

FULL-PLANNING PROPOSAL

80 Greencroft Gardens

Title: Light well, Extensions on Rear/side
Basement and Side Ground Floor,
80 Greencroft Gardens, NW6 3JQ



Category E: Light well, 3 Additional Flats
Rear/side Basement Extension
Ground Floor Extension
For: CHC
By: Archian LTD (S.S)

Basis of this Report

The report provides an outline of the development potential of 80 Greencroft Gardens.

The analysis has been undertaken on the potential development for the purposes of providing more living space within the borough.

Given the context of the Planning Legislation within the Camden Borough at the time of this report, analysis include reflection against both current planning scheme and against the proposed local plan.

We note that given the stages of development of the proposed Core strategy and Camden boroughs Local Development plan.

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Introduction

Proposed New Flats

The proposal is to develop 6 new self-contained Flats for (80 Greencroft Gardens, NW6 3JQ) for the Purposes of presenting more Living Space in Camden borough. Proposal is well-designed, it will contribute to both the network of green spaces and local character:

Planning Policies & Strategy Consideration

London Plan, Core Strategy

0 Conservation area and Design Policy

0 5.3 Maintaining and enhancing the borough

0 Policy CS6- Providing Quality Homes

0 Policy DP24

0 Policy DP24, 20

0 Policy DP25

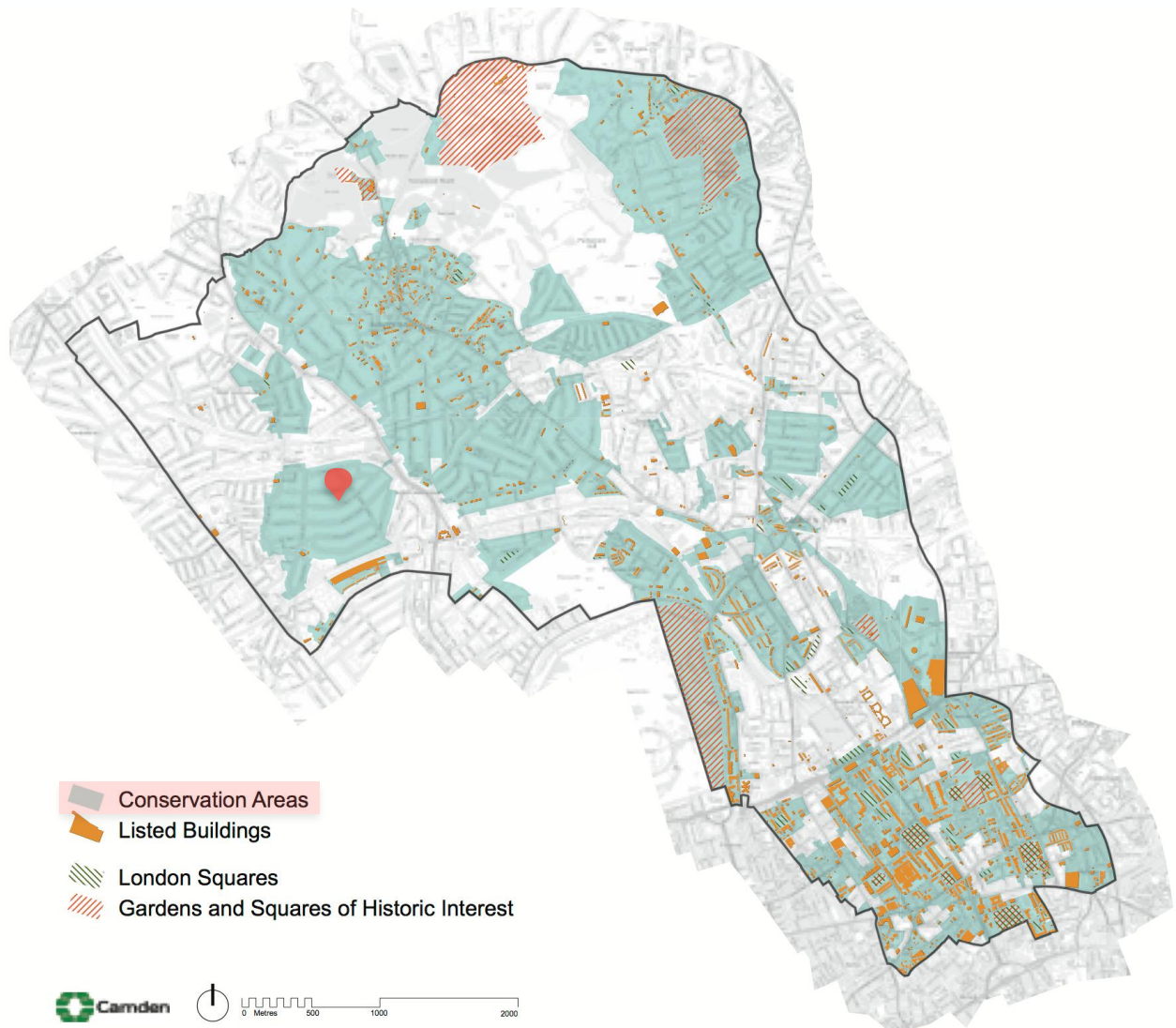
0 Policy CL5 a

0 Policy CL9

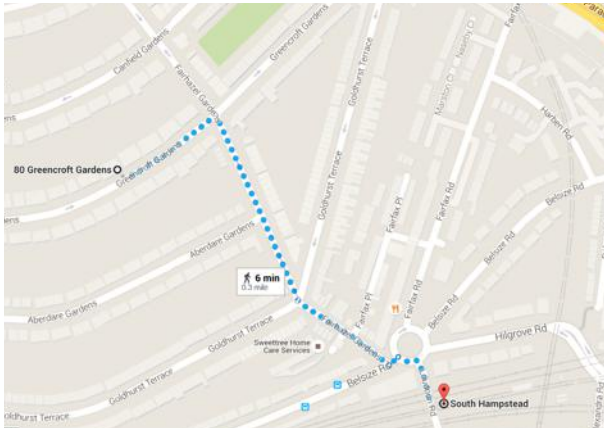
Context

Location:

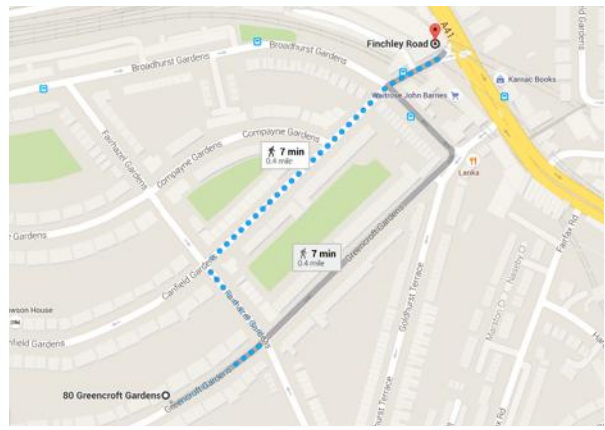
80 Greencroft Gardens is located in East Hampstead area of Camden borough, it is in a Conservation area. This means there could be more restrictions from the planning in terms of using Garden area for development. The site benefits from the public transport facilities.



Context



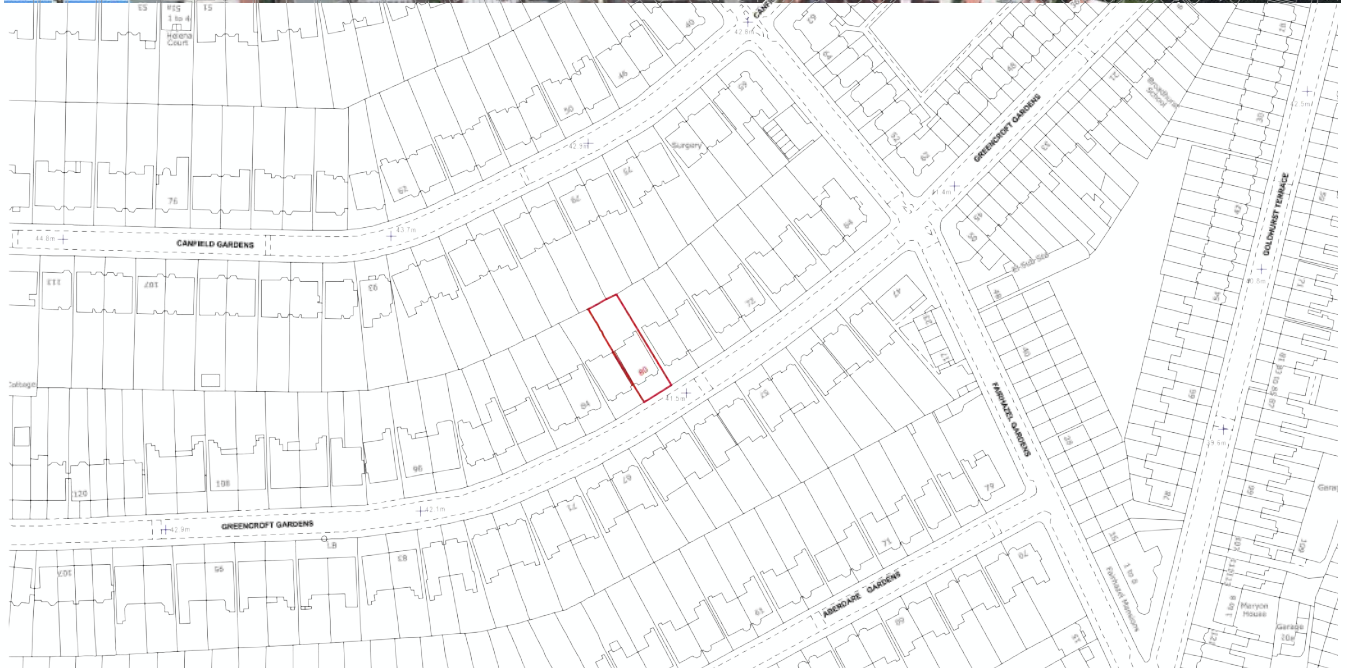
6 minutes to South Hampstead Station



7 minutes to Finchley Road Station

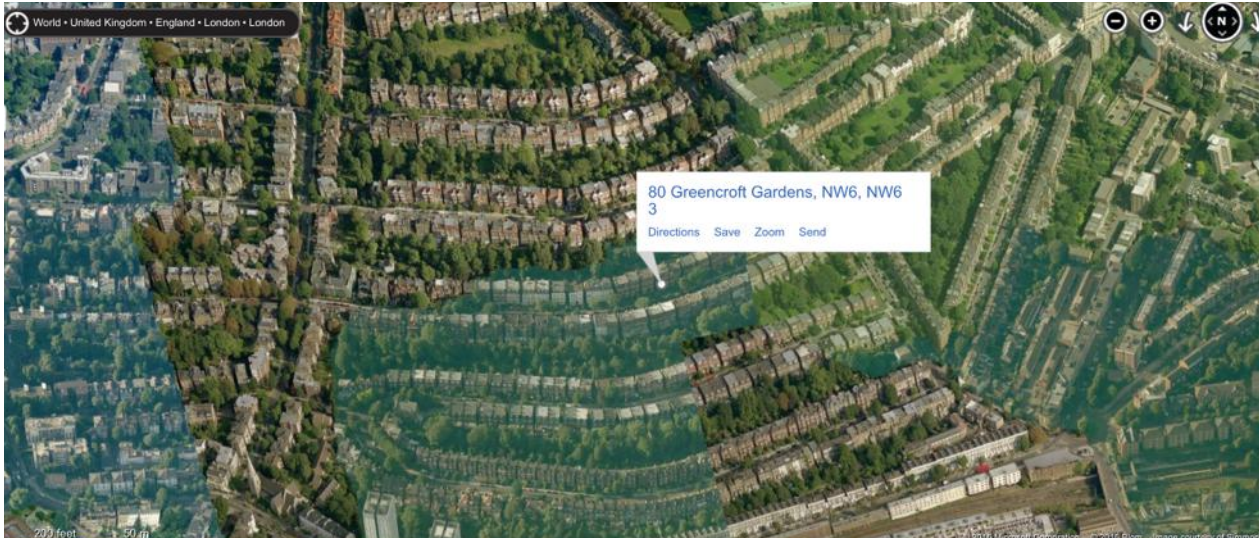
Scale:

This property is surrounded with detached building, consist of 3 storeys height.



Context

Landscaping:



1

Property History:

Application Number	Site Address	Development Description	Status	Date Registered	Decision
2013/5966/P	80 Greencroft Gardens London NW6 3JQ	Erection of single storey rear extension at ground floor level, two dormer roof extensions and inset terrace at roof level and new entrance door on side elevation at ground floor level to create 2 x self contained flats to ground floor and roof space (Class C3).	FINAL DECISION	24-09-2013	Granted Subject to a Section 106 Legal Agreement
2012/6195/P	80 Greencroft Gardens London NW6 3JQ	Erection of single storey rear extension, roof extension, and new entrance door on side elevation at ground floor level to create additional 2 x self contained flats (class C3).	APPEAL DECIDED	03-12-2012	
9005416	80 Greencroft Gardens NW6	Formation of vehicular hardstanding and means of access to the highway within existing front garden as shown on drawing no(s) 1 & 2 revised on 09.05.91.	FINAL DECISION	25-07-1990	Grant Full or Outline Perm. with Condit.
8905336	80 Greencroft Gardens NW6	Internal alterations and loft conversion to form one three bedroom unit on second and third floor. * (Plans submitted)	FINAL DECISION	27-04-1989	Withdrawn after Reg'n (not used on PACIS)
TP66809/9475	No. 80, Greencroft Gardens, Hampstead,	The conversion of No. 80, Greencroft Gardens, Hampstead, into four self-contained flats.	FINAL DECISION	30-08-1952	permission

Above are the planning history on the property which we came across with, none which we are in contact to the agent.

Design Proposal

Design Consideration:

London Plan: Policies 5.3-Maintaining and enhancing the borough
Policy - Conservation area and Design Policy

Core Strategy: Policies DP24, DP24, 20, DP25, CL5 a, CL9

Context & Character:

There are very few external changes have been proposed, all inconsideration to the Camden Local planning polices for conservation areas. Proposing lower garden for more natural light/access to rear garden for the basement flats, this will improve the rear Garden and the property character/context. The Basement extension option considered there will be contemporary rear extension. It will not harm the character of the property or surrounding. There are no external aesthetics change towards front.

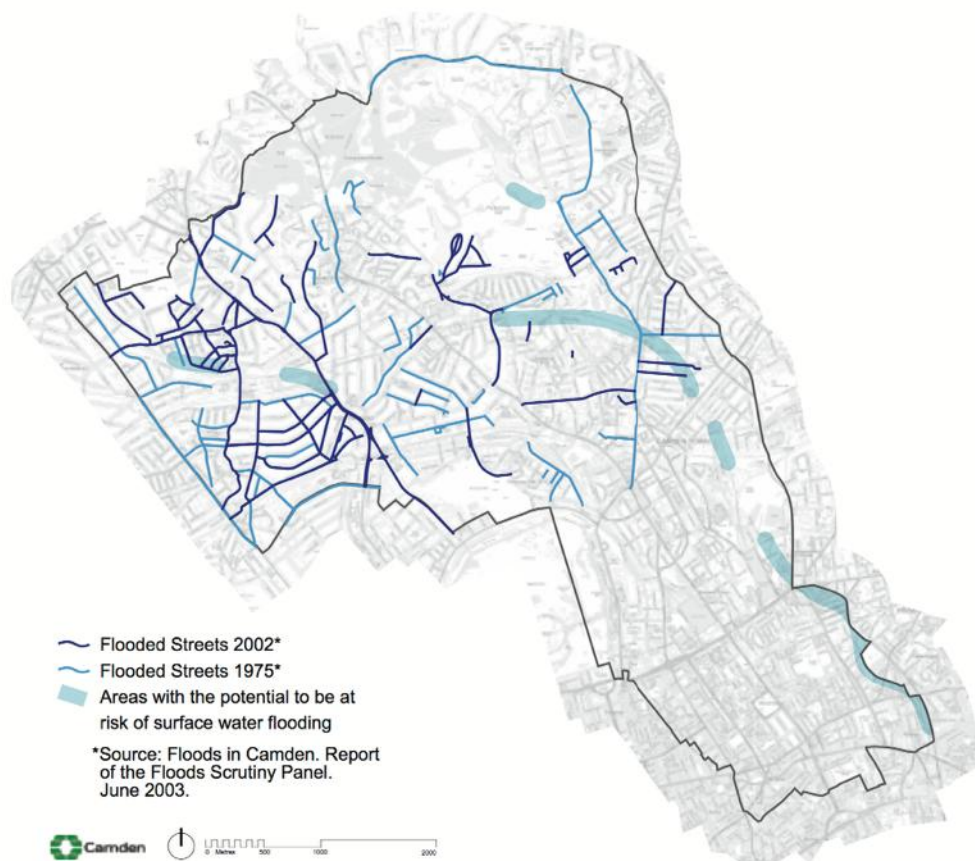
Policy - Conservation area and Design Policy

Sustainable Design & Adaptability:

The site Proposed design have been considered to exceed statutory requirements as set out in **London Plan policy 5.3**, the **Mayor's Housing SPG**, and in **Core Strategy Policies DP3** with particular attention given to: minimise energy and CO2 emissions; efficient use of natural resources (including water); Land Scape of streets and siting of building in order to maintain the flood risk.

Various sustainable techniques will be used to enhance proposed work.

- o Rainwater drainage system
- o Sustainable urban drainage



Design Proposal

Proposed Dwelling:

Proposed design has changes internally in order to maintain the London Plan and Camden Local plan for Conservation sites.



Building Form:

Proposed design is interwar style to fit in surroundings and street scape of Greencroft Gardens. It has been considered with deep proportions and square emphasis basis. Proposed design will not change the existing height of the dwelling which is three storeys. It will represent strong architectural which will remain within the Greencroft Gardens character. As, proposal is not intend to dominate design in street scape. Rear & Basement extension will increase living standards and improve living space.

Space Between buildings:

Light well is proposed at the rear of 80 Greencroft Gardens. The garden/50% of the garden area is not affected by proposed light well. Proposed scheme does not include any side extension therefore it has minimum impact on neighbouring properties by visual, aesthetic and physical.

Strength of the Proposal:

- o Wide Variety of internal layout will be achieved with highest design standards.
- o Proposed development will be contribution to reinforce to existing street character as per Borough requirements in SPG guide.
- o Proposed development will increase the living space in Camden borough.

Access to Flats:

Proposed In order to minimise external alterations at the front facade, the main access to all proposed flats are from the existing front door, except flat 1 which has an entrance access from the side of the property. All which have been designed in consideration to the London plan, Core Strategy and Development Management Document Policies of Camden Borough.

Design Proposal

Building Massing:

Proposed design is interwar style to fit in surroundings and street scape of Greencroft Gardens. It have been considered with deep proportions and square emphasis basis. Proposed design will not change the existing height of the dwelling which is three storeys. It will represent strong architectural which will remain within the GreenCroft Gardens character. As, proposal is not intend to dominate design in street scape. Rear & Basement extension will increase living standards and improve living space.

Noise Insulation:

This proposal covers upgrade in insulations between all interfaces of the dwellings. This covers all partition walls on floors, separated bedrooms, loving rooms and toilets. Adequate sound barriers between independent house hold. All the walls will be in compliance with building regulation part E residence to the passage of sound.

External Appearances:

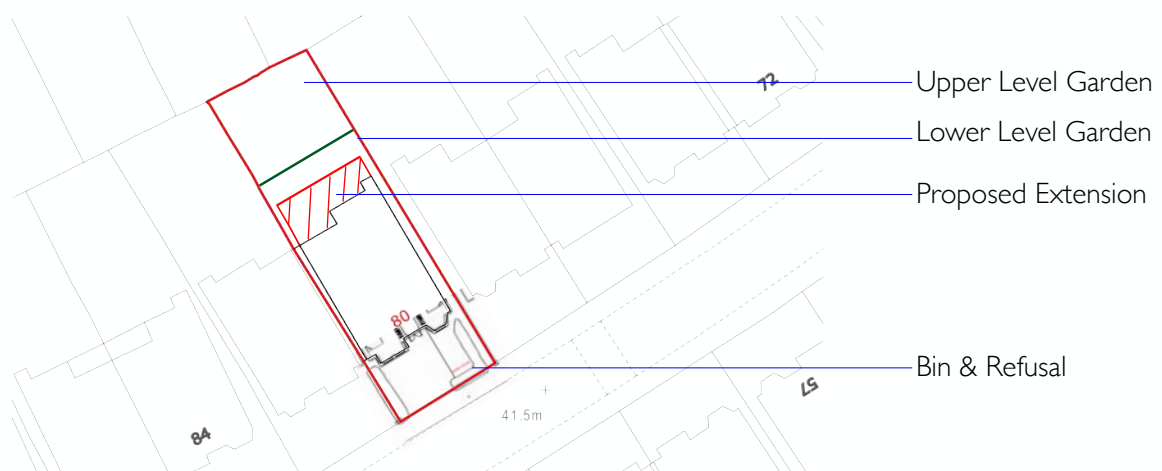
There have been some alterations at the front of the original exterior of the building footprint such as proposing enclosed front light well for the basement flats. At the rear of the property good design practice have been followed to propose lower basement and ground floor extension along with upper and lower garden for more natural and sun light for the basement flats. Extensions can be achieved under permitted Development Rights of the Dwelling. This additional space will improve good living natural light for the basement flats.

Rear Garden:

Front garden remains the same whereas rear garden have been changed by creating lower and upper garden considering the safety of the residences. Proposed landscape for rear garden will change the existing appearance of the garden for more natural light for the basement flats.

Building Materials:

No external changes were made at the front of the property, except a closed light-well for the basement duplex flats. Proposed external windows, door and extensions will be matching the existing in shape, material and dimension. Internal materials and layout have been considered within the Camden's local plan for affordable housed.





Design Proposal


Minimum Space Standard Table:

Spaces	Ground Floor & Basement Flat 1	Ground Floor & Basement Flat 2	First Floor Flat 3	First Floor Flat 4	Second Floor Flat 5	Second Floor Flat 6	Loft Studio Flat 7
Area (sqm)	196.16 sqm	179.13 sqm	75 sqm	53 sqm	68 sqm	50 sqm	106.4 sqm
SPG Minimum Standard Space Requirement (sqm)	90 -100 sqm	90 -100 sqm	50 sqm	70 sqm	50 sqm	61 sqm	90 - 95 sqm

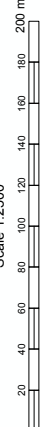
Spaces	Living / Kitchen & Dinning	Bedroom 1	Bedroom 2	Bedroom 3	Bathroom	Ensuite 1	Ensuite 2	Hallway
Ground Floor & Basement Flat 1	50 sqm	18.9 sqm	12 sqm	23.1 sqm	5.3 sqm	6 sqm	5 sqm	13+11.3 sqm
Ground Floor & Basement Flat 2	46.3 sqm	16.9 sqm	12.3 sqm	24.9 sqm	5.5 sqm	7 sqm	7.4 sqm	13+10 sqm
First Floor Flat 3	30 sqm	16.8 sqm	8.3 sqm	n/a	4.3 sqm	4.1 sqm	n/a	5.9 sqm
First Floor Flat 4	28.3 sqm	15.5 sqm	n/a	n/a	4.8 sqm	n/a	n/a	3.7 sqm
Second Floor Flat 5	27.1 sqm	16.1 sqm	8 sqm	n/a	4.3 sqm	3.3 sqm	n/a	4 sqm
Second Floor Flat 6	24.1 sqm	14 sqm	n/a	n/a	4.7 sqm	n/a	n/a	3.6 sqm
Loft Studio Flat 7	42.7 sqm	18.3 sqm	12.9 sqm	11.5 sqm	4 sqm	4.5 sqm	n/a	8 sqm

Design Drawings

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<p>Drawing Name PLAN</p>	
<p>Drawing Status</p>	
<p>Drawn by Date: 03/12/2015</p> <p>S. F.</p>	
<p>Checked by Date: 03/12/2015</p> <p>T. P.</p>	
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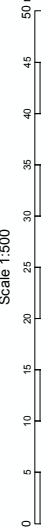


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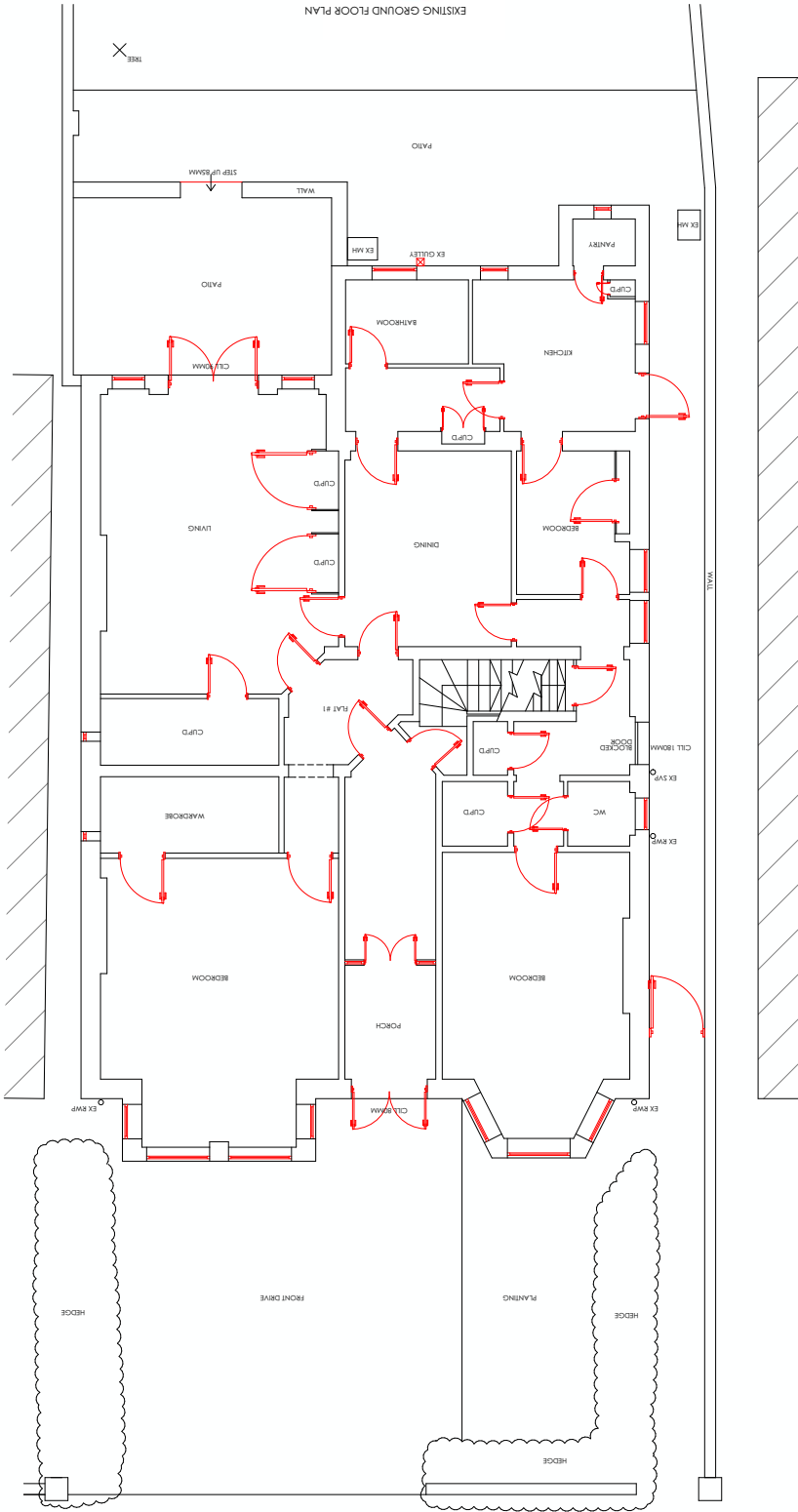
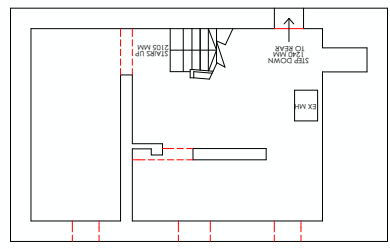






Scale 1:500



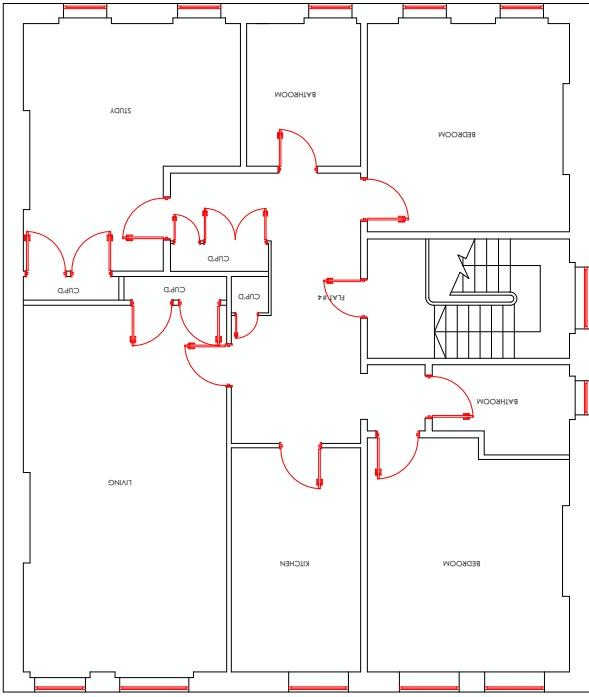
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<p style="text-align: center;">EXISTING GROUND FLOOR PLAN</p> 	<p style="text-align: center;">EXISTING BASEMENT FLOOR PLAN</p> 

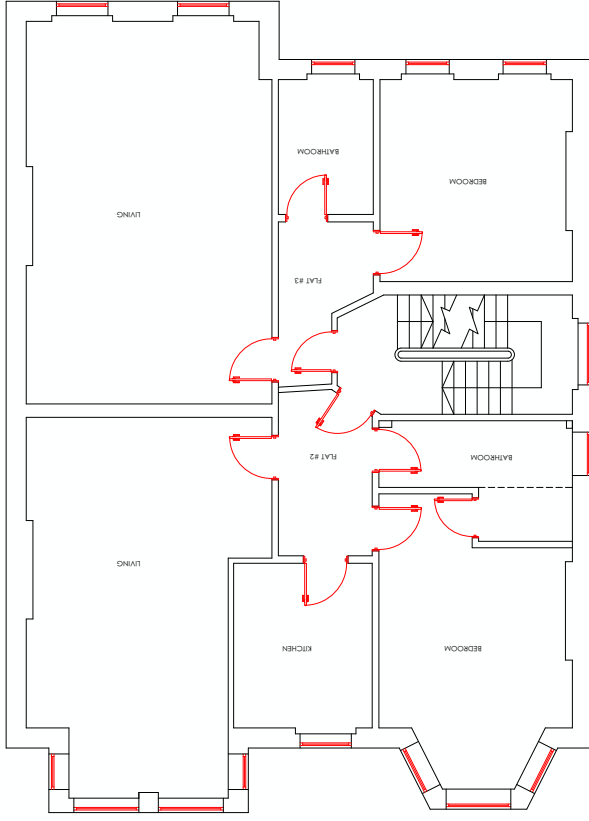
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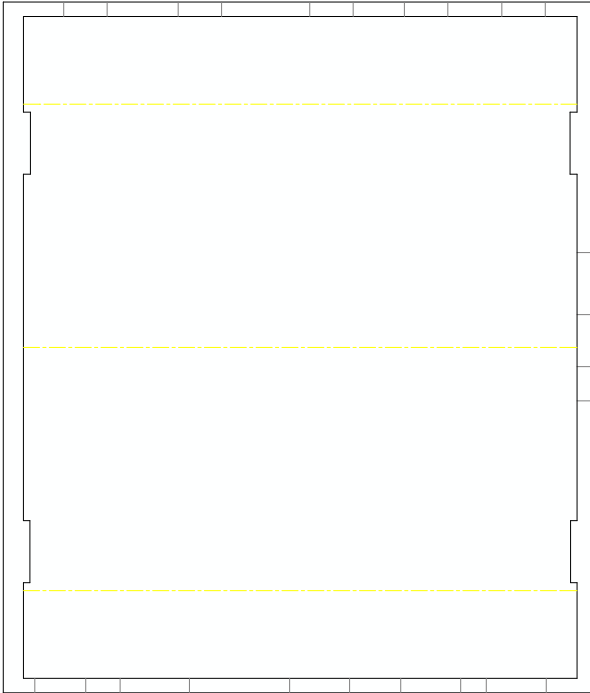
EXISTING SECOND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



Design Drawings

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<p>Drawing Status EXISTING</p>		
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<p>Checked by T. P</p>	<p>Date: 27/11/2015</p>	
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