the width of the main roof.

The proposed windows have been arranged to follow the line of the windows below and care has been taken to ensure that they will not overlook the neighbouring properties. The property directly behind offers a blank windowless facade and the buildings on Estelle Road are a considerable distance away and will not have their privacy affected by the proposed windows.

We suggest that the proposed rear extension will harmonise with the rear building and eaves lines and by matching the existing rear roof and dormer pattern will actually help to reinforce and enhance the characteristic of the area and help to reunite the property with the wider group of buildings it sits with in the terraces.

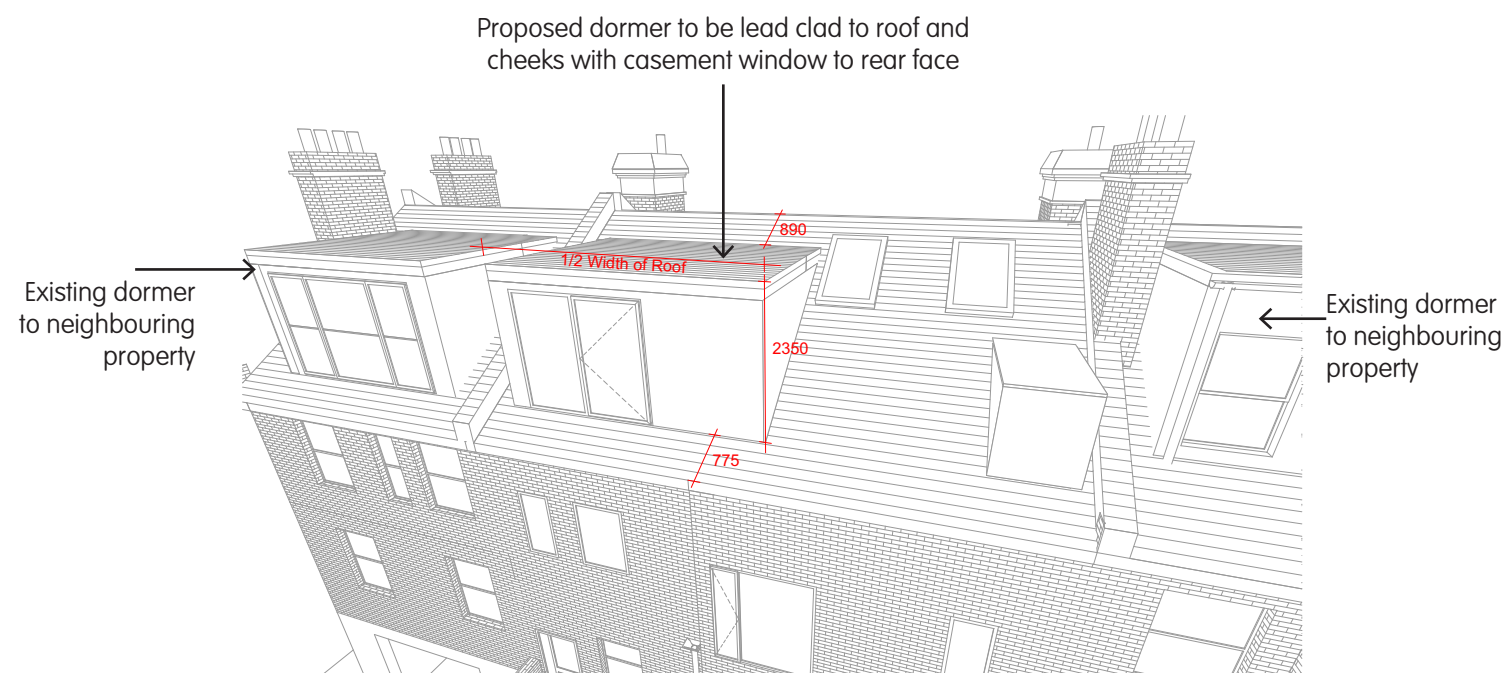
MATERIALS

The materials have been chosen so that they are both sympathetic to the materiality of the existing building and context but also provide higher environmental performance than existing.

The bizarre current configuration of rear wall means that there is a disproportionate amount of exposed surface area when compared to the internal area of the rooms. The proposed rear elevation will be built from London brick stock to match the existing and be in a consistent line but will be insulated to current UK Building Regulations which will greatly improve the thermal efficiency and appearance of the rear elevation

The proposed roof will have slates to match the existing roof and the construction of the whole roof, including the existing front slope, will be greatly improved in implementing this proposal as the whole roof will be upgraded to current UK Building Regulations during construction.

The dormer will be a lead clad timber structure with a aluminium powder coated single casement window to the rear wall. It is intended that the other proposed windows in the rear elevation will have powder coated aluminium frames also.



ABOVE - Sketch image of proposed dormer addition to proposed roof slope showing dimensions



ABOVE - Sketch image of existing situation showing "void" where proposed extension is to be situated



ABOVE - Sketch image of proposed first and second floor rear extension



ABOVE - Photo montage of 2, 4 and Courthope Road

Relevant Planning Policies

At the time of submission, we believe the following documents and policies are of particular relevance to this proposal and we will comment on these accordingly:

- Camden Development Policies (2010 - 2025) - Local Development Framework
- Camden Planning Guidance CPG1: Design, with particular reference to
 - Section 3: Heritage
 - Section 4: Extensions, alterations and conservatories
 - Section 5 : Roofs, terraces and balconies
- The NPPF (National Planning Policy Framework)
- The Mansfield Conservation Area Appraisal and Management Strategy (2008) supplementary planning document.

We believe that the proposed development is in general accordance with policies CS5, CS6 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2011; and paragraphs 14, 17, and 56-66 and 126-141 of the National Planning Policy Framework.

Camden Development Policies (2010 - 2025) - Local Development Framework

Section 2 of the CDP has a large section on meeting the need for homes in Camden. Policy DP2 demonstrates that there is a demand to provide a range of dwelling sizes and not just very large homes whilst also protecting against the loss of homes on individual sites.

Camden Planning Guidance CPG1 : Design - Sections 3, 4 and 5

This proposal has been very carefully designed to ensure that the design is respectful to the host property. We have made material choices to match the existing building as it is in a conservation area, but used a more modern glazing system to offer a suggestion that the proposed element of the building is a modern addition when viewed within the context of the rear elevations.

The rear elevations in this area are characterised by numerous ad-hoc additions and alterations and have little visual consistency. The front facades by contrast offer a far more consistent appearance with alterations being larger restricted to the roof area. The proposed extension is limited entirely to the rear of the property and the only alterations to the front are two conservation rooflights to the main roof slope. The discreet rooflights and extension retrained entirely to the rear mean the proposed works will not harm the appearance of the front facade as viewed from Courthope Road but will become part of the evolving rear appearance from Estelle Road.

The first floor and second floor rear extensions have been designed to be respectful to the host building and of the established townscape of the surrounding area. The extension infills the 'void' space over the ground floor footprint that was not built over originally. The extension has been carefully designed to follow the building line established by the rear wall of the neighbouring properties up and down the terrace. Window placement has been considered to not overlook surrounding property and the mass calculated not to overshadow detrimentally the neighbours. We believe this extension is a respectful addition to this peculiar property and will help to give it greater unity with the rest of the terrace.

The dormer addition to the main roof scape has been designed to be in keeping with the points in Section 5 of the Camden Planning Guidance - Roods, terraces and balconies. As can be seen from visiting the site there are a variety of additions and alterations to roofs which create an established pattern such that our proposal of similar, and indeed more modest, form and scale, and of high quality material appearance, would not cause additional harm and should be considered acceptable.

National Planning Policy Framework (NPPF)

The NPPF is in support of sustainable development. This is in relation to providing sustainable building construction methods but also the sustainability of existing buildings by regeneration to adapt to the homeowner's needs and the need to improve on the existing housing stock.

This proposal seeks to provide this small awkwardly arranged one bed flat with extra bedrooms and better connected living spaces to allow the client to remain in the area in a family home. The proposal also seeks to provide space for a home office to allow the client to work from home as well as improving the thermal performance of the house. All this is to be achieved without compromising the two other flats within this property.

Section 6 of the NPPF identifies the need to 'Deliver a wide choice of high quality homes' and more specifically:

"to create sustainable, inclusive and mixed communities, local planning authorities should...plan for a mix of housing based on current and future demographic trends and the needs of different groups in the community (such as, but not limited to, families with children...and people wishing to build their own homes."

In order to achieve this it is suggested that the size, type and range of housing that is required in particular locations reflecting local demand needs to be identified. This area of Camden is largely characterised by large family homes, some of which have been subdivided into one bed flats. Whilst Camden identifies that there is too high a proportion of one bed flats there is understandably a reluctance to lose self-contained homes through proposals to combine them into larger dwellings. This proposal uses a unique and peculiar situation with the arrangement of upper floors to provide a good sized, three bedroom family maisonette to be created whilst not imposing upon the other two self contained flats in the building.

The NPPF, specifically section 7 Requiring Good Design, and in particular recommends that local and neighbourhood plans should:

"respond to local character and history, and reflect the identity of local surrounding and materials, while not preventing or discouraging appropriate innovation...[and]...optimise the potential of the site to accommodate development..."

We feel this clearly recommends that a proposal of this nature should be supported.

4C Courthope Road - Planning Statement (incorporating heritage statement)
Mansfield Conservation Area Appraisal and Management Strategy (MCAAMS)

The MCAAMS defines one of the key elements of the distinctive character and appearance of the Mansfield Conservation Area is the area's high quality and unified architectural style and form - referring largely to the street frontages with more varied and inconsistent rear and roof line development. The proposed works make no alterations to the front facade of the property facing Courthope Road with the exception of two conseration rooflights to the existing front roof slope and all the architectural features will be maintained.

Furthermore, as already referred to in this statement this particular property is an anomaly and currently doesn't add to the 'unified architectural form'. The proposed works will help to unite it more strongly with the rest of the terraced properties that it sits within to form a more uniform group.

The MCAAMS states that varied rear extensions are a historic characteristic of the area but that proposals will not be acceptable where they would diverge significantly from the historic pattern - whilst the proposal at first and second floor have no direct precedent in the area that we have found, it does not disrupt the historic pattern as it is a modest infill extension that remains within the existing rear building line of the terrace and builds over the existing footprint of the property at Ground Floor.

The roof scapes in the Conservation Area are very varied. The property at No. 4 Courthope Road, does not form part of a complete terrace or group where the roofline is largely unimpaired - it is a heavily altered street at roof level and as such Couthope Road is not named as a road where the roofscapes are largely unaltered in the MCAAMS. We have designed the rear dormer to be in keeping with councils further guidance on roof alterations in the Planning Guidance as identified in this statement and as such believe it will not harm the conservation area.

We have spent considerable time and effort in compiling this statement as well as a very carefully detailed proposal to a high level of architectural quality. We are a multi award-winning design led practice and as such endeavour to ensure all our designs are appropriate to their surroundings.

In our professional opinion it does not compromise the historic and architectural integrity of the building. The host building will be enhanced by the proposed additions and the quality of the property's construction greatly improved. The alterations proposed at roof level are of a similar nature to many other alterations already visible in the conservation area.

We would encourage the local authority to act in a positive and pro-active manner in dealing with the application and would be keen for early communication regarding any minor amendments or alterations to the proposed scheme, including materiality, that may enable a positive outcome for this application.

END.