

9 WADHAM GARDENS, LONDON NW3 3DN

DESIGN & ACCESS STATEMENT REV 2

August 2016

9 Wadham Gardens is a three storey detached dwelling on the Northern side of Wadham Gardens in the Elsworth Conservation Area of the London Borough of Camden. The plot includes a partially landscaped front drive, enclosed by hedging and a timber picket fence and gates. The building originally dates from the early 20th century, but includes more modern rear extensions including a large conservatory. The rear garden and extensions are not visible on the street scene. The building is not listed.

The applicant has recently acquired the property and is seeking to make a number of alterations, though modest in scale, generally to improve and rationalise the living arrangements.

This document summarises the scope of proposed alterations to the property. For the wider building, location and planning context please refer to the separate, accompanying Planning Statement.





Street frontage



Building frontage

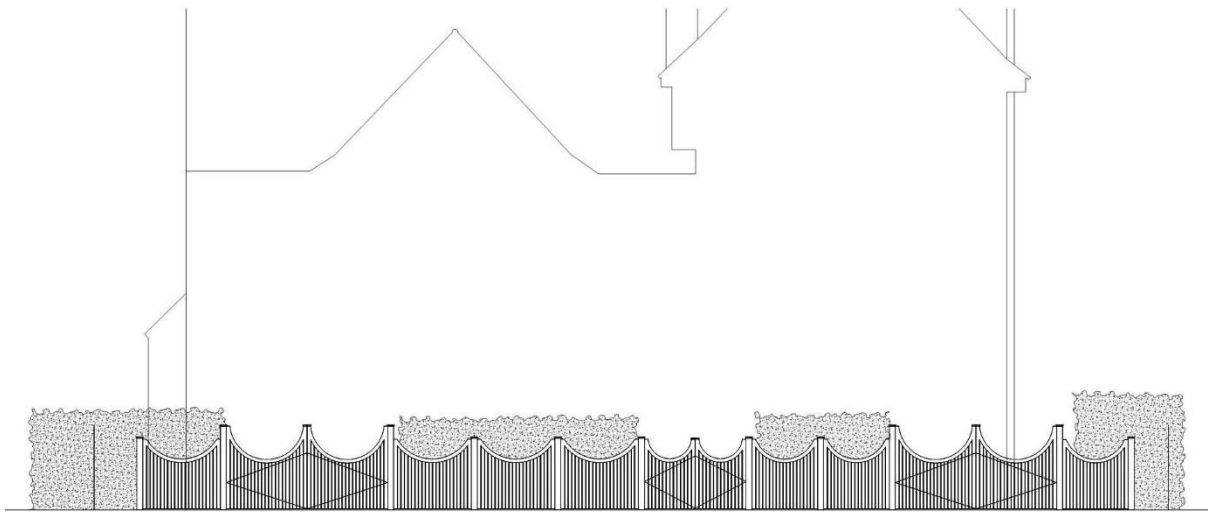


Conservatory roof (centre) at rear of house

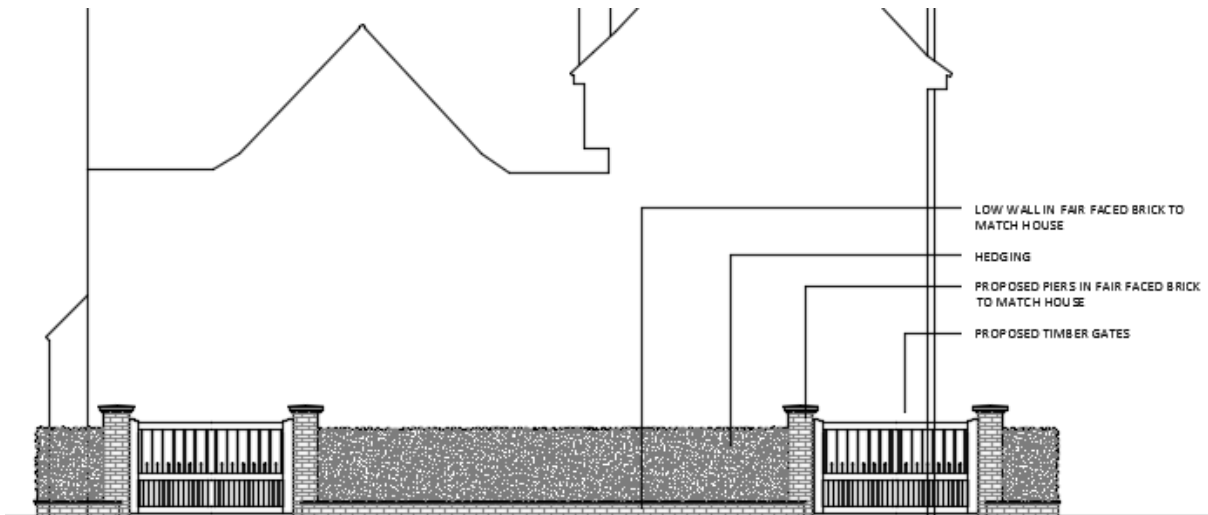
Scope

Site:

- Remove existing picket fence
- New brick gate posts and low wall (bricks to match house)
- New timber gates
- Minor adjustments to hedging to accommodate new layout

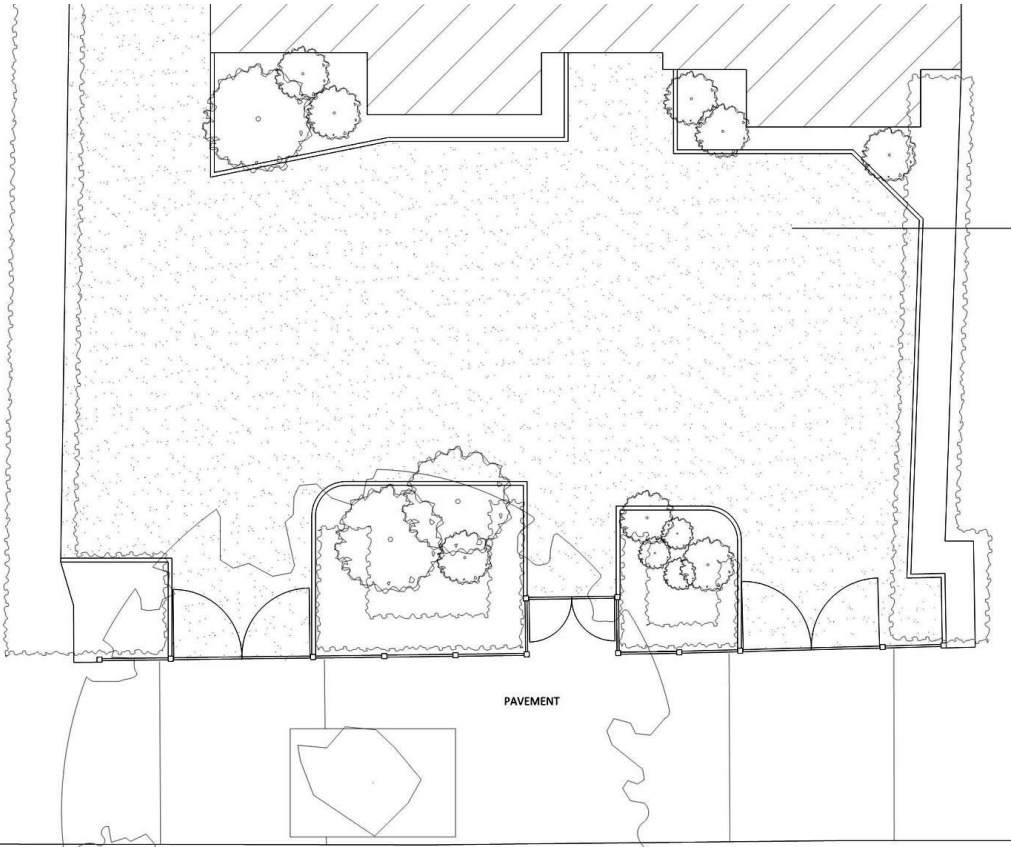


Existing street elevation

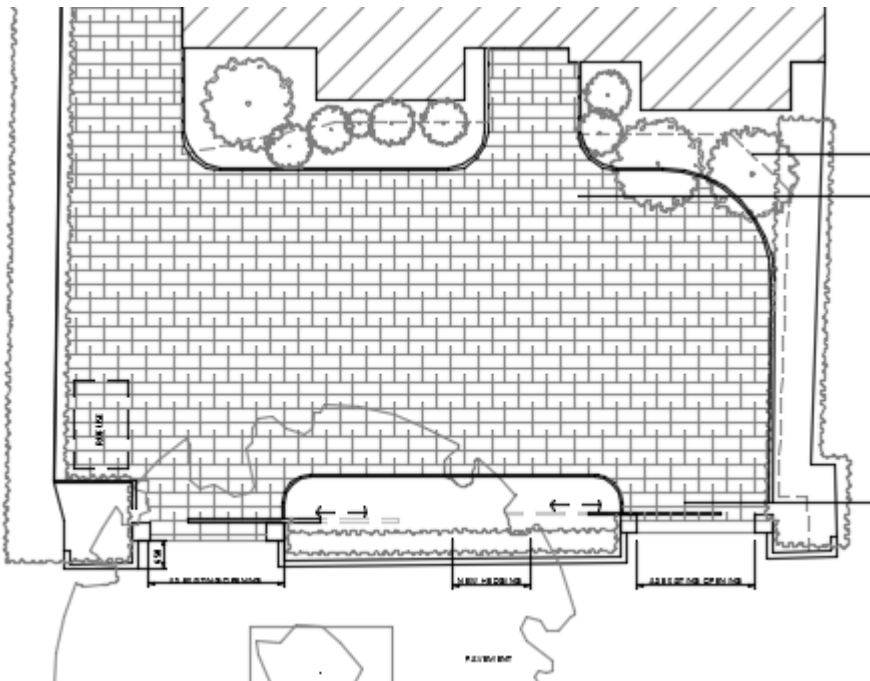


Proposed street elevation

ARGENT



Existing driveway



Proposed driveway

South (front) elevation:

- Left side gable, remove existing stucco finish and replace with terracotta wall tiles to match adjacent details



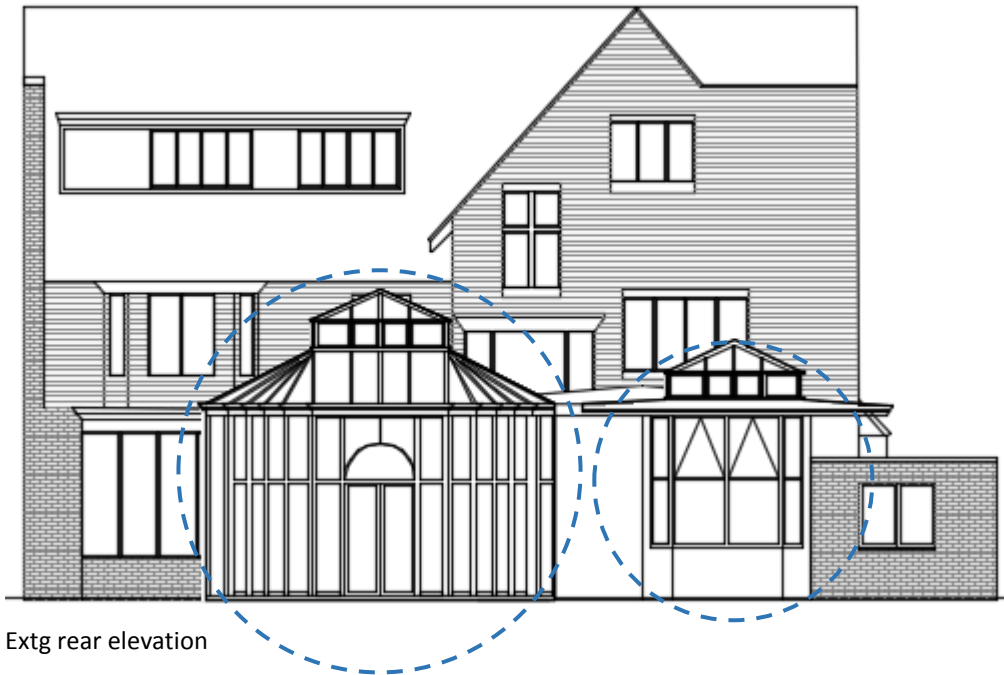
Existing front elevation



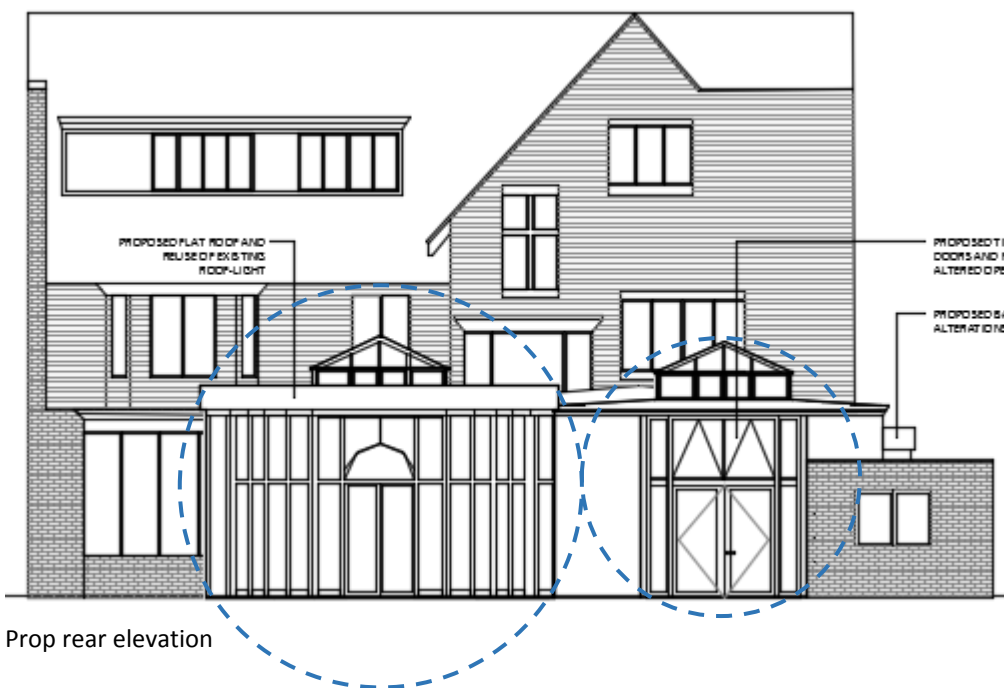
Proposed front elevation

North (rear) elevation:

- Conservatory roof: Remove existing pitched, glazed roof and retain cupola which will be integrated into the new flat roof construction
- Ground floor: Remove existing bay window and replace with timber French doors in the bay window footprint



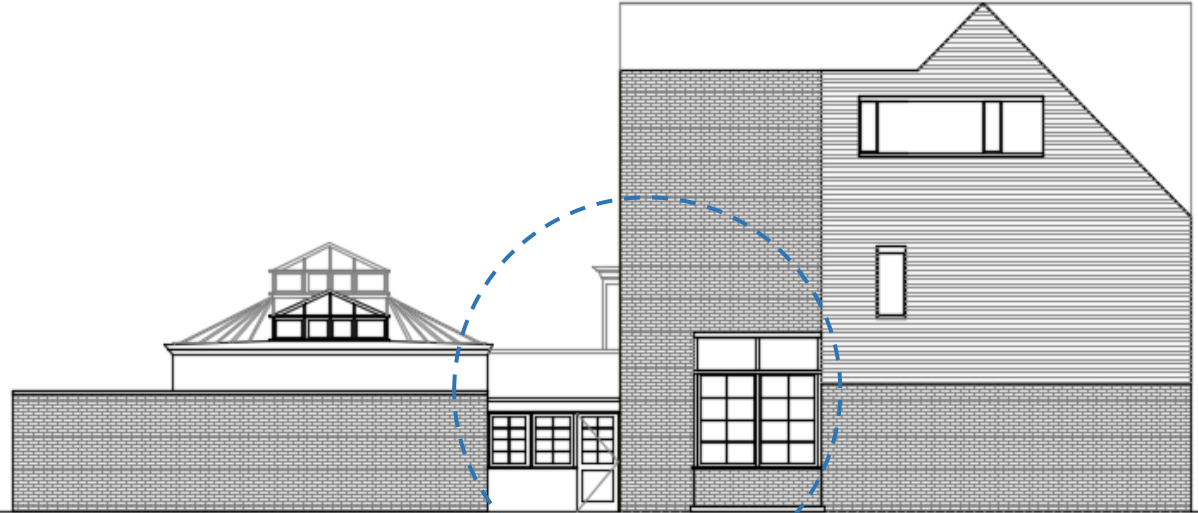
Extg rear elevation



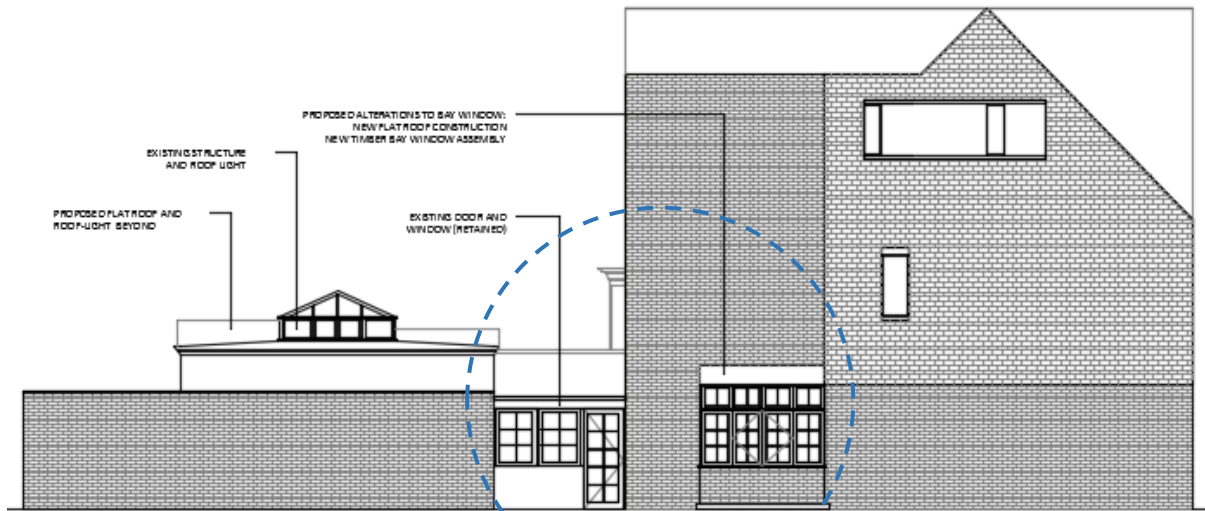
Prop rear elevation

East (left side walkway) elevation:

- Ground floor: New timber window and glazed door assembly in existing openings
- Ground floor: Alterations to existing bay window on east side – new flat roof construction and timber bay window assembly



Existing east elevation



Proposed east elevation

Design context

- **Façade:** The small area of proposed alterations on the front façade removes an incongruous stucco finish and replaces it with a terracotta wall tile to match existing in keeping with the rest of the façade at that level.
- **Roof line:** The proposed alterations to the conservatory roof reduce the overall height by approximately 600mm and contribute to the structure expressing a more modest scale. These proposed alterations are only visible at the rear and are therefore out of view on the street scene. A minor alteration to the roof line is proposed on the east elevation at the existing bay window, replacing a mono-pitched rooflight with a flat roof construction. This bay window is semi-visible in the street scene, along a narrow walkway on the left side of the building.
- **Windows and doors:** All proposed windows and doors are in timber, in harmony with the existing timber windows at the property.
- **Site frontage:** The proposed gate posts and low wall are modest in scale with a fair faced brick finish matching the main house. The boundary hedging remains and is prominent in its elevational treatment.

The form of the low wall and posts is comparable to that at Nos. 6 and 8 Wadham Gardens, obliquely opposite. The form of the gates is comparable with surrounding properties.



6 Wadham Gardens



8 Wadham Gardens



11 Wadham Gardens

Access considerations

The proposed alterations to the frontage take the existing vehicular access as a starting point. The location and width of the two vehicular gates are unchanged. Therefore the proposed gates sit on the footprint of the existing gates.

A separate pedestrian access gate has been omitted, with uninterrupted hedging between the vehicular gates.

The driveway and landscaping to the front of the property are proposed to be amended to facilitate greater room for vehicles to manoeuvre and park on site.

Considering the areas added to and removed from the driveway footprint, the net result is that the area of proposed impermeable paving is approximately the same as the existing.