

33 -37 PARKWAY, CAMDEN NW1

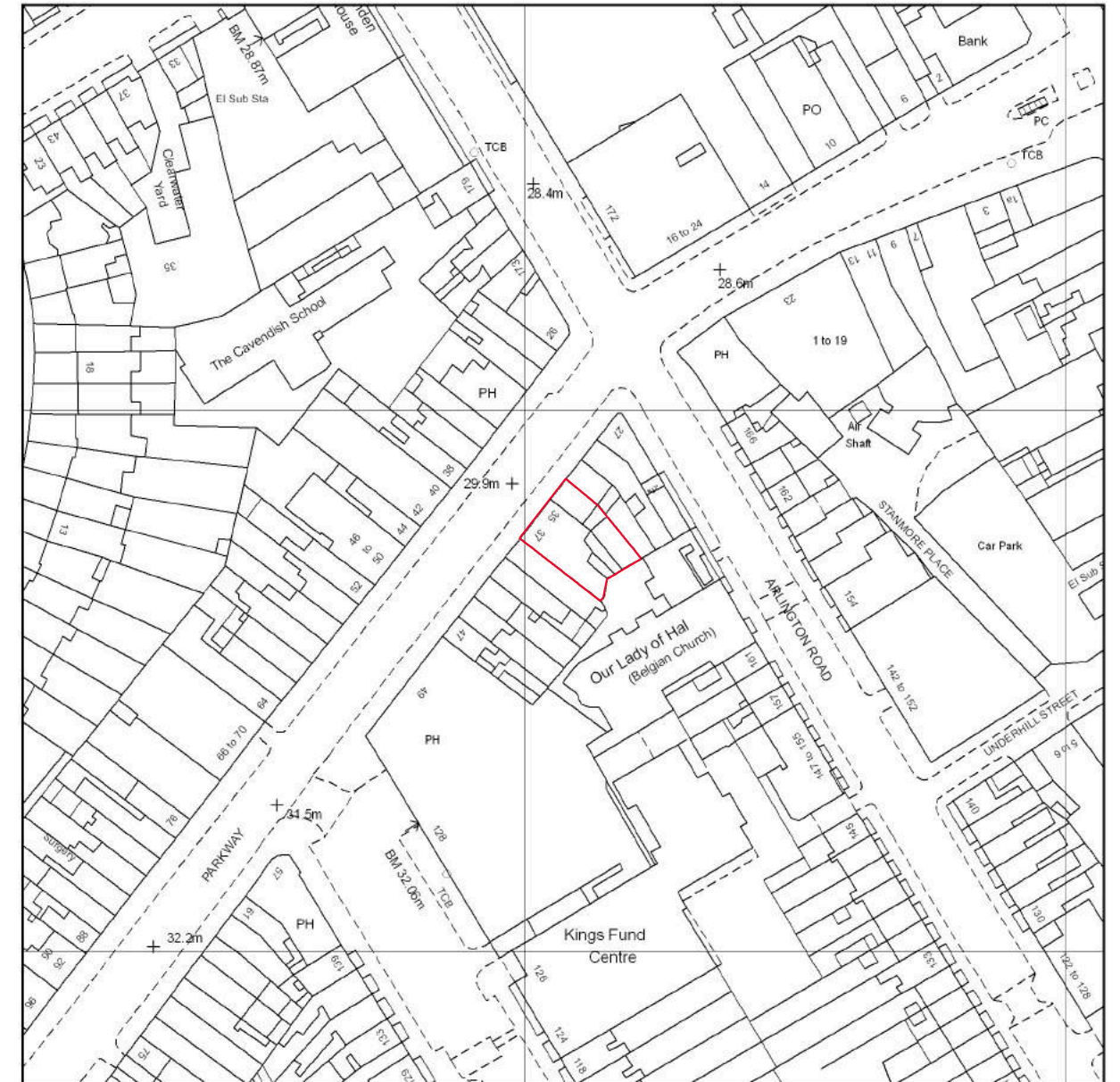
Outstanding planning conditions  
Planning consent ref 2008/3740/P

0805\_pl\_160826



latitude





1:1250



Latitude Architects  
15 Weller Street  
London  
SE1 1QU



 **Camden**  
Development Control  
Planning Services  
London Borough of Camden  
Town Hall  
Argyle Street  
London WC1H 8ND  
  
Tel 020 7278 4444  
Fax 020 7974 1975  
Textlink 020 7974 6866  
  
env.devcon@camden.gov.uk  
www.camden.gov.uk/planning

Application Ref: 2008/3740/P

28 November 2008

Dear Sir/Madam

**FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION**  
Town and Country Planning Acts 1990 (as amended)

**DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT**

Address:  
**33 - 37 Parkway**  
**London**  
**NW1 7PN**

Proposal:  
Change of use at first and second floor level from ancillary retail (use class A1) to three two-bed residential units (use class C3), including rear extensions at first floor level, extension of the existing retail unit at basement level, a new shopfront to 33 Parkway and associated works.

Drawing Nos: Site Location Plan; P02; P03; P04A; P05A; P06A; P07C; P08A; P10B; P11; P12; P13; P14; P16; 28019-1; 28019-2; 28019-3-Rev1; 28019-4; 28019-5; 28019-6; 28019-7; 28019-8; Alphslore Waterproofing System; Hydropack Roof Information.

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.



INVESTOR IN PEOPLE

Page 1 of 3

Director of Culture & Environment  
Rachel Stopard

**Condition(s) and Reason(s):**

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies S1/ S2, B1 and B7 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 Prior to the first occupation of the new units a plan showing details of the green roof including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for an initial scheme of maintenance shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained in accordance with the requirements of policies SD9, N5 and B1 of the London Borough of Camden Replacement Unitary Development Plan 2006 and Camden Planning Guidance 2006.

- 4 The use of the roof as a terrace at first floor level shall not commence until the screen, as shown on the approved drawings, has been constructed. The screen shall be permanently retained and maintained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policies S1/ S2 and SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 5 The flat roof area of the rear extension at second floor level hereby approved shall not be used as a roof terrace, and any access out onto this area shall be for maintenance of the roof only and for no other purpose.

Reason: In order to prevent unreasonable overlooking of the neighbouring premises in accordance with the requirement of policies SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

Page 2 of 3

2008/3740/P



Informative(s):

1 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies S1, S2, SD1, SD6, B1, B3, B6, B7, H1, H7, H8, T3, T4, T8 and T9. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).

3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Environmental Health Service, Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 2090 or by email [env.health@camden.gov.uk](mailto:env.health@camden.gov.uk) or on the website [www.camden.gov.uk/pollution](http://www.camden.gov.uk/pollution)) or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Sites Team, Urban Design and Regeneration.

5 If a revision to the postal address becomes necessary as a result of this development, application under Part 2 of the London Building Acts (Amendment) Act 1939 should be made to the Council's Records and Information Team, Culture and Environment Directorate, Environment Department (Street Naming & Numbering) Camden Town Hall, Argyle Street, WC1H 8EQ (tel: 020-7974 5613).

6 The correct street number or number and name must be displayed permanently on the premises in accordance with regulations made under Section 12 of the London Building (Amendments) Act 1939.

Yours faithfully



Culture and Environment Directorate

GENERAL NOTES

Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.

Do not scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.

This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.

EXISTING INTERNAL FEATURES TO BE RETAINED

- A Existing timber mouldings around window to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing.
- B Existing timber door frames and architraves to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing.
- C Existing timber architraves around door opening to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing. Door opening to be infilled with slightly recessed panel to allow old door opening to be read.
- D Existing timber balustrades and paneling to staircase to be retained and refurbished. Timber sections to match existing to be pieced in where existing is damaged or missing.

A	11.08	x	Bays omitted from 1st fl rear. Notes re existing features added.
Rev	Date	H&S	Description

Status
PLANNING

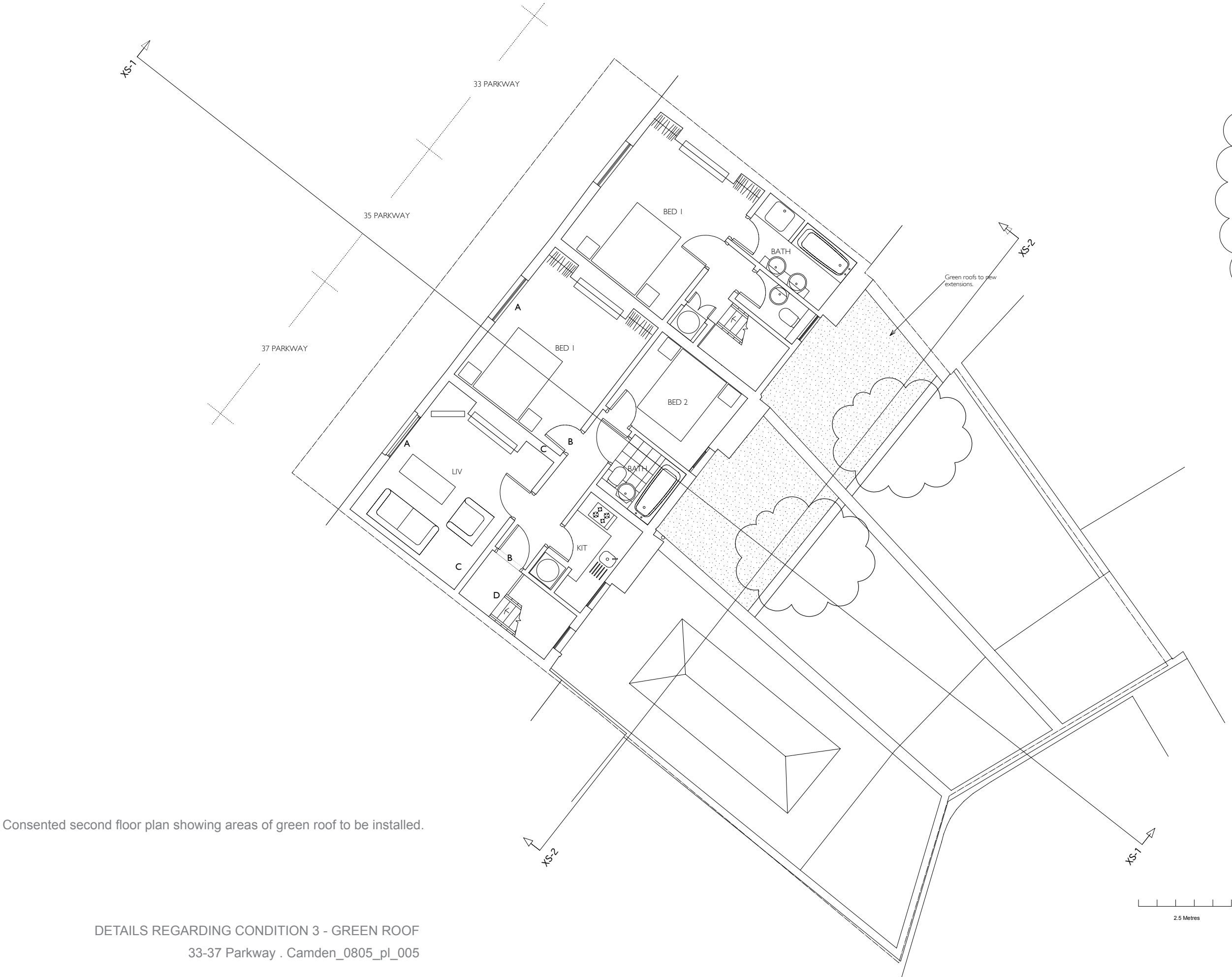
Drawn	Checked	Date	Scale
RZ	AG	13.07.08	1:50@A1 1:100@A3

Job No.	Dwg No.	Revision
0805	P05	A

Drawing

PROPOSED SECOND FLOOR

Project  
33-37 PARKWAY. CAMDEN



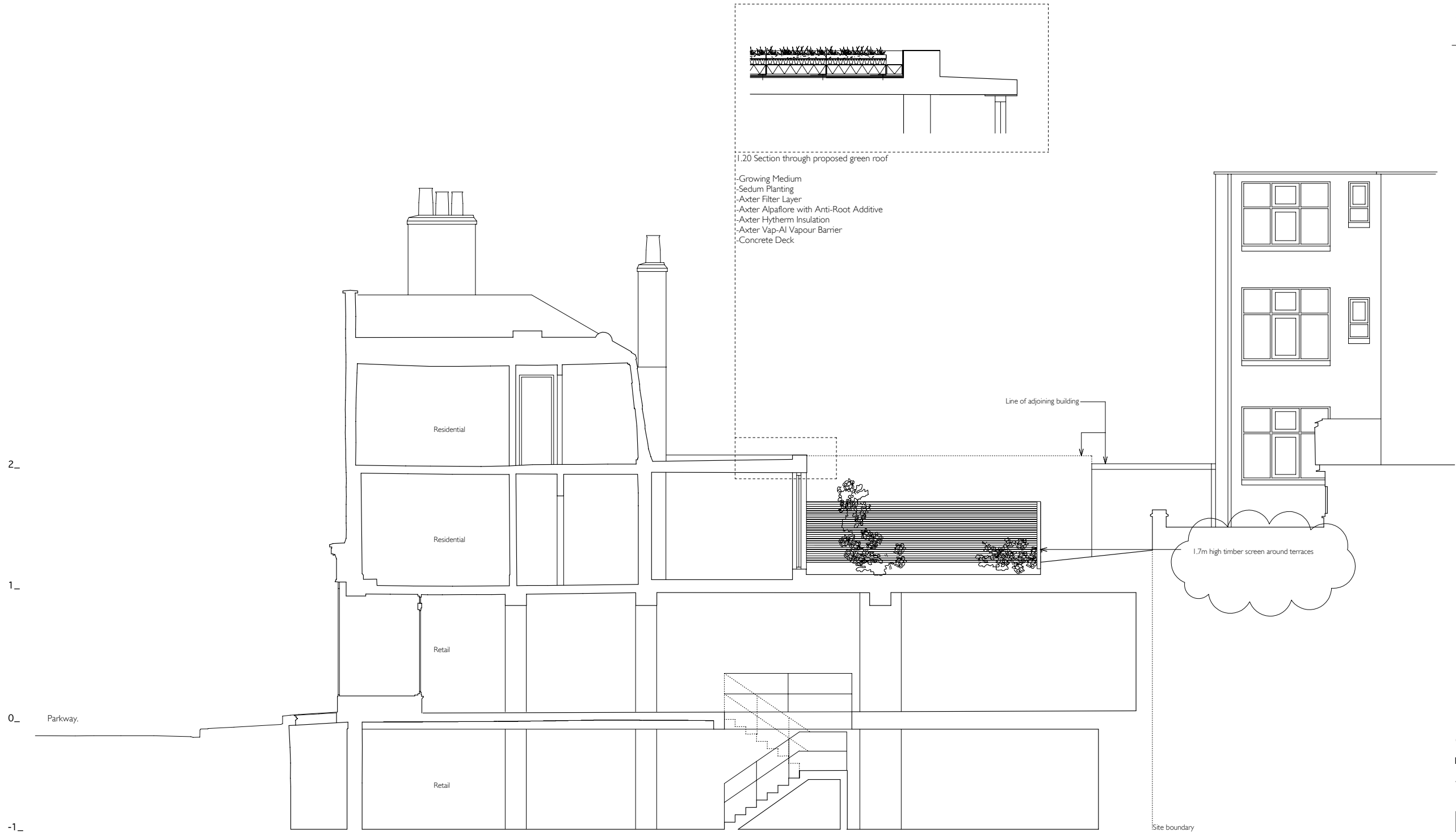
DETAILS REGARDING CONDITION 3 - GREEN ROOF  
33-37 Parkway . Camden\_0805\_pl\_005

GENERAL NOTES

Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.

Do not scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.

This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.



C	14/11/08		Timber privacy screen added
B	11.08	x	1st floor rear bay windows omitted
A	18/08/08		Green roof detail added
Rev	Date	H&S	Description

Status
PLANNING

Drawn	Checked	Date	Scale
RZ	AG	13.07.08	1:50@A1 1:100@A3

Job No.	Drwg No.	Revision
0805	P07	C

Drawing

PROPOSED LONG SECTION

Project

33-37 PARKWAY. CAMDEN





*Nature is gaining ground!*

**Pioneer of green roofs in France for more than 12 years  
Le Prieuré-Vegetal ID has developed an original concept**

## HYDROPACK®

the pre-planted tray complete with water reservoir providing a low-maintenance green roof to meet all your ecological requirements

- ◆ An all-in-one system
- ◆ Simple and quick to install
- ◆ Greater water storage capacity

*Nature is gaining ground!*

## HYDROPACK®

**A new technique to turn your roofs green**

Hydropack 'all in one' pre-planted modular trays offer the perfect solution for low-maintenance simple to install green roofs

DISTRIBUTED BY



DISTRIBUTED BY



### Key Features

- ◆ Pre-grown vegetation
- ◆ Effective drainage 500 holes/m<sup>2</sup>
- ◆ Water reserve 8 litres/m<sup>2</sup>
- ◆ Excellent water distribution
- ◆ Robust fixings
- ◆ Easy installation

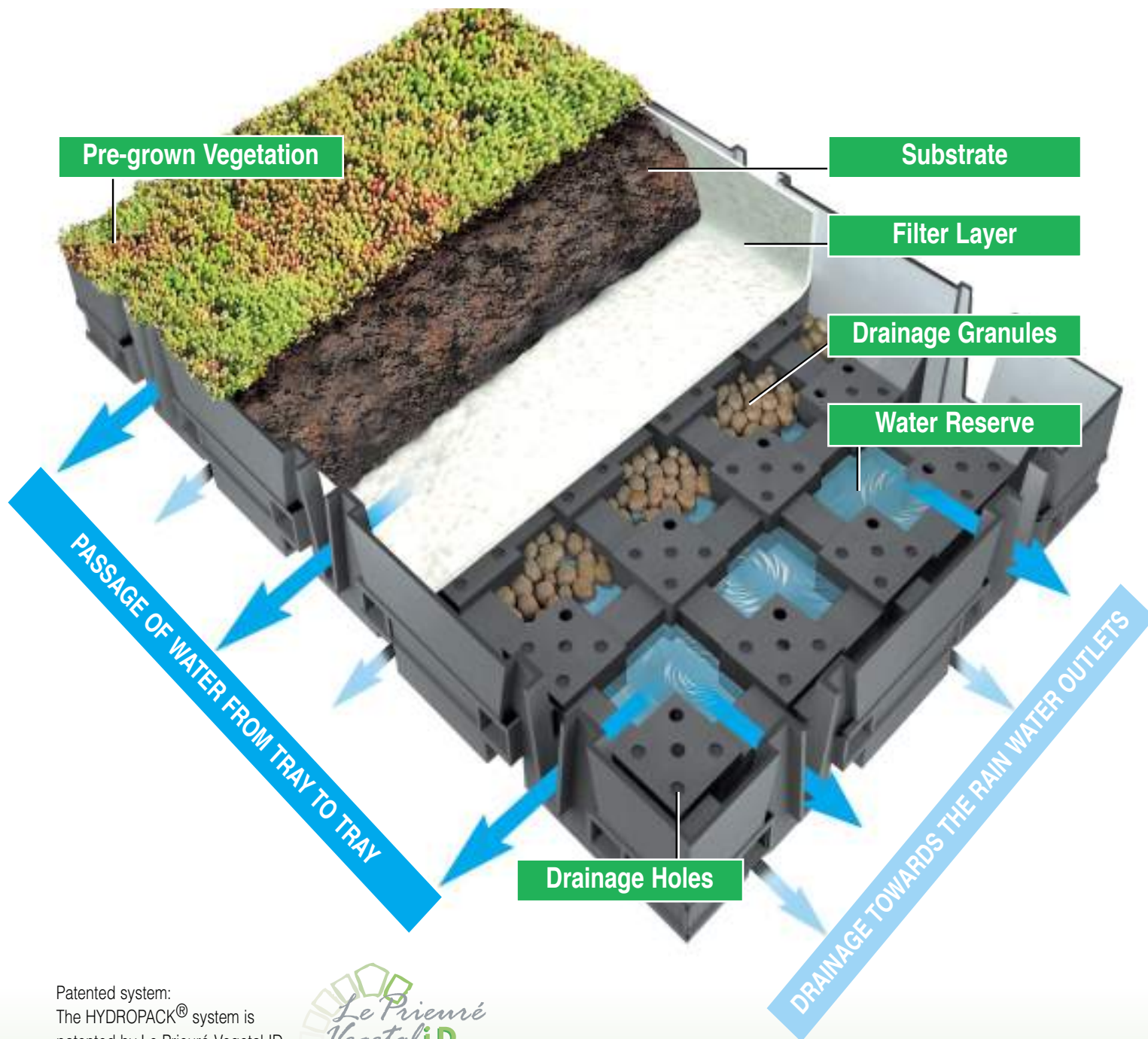
### Introduction

HYDROPACK® is a unique response to the increasing demand for extensive green roofs. HYDROPACK® is a complete extensive green roof system in a modular tray, ensuring excellent planting quality with simplicity of installation. HYDROPACK® comprises a tray manufactured from recycled high density polypropylene (HDPE), drainage granules, filter layer, growing medium and pre-grown vegetation. The trays can store up to 8 l/m<sup>2</sup> of water.



Manufacturers details for installed green roof system





Patented system:  
The HYDROPACK® system is  
patented by Le Prieuré-Vegetal ID

Le Prieuré  
Vegetal i.D.

**HYDROPACK®** distributed by **AXTER**

## Benefits of **HYDROPACK®**

### **Water storage**

With its innovative design HYDROPACK® has an increased amount of water available for plants. They are able to grow quickly, are robust and can withstand long dry periods in the summer. Where watering is required, such as on sloping roofs, the trays help to reduce the amount of water needed for irrigation.

During violent downpours HYDROPACK® reduces and delays water run off thus lessening the demand on the drainage system. Due to its original design of interconnection HYDROPACK® has excellent water distribution properties as water can freely circulate from cell to cell and from tray to tray.

Although HYDROPACK® has exceptional water storage capacity it does have a very effective drainage system with 500 holes/m² preventing plants from suffocating, particularly important on no-slope flat roofs.

### **Immediate and certain aesthetic results**

After a growing period of 12 – 18 months in the nursery, the HYDROPACK® trays are delivered with full plant cover. Once installed the immediate effect is of a green roof and then no special maintenance is required for the first two years. (This is not the case if planting takes place on the roof).

With 12 years' experience in green roofs, the Le Prieuré nursery has combined all its

technical expertise to select the most appropriate substrates and plants (sedums principally) for positive, durable results.

The pre-planted trays can be installed all year round (except in icy conditions or periods of extreme heat). HYDROPACK® is therefore a very flexible element of the works programme.

### **An all-in-one procedure**

HYDROPACK® encompasses in one simple product all the elements of a green roof system: drainage, filter, substrate and plant material.

All that is required is to lay the trays on the waterproofing. Installation is an extremely straightforward and speedy process (no horticultural expertise is required).

The shape of the tray and the V attachment system between modules make installation of the modules an easy operation with high tensile strength.

Site logistics are made simpler – with HYDROPACK® there is one delivery and one installation operation on the roof.

HYDROPACK® is the only system which allows activity on the waterproofing

(or maintenance or repair work) without constraint. Installation or removal of trays is an easy procedure.

### **The versatile solution**

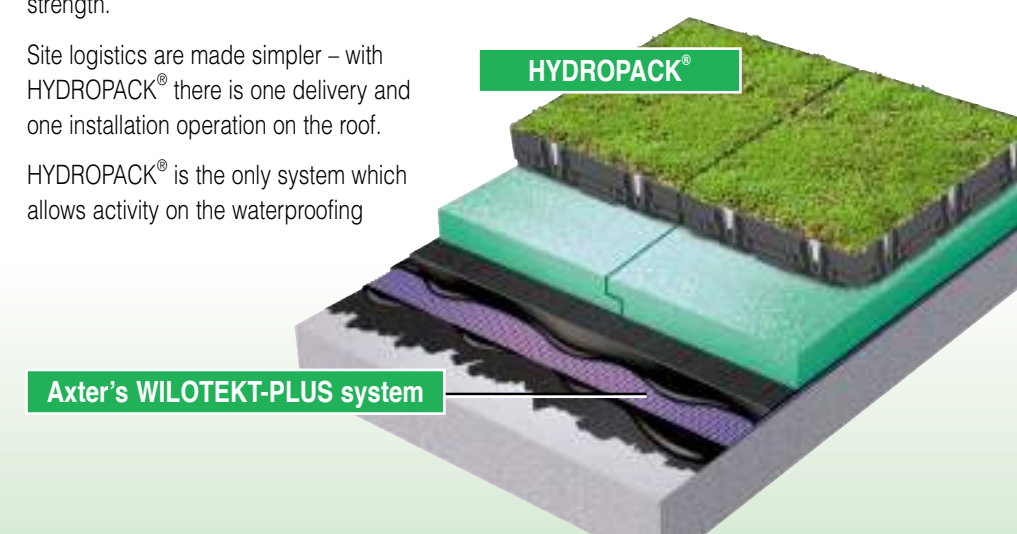
The characteristics of the water retaining tray make it perfectly adapted for use in most situations:

- Flat roofs
- Sloping roofs
- Roofs exposed to very strong winds

Due to the shape and rigidity of the tray installation is possible on most waterproofing decks: reinforced bitumen membranes, mastic asphalt, single-ply roofing, liquid applied roofing, etc.

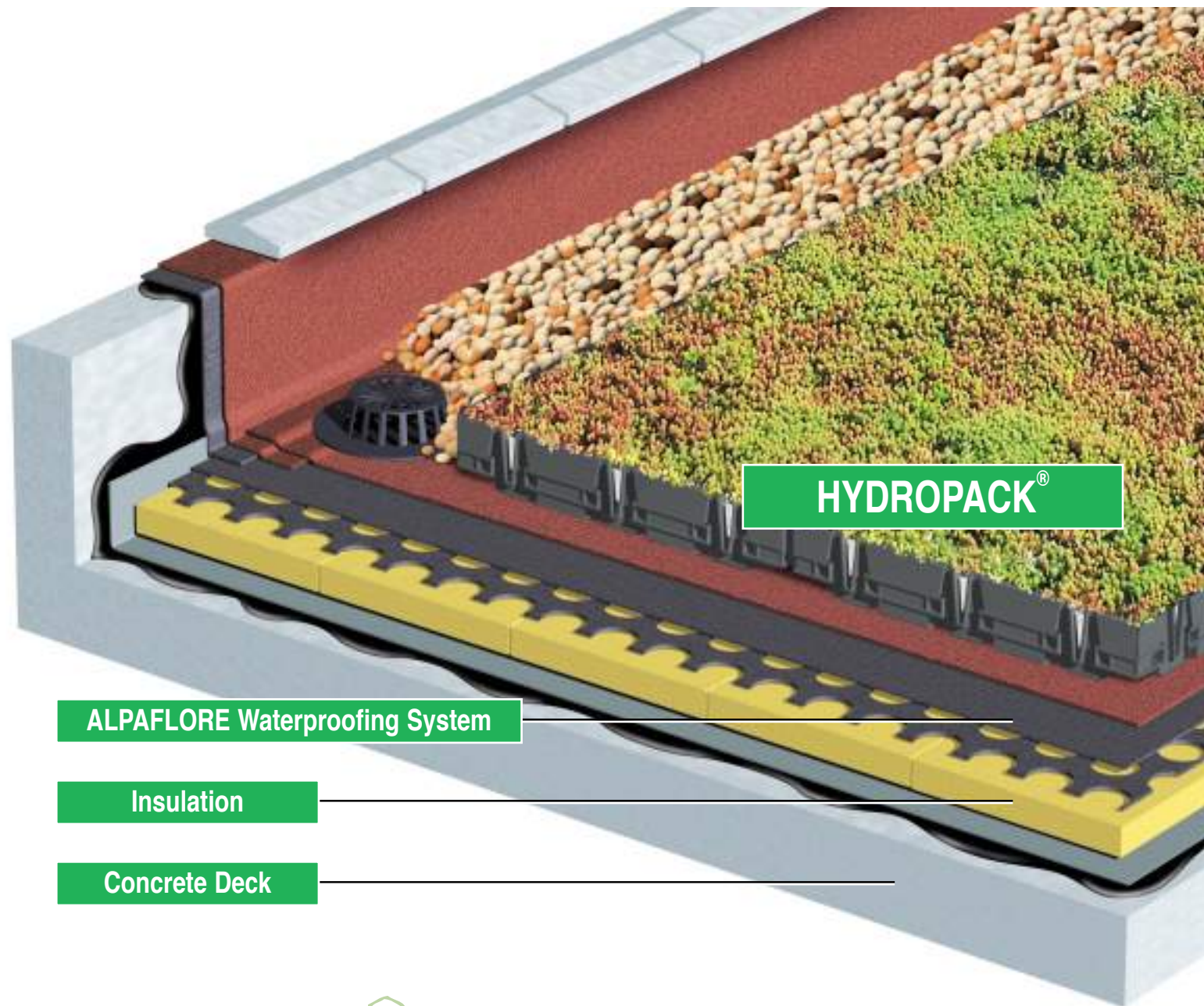
### **Compatible with Axter's green roof waterproofing membranes**

HYDROPACK® is ideal for use with Axter's Wilotekt-Plus (shown below) and Alpaflor green roof waterproofing systems.



Manufacturers details for installed green roof system





HYDROPACK®

ALPAFLORE Waterproofing System

Insulation

Concrete Deck

Patented system:  
The HYDROPACK® system is  
patented by Le Prieuré-Vegetal ID



HYDROPACK® distributed by AXTER

# HYDROPACK®

Product Characteristics		
External dimensions per unit (without fixing system)	Length 600 mm Width 400 mm Height 90 mm	
Tray material	Recycled HDPE	
Thickness of substrate	6cm	
Filter type	Non woven polyester	
Permanent water reserve (base of tray)	8 l/m²	
Maximum retention capacity of water (base of tray and substrate)	32 l/m²	
Drainage	– Number of drainage holes – Total drainage surface	500 holes/m² 333 cm²/m²
Weight of tray	– Dry – Saturated	12 kg (or 50 kg/m²) 21 kg (or 88 kg/m²)

## Installation

The HYDROPACK® tray is a very simple design; it is an “all-in-one” product which can be installed on the waterproofing membrane.

The HYDROPACK® trays are joined together using a hooking system around the edge.

No horticultural experience is required for this operation. Specialist roofing and waterproofing contractors can install the HYDROPACK® system without any difficulty.

## Maintenance

The pre-planted HYDROPACK® trays require only 1 or 2 maintenance checks on the roof per year. These checks should be carried out by the building owner or sub-contracted to a landscape or specialist contractor.

Through Axter Le Prieuré offers other planted systems: Vegetal ID multi-layer systems, with installation of pre-planted mats, micro-turf or sedum pieces. For each project the technical department at Axter Ltd carries out a technical analysis to propose the most appropriate solution.

HYDROPACK® is available in the UK and Eire from Axter Ltd.



**Axter Limited**  
West Rd Ransomes Europark Ipswich Suffolk IP3 9SX  
Tel (01473) 724056 Fax (01473) 723263  
Email sales@axterltd.co.uk

[www.axter.co.uk](http://www.axter.co.uk)

Axter also specialises in the design and manufacture of **acoustic roofing and cladding panels, continuous roof lights, domed roof lights, roof access units, smoke & fire ventilation equipment and external wall insulated cladding panels.**

Further details on the above and the specifications contained in this document can be obtained from Axter Ltd.

TECHNICAL INFORMATION AND SPECIFICATIONS WITHIN THIS DOCUMENT ARE A GENERAL GUIDE AND ARE SUBJECT TO CHANGE WITHOUT NOTICE. AXTER LTD DOES NOT ACCEPT RESPONSIBILITY FOR ERRORS OR FOR INFORMATION WHICH MAY BE CONSTRUED AS MISLEADING. ALL SPECIFICATIONS SHOULD BE CHECKED WITH AXTER LTD PRIOR TO THEIR USE.

JANUARY 2007

Manufacturers details for installed green roof system





Photos of as installed green roof system taken August 2016



GENERAL NOTES

Drawing to be read in conjunction with all information by architects, structural engineer & service consultants.

Do not scale from this drawing. All written dimensions to be checked on site before work commences. Discrepancies, where identified, must be reported to the architect immediately.

This drawing is the property of Latitude Architects and Designers and must not be reproduced or disclosed to any unauthorised person either wholly or in part without written consent.

EXISTING INTERNAL FEATURES TO BE RETAINED

- A Existing timber mouldings around window to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing.
- B Existing timber door frames and architraves to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing.
- C Existing timber architraves around door opening to be retained and refurbished. Sections of timber moulding to match to be pieced in where existing is damaged or missing. Door opening to be infilled with slightly recessed panel to allow old door opening to be read.
- D Existing timber balustrades and paneling to staircase to be retained and refurbished. Timber sections to match existing to be pieced in where existing is damaged or missing.

A	11.08	x	Bays omitted from rear. Notes re existing features added.
Rev	Date	H&S	Description

Status
PLANNING

Drawn	Checked	Date	Scale
RZ	AG	13.07.08	1:50@A1 1:100@A3

Job No.	Dwg No.	Revision
0805	P04	A

Drawing

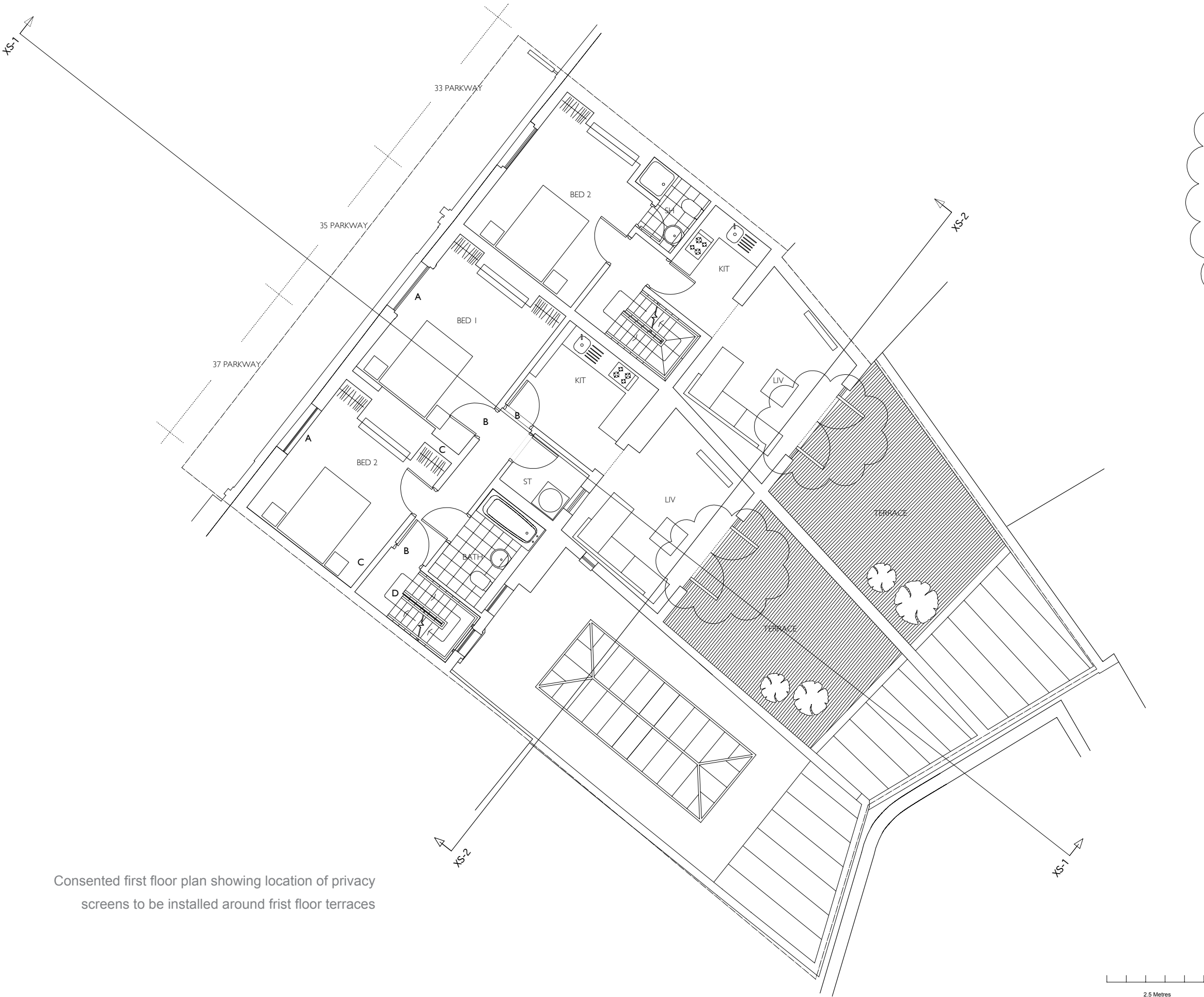
PROPOSED FIRST FLOOR

Project

33-37 PARKWAY. CAMDEN

latitude

Latitude Architects 15 Weller Street London SE1 1QU  
T +44 (0) 20 7234 0235 F +44 (0) 20 7234 0245



Consented first floor plan showing location of privacy screens to be installed around frist floor terraces

DETAILS REGARDING CONDITION 4 - PRIVACY SCREENS

33-37 Parkway . Camden\_0805\_pl\_0011





Photos of as installed privacy screens to first floor terraces  
taken August 2016



Latitude Architects  
15 Weller Street  
London  
SE1 1QU

t. +44 (0)20 7234 0235

[www.latitudearchitects.com](http://www.latitudearchitects.com)

[design@latitudearchitects.com](mailto:design@latitudearchitects.com)