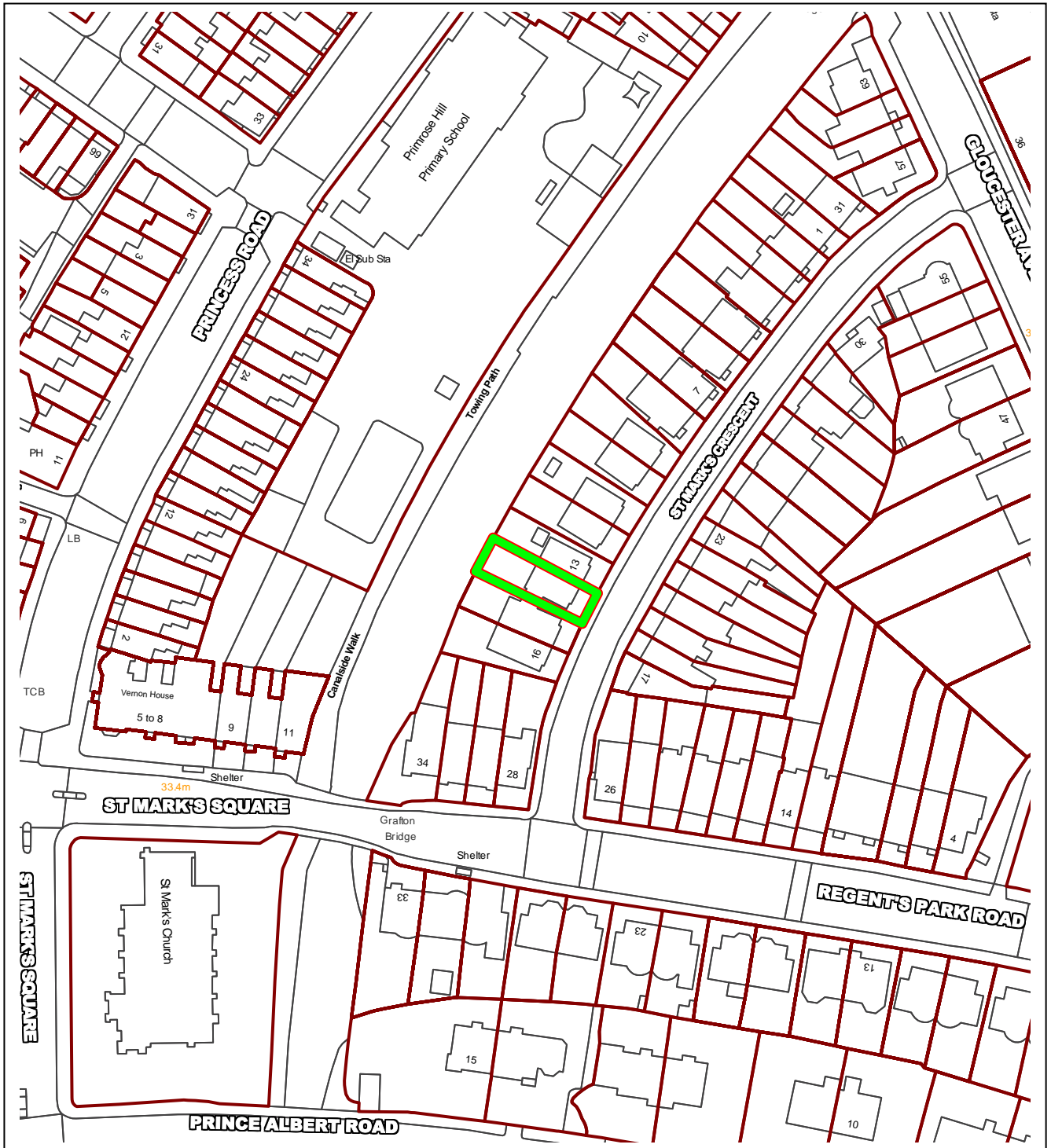


14 St Mark's Crescent 2016/1637/P



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Photo 1: Front lightwell and entrance door



Photo 2: Existing entrance to utility room to be extended forward



Photo 3: Front lightwell and vaults



Photo 4: Front boundary treatment of neighbouring property no.15



Photo 5: Existing front boundary wall at application site



Photo 6: Side passage between the application site and no.15



Photo 7: Side passage and stairs between the application site and no.15



Photo 8: Rear elevation showing bay window and upper ground floor balcony



Photo 9: Rear elevation and existing lean-to extension



Photo 10: Existing extension to the rear of no.15



Photo 11: Rear elevation of no.13



Photo 12: View towards the rear of the garden and Regent's Canal



Photo 13: Existing lean-to extension

Delegated Report		Analysis sheet	Expiry Date:	19/05/2016
(Members Briefing)		N/A / attached	Consultation Expiry Date:	26/05/2016
Officer			Application Number	
Laura Hazelton			2016/1637/P	
Application Address			Drawing Numbers	
14 St Mark's Crescent London NW1 7TS			Please refer to decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal				
Erection of single storey rear extension at lower ground floor level with terrace above; front extension at lower ground floor level and alterations to fenestration; and erection of single storey side lean-to extension.				
Recommendation:	Grant conditional planning permission			
Application Type:	Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	04	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	<p>The application was also advertised in the local press on 05/05/2016 (expiring 26/05/2016) and a site notice was displayed between 29/04/2016 and 20/05/2016.</p> <p>No objections were received from neighbouring occupants.</p>					
CAAC/Local groups comments:	<p>The Primrose Hill Conservation Area Advisory Committee (CAAC) have objected on the following grounds:</p> <ul style="list-style-type: none"> • The rear elevations of these houses are very visible from the public domain along the Regent's Canal towpath. • The proposal is extremely destructive of the major elements of the original rear elevation which are of significance – the projecting three sided bay at lower ground floor level, with the balcony railing at ground floor level. • The extension would be out of scale in both main rear elevation and in flank projection. • The proposal would fail to preserve or enhance the character and appearance of the conservation area but would harm it. <p>Officer response</p> <p><i>The existing lower/upper ground floor bay windows were altered and the balcony/staircase erected following planning permission being granted in November 2003 (reference PEX0200695) to make the lower ground floor bay windows wider and to replace the windows with French doors. The proposed development therefore would not result in the loss of any original features or historic fabric.</i></p> <p><i>Please refer to section 3 of the officer's report below for a detailed design assessment of the proposal.</i></p>					

Site Description

The site comprises a three storey plus basement semi-detached property on the western side of St Mark's Crescent. It is a mid-18th century Italianate villa with a painted stucco frontage which backs onto the Regent's Canal. The property is in use as a single family dwellinghouse.

The application building is not listed, but is located within the Primrose Hill Conservation Area and has been described in the conservation area statement as making a positive contribution to the conservation area.

Relevant History

Application site

PEX0200695 - Proposed external alterations to include bay windows with balcony balustrade, enlarged timber sash window at side ground floor level, one replacement timber sash window at basement level, timber double glazed doors at the front at basement level, two new timber sash windows, proposed front wall with metal railings and gate piers. Granted 11/11/2003.

No.9

PEX0201017 - Demolition of existing rear balcony, construction of single storey, glazed extension at rear basement level with roof terrace to replace existing - Granted 19/03/2003.

9003268 - Provision of glazed roof over existing light-well creating a conservatory extension to existing kitchen at front basement level - Granted 12/09/1990.

No.10

2012/3514/P - Erection of a single-storey larder extension in front lightwell of residential dwelling (Class C3) - Granted 05/09/2012.

2009/2070/P - Erection of a single storey rear extension at basement level below the existing ground floor balcony to dwelling house (Class C3) – Granted 13/07/2009.

2008/5214/P - Additions and alterations in connection with the erection of a balcony at upper ground floor level, elevational changes to front and rear, and partial demolition of front vaults at basement level to existing single family dwelling house (Class C3) - Granted 06/04/2009.

No.13

2010/5266/P - Erection of a single storey rear extension to an existing single dwelling (Class C3) - Certificate of Lawful Development Proposed Granted 29/11/2010.

No.15

2012/2515/P - Erection of a single storey rear extension with roof terrace over enclosed by metal railings and replacement of existing lower ground floor level front window with french doors and alterations to window at rear ground floor level all in connection with existing flat (Class 3). Granted 09/07/2012

2010/5629/P - Alterations and extensions including new basement extension with rear lightwell, erection of rear extension at lower ground floor level, and extension into front lightwell all in connection with existing garden flat (Class C3) - Granted 18/02/2013.

No. 16

2009/3507/P - Erection of extension in existing front lightwell of dwelling house - Granted 23/11/2009.

Relevant policies

National Planning Policy Framework 2012

London Plan March 2016

LDF Core Strategy and Development Policies

Core Strategies

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving our heritage

Development policies

DP24 Securing high quality design

DP25 Conserving Camden's Heritage

DP26 Managing the impact of development on occupiers and neighbours

Supplementary Planning Guidance

CPG 1 (Design) 2015

CPG 6 (Amenity) 2013

Primrose Hill Conservation Area Statement 2000

Assessment

1.0 Proposal

1.1 Planning permission is sought for the following:

- The erection of a single storey rear extension at lower ground floor level measuring 6.1m wide, 2.2m deep with a maximum height of 3.1m to the parapet;
- The use of the roof of the rear extension as a terrace, enclosed by a black metal handrail measuring 0.7m high (1.1m to ground level);
- The replacement of the existing upper ground floor rear timber framed window with a slightly larger window in the same style;
- The extension of the existing side lean-to extension rearwards in line with the new extension;
- Alterations to lower ground floor side fenestration, namely the replacement of the existing timber door with an obscure glazed door and replacement of a timber framed window; and
- Extension of the existing lower ground floor utility room forwards and sideways under the upper ground floor bridged entrance and stairwell and the replacement of the existing timber door in the front lightwell with a slightly larger one of the same style.

2.0 Revisions

2.1 The proposals originally included the alteration of the side staircase as part of the extension of the front utility room. This was considered to cause harm to the character and appearance of the host building and surrounding area and was therefore amended at the officer's request so that the extension would not alter the existing staircase down to the side alley.

3.0 Assessment

3.1 The main planning considerations in the determination of this planning are as follows:

- Design (the impact of the proposal on the character and appearance of the host building and wider Primrose Hill Conservation Area);
- Amenity (the impact of the proposal on the amenity of adjoining occupiers); and
- Impact on trees.

Design

3.2 Policy CS14 aims to ensure the highest design standards from developments. Policy DP24 also states that the Council will require all development, including alterations and extensions to be of the highest standard of design and to respect the character, setting, form and scale of the neighbouring properties as well as the character and proportions of the existing building. Policy DP25 also seeks to preserve and enhance the character and appearance of conservation areas.

3.3 CPG1 provides further guidance relating to extensions, alterations and conservatories (chapter 4) and emphasises that alterations should always take into account the character and design of the property and its surroundings; windows, doors and materials should complement the existing building; and extensions should be secondary to the building being extended.

Rear extension

3.4 The proposed rear lower ground floor extension would replace the existing balcony and spiral staircase leading down to garden level. It would be full width, measuring 6.1m wide, 2.2m deep

with a maximum height of 3.1m to the parapet and would be constructed of brick to match the existing building with aluminium framed sliding doors. The extension would appear subordinate to the host building which is 4 storeys high at the rear and would allow for the retention of an adequate sized garden.

- 3.5 The extension would result in the loss of the existing lower ground floor bay, but this is considered to be acceptable owing to the fact that nos. 9, 10, 15 and 16 have been granted approval for similar development at lower ground floor level, which as a whole, contribute to the character of the rear of this terrace. Furthermore, the existing lower/upper ground floor bay windows were altered and the balcony/staircase erected following planning approval granted in November 2003 (reference PEX0200695) to make the lower ground floor bay windows wider and replace the windows with French doors. The proposed development therefore would not result in the loss of any original features or historic fabric.
- 3.6 The upper ground floor bay window was also changed to French doors in 2003, and would not be altered as part of the proposed works. The doors would be used to gain access to the new roof terrace and the small rear window at this level would be replaced with a larger timber sash window which is considered an improvement on the existing. The roof terrace would be surrounded by a black metal balustrade to match those of the surrounding properties.

Front lightwell extension

- 3.7 To the front elevation, the existing lower ground floor utility room would be extended forwards and sideways under the upper ground floor bridged entrance and stairwell. The works would not result in any external alterations aside from the replacement of the existing timber door in the front lightwell with a slightly larger one. The door would be timber with glazed panels in the same style as the existing which would complement the existing fenestration.
- 3.8 There would be minimal external alterations as a result of the works and they would therefore preserve the character of the host property and wider Conservation Area.

Side extension

- 3.9 To the side elevation, the existing timber lean-to extension would be extended rearwards adjacent to the new extension. CPG1 advises that side extensions should be no taller than the porch and should be set back from the main building.
- 3.10 The extended portion would be behind the existing single storey lean-to extension and would not be visible from street level. The extension would be at lower ground floor level, well below the porch at upper ground floor street level. The extension is therefore not considered to harm the character of the host property or wider Primrose Hill Conservation Area. Similarly, the alterations to the lower ground floor side fenestration are minor in nature, would not be visible from the public realm and are acceptable.

Front boundary wall

- 3.11 The existing front brick boundary wall with rendered panels will be demolished and re-built in matching brick to be the same height as the neighbouring wall. There is no current uniformity in height, style or appearance of front boundary walls in the surrounding street, and the works are not considered to harm the character and appearance of the host building or the wider area.

Amenity

- 3.12 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore, Policy DP26 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes privacy,

overlooking, outlook and implications on daylight and sunlight.

- 3.13 The rear extension would be at lower ground floor level overlooking Regents Canal and the roof terrace would be located at the same level as the existing balcony. The development is therefore not considered to result in a significant increase in overlooking or loss of privacy to neighbouring properties than the current situation.
- 3.14 The extension would be relatively shallow, projecting to 2.2m and is therefore unlikely to cause harm to neighbouring outlook or result in a significant decrease in light levels entering adjoining neighbouring property no.13.

Impact on trees

- 3.15 The proposals involve the removal of a small category C eucalyptus tree (T2). The tree is of low visual amenity value and provides a limited contribution to this part of the conservation area. As such, its removal is considered to be acceptable. The larger, more significant trees on site are to be retained. The arboricultural report submitted with the application is considered sufficient to demonstrate that the trees to be retained both on site and on neighbouring sites will be adequately protected during development in line with BS5837:2012 – Trees in relation to design, demolition and construction.
- 3.16 The Council's Tree Section have assessed the proposals and supporting documents and do not object to the development provided it is carried out in accordance with the submitted arboricultural method statement.

4.0 Recommendation

- 4.1 Grant conditional planning permission.

Disclaimer

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 18th July 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Graeme Williamson
Nord London Ltd
Unit 12a, 5 Durham Yard
Teesdale St
London
E2 6QF

Application Ref: **2016/1637/P**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 1017

11 July 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
**14 St Mark's Crescent
London
NW1 7TS**

DECISION

Proposal: Erection of single storey rear extension at lower ground floor level with terrace above; front extension at lower ground floor level and alterations to fenestration; and erection of single storey side lean-to extension.

Drawing Nos: L(00)00, L(00)01, L(00)02, L(00)11A, L(00)12, L(00)13, L(00)14A, L(00)15, L(00)16A, L(00)17, Arboricultural impact analysis dated 21.06.16, Arboricultural method statement dated 21.06.2016.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: L(00)00, L(00)01, L(00)02, L(00)11A, L(00)12, L(00)13, L(00)14A, L(00)15, L(00)16A, L(00)17, Arboricultural impact analysis dated 21.06.16, and Arboricultural method statement dated 21.06.2016.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All work shall be carried out in accordance with the tree protection measures recommended in the Arboricultural method statement dated 21.06.2016.

Reason: To ensure the preservation of the amenity value and health of the tree(s) in accordance with policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities

DRAFT

DECISION