

Mr Simon Hallion
Shared Architecture Ltd
81 Gillespie Road
London
N5 1LR
United Kingdom

Application Ref: **2016/3814/P**
Please ask for: **Amy Grace Douglas**
Telephone: 020 7974 **8096**

13 September 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**54 Dartmouth Park Road
London
NW5 1SN**

Proposal:

Erection of a single storey rear extension at dwelling house (Class C3) following demolition of existing single storey rear extension

Drawing Nos: 0839/02; 0839/01; 0839/E01 Rev A; 0839/E02; 0839/P01 Rev A; 0839/S02; 0839/P02

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 if in CA of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans 0839/02; 0839/01; 0839/E01 Rev A; 0839/E02; 0839/P01 Rev A; 0839/S02; 0839/P02

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Details including sections at 1:10 of all windows and doors proposed;

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Reasons for granting permission:

The proposed single storey rear extension would be erected following the demolition of an existing extension, and is thus considered to be acceptable in its scale, positioning, and form. The rear extension would not be visible from the streetscene and would be a subordinate addition that would not significantly impact the host building or the Dartmouth Park Conservation Area. Sufficient amenity space would remain due to the large rear garden on site.

The proposed height is consistent with similar neighbouring extensions and the extension would be suitably setback from neighbouring properties. The roof light and proposed clear glass oriel window seat to the rear would be considered to be

an acceptable contemporary feature that would not cause detriment to the character of the host building. The materials to be used would be of a high quality to match the existing however a condition is recommended to secure this.

It is considered that the proposal would cause negligible harm upon the amenity of neighbouring residential occupiers by virtue of its size, height, setbacks and positioning.

An objection was received which is discussed within the Consultation Summary. The site's planning history and relevant appeal decisions were taken into account when coming to this decision.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25 and DP26 of the London Borough of Camden Local Development Framework Development Policies, the London Plan 2016 and the NPPF.

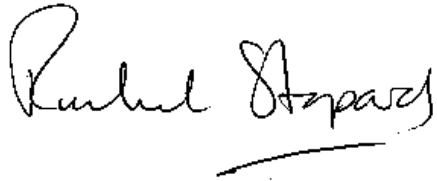
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "Rachel Stopard". The signature is written in a cursive style with a long horizontal flourish underneath the name.

Rachel Stopard
Executive Director Supporting Communities