

### INTERNAL WORKS SCHEDULE

#### NEW ENTRANCE LOBBY

- PROVIDE NEW TIMBER / GLAZED ENTRANCE LOBBY CONSISTING OF POLISHED STAINED 1100MM HIGH TIMBER PANELLED SCREEN WITH 1300MM HIGH SAFETY GLAZED CLEAR TOUGHENED GLASS TIMBER SCREEN ABOVE & POLISHED STAINED TIMBER PANELLING UP TO CEILING LEVEL. THE PROPOSED LOBBIES & NEW MATTING WILL SIT DIRECTLY ON TOP OF THE EXISTING & RETAINED FLOORBOARDS AND THAT THE FIXINGS INTO THE FLOOR STRUCTURE ARE TO BE LIMITED.
- PROVIDE NEW TIMBER / GLAZED POLISHED TIMBER LOBBY DOORS, FRAMES & ARCHITRAVES.

#### BAR SERVERY ALTERATIONS

- REMOVE / ADAPT MASONRY WALLS IN THE WASH UP AREA MAKING GOOD AS NECESSARY. RETAIN & EXTEND THE EXISTING POLISHED TIMBER DADO BOARDING, TIMBER SKIRTING & CORNICE USING MATERIALS TO MATCH EXISTING. ALL DADO BOARDING & SKIRTINGS TO BE A POLISHED FINISH.
- REMOVE 1NO. AREA OF EXISTING BAR COUNTER MAKING GOOD & EXTEND THE BAR COUNTER USING POLISHED TIMBER BOARDING TO BAR FRONTS TOGETHER WITH POLISHED TIMBER BAR TOP & SKIRTING ALL TO MATCH EXISTING.
- PROVIDE NEW SECTION OF BAR BACKFITTING WITH UPPER BACKFITTING TO COMPRISE OF POLISHED TIMBER COUNTER TOP, TIMBER PILASTERS, TIMBER DISPLAY SHELVES & A COMBINATION OF MIRROR & TILED FINISHES. REFER TO DWG NO. 3373-09 FOR FURTHER DETAILS.
- ADAPT THE EXISTING CENTRAL BAR BACKFITTING WITH UPPER BACKFITTING TO CONSIST OF NEW TIMBER PILASTERS, TIMBER DISPLAY SHELVES & A COMBINATION OF MIRROR & TILED FINISHES. REFER TO DWG NO. 3373-09 FOR FURTHER DETAILS.
- PROVIDE A POLISHED BRASS FOOTRAIL TO THE BAR COUNTER AREAS.
- AS INDICATED THE BAR COLUMN & HOIST WALLS ARE TO BE TILED FULL HEIGHT ABOVE THE BAR COUNTER TOPS & DADO BOARDING USING A 150 X 75MM TILE, LAID IN A BRICK BOND PATTERN - SEE DETAIL.
- PROVIDE NEW ALTRO VINYL FLOORING TO BAR SERVERY AREAS.

#### FLOORING WORKS

- THE EXISTING TIMBER FLOORING IS TO BE STRIPPED & RE-POLISHED.

#### ACCESSIBLE TOILET

FORM NEW ACCESSIBLE TOILET WITH FULL HEIGHT TIMBER PARTITION WALL, NEW CORNICE, PICTURE RAIL, DADO RAIL & SKIRTING ALL TO MATCH EXISTING. NEW PART M COMPLIANT SANITARYWARE. TOILET.

#### GENERALLY TO ALL BAR & PUBLIC AREAS

- REDECORATE ALL EXISTING PAINTED CEILINGS & CORNICES.
- RE-DECORATE ALL PAINTED WALLS & RE-WALLPAPER ALL WALLPAPERED WALLS.
- FORM NEW POLISHED TIMBER DRINK SHELVES WHERE SHOWN.
- REPOLISH ALL EXISTING POLISHED TIMBER BOARDING, BAR COUNTERS, SCREENS & SKIRTINGS
- RETAIN EXISTING FIREPLACES - NO DECORATIONS.
- RETAIN EXISTING FIXED SEATING & RE-UPHOLSTER.
- NEW REPLACEMENT ENTRANCE MATTING PROVIDED WHERE INDICATED.
- NEW REPLACEMENT LOOSE FURNITURE & EXTERNAL FURNITURE.
- REPLACE ALL EXISTING DECORATIVE LIGHT FITTINGS (PENDANTS & WALL LIGHTS) RETAINING EXISTING LIGHTING POINTS.
- RE-DECORATE ALL EXISTING PAINTED WINDOW FRAMES / CILLS. RE-PAINT OR RE-POLISH ALL EXISTING DOORS / ARCHITRAVES & SKIRTINGS TO MATCH EXISTING AS APPLICABLE.

#### EXTERNAL DECORATIONS SCHEDULE

PROVIDE FULL 'LIKE FOR LIKE' RE-DECORATIONS TO ALL PREVIOUSLY PAINTED AREAS CONSISTING OF ALL GROUND & FIRST FLOOR WINDOWS, WINDOW SURROUNDS, DOORS / FRAMES / ARCHITRAVES, PILASTERS & CORNICING PAINTED WITH COLOUR TO MATCH EXISTING.

#### FUSION BY DESIGN

All design work and information provided on this drawing must under NO circumstances be reproduced in any form without the prior written approval by Fusion by design.

#### NOTE TO ALL CONTRACTORS:-

Under NO circumstances must dimensions be scaled from this drawing. All contractors must be responsible for taking and checking all dimensions upon visiting site. All contractors must advise the DESIGNER immediately, in writing, of any discrepancies.

This drawing is to be read in conjunction with the bill of quantities / specification and any related drawing. The contractor must ensure that all items detailed on this drawing are included when tendering even if not covered by the specification. The Designer must be advised in writing of all such items. Any discrepancies between drawings and specification must be resolved with the Designer prior to commencing works.

All structural work must be carried out in strict accordance with the drawing and calculations provided by the appointed Structural Engineer. All structural work must be inspected at all relevant stages by both the Structural Engineer and Building Inspector, any changes or alterations must have their express written approval. Any costs incurred due to either claims for damages, loss of trade, etc by failing to do so will be the sole liability of the contractor.

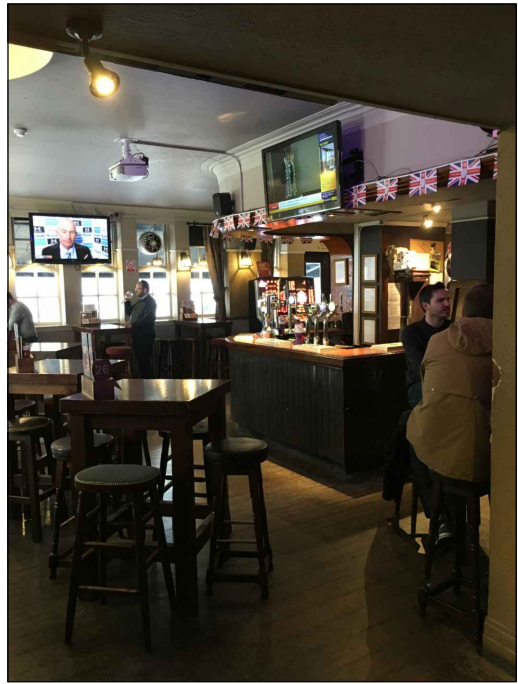
All works must be carried out in strict accordance with all Local Authority, British & European Standards. If in doubt, it is the responsibility of the contractor to contact all relevant parties.

Under the guidance of CDM 2015, the designer will not commence work in relation to a project unless satisfied that the client is aware of their duties duly owned and obligated to them under these regulations. This drawing precludes Fusion by Design Ltd, from the role of Principal Designer unless otherwise contractually engaged.

DESCRIPTION	EXISTING	PROPOSED
GF EDA (incl toilets, lobbies excl bar servery)	119 SQ.M	119 SQ.M
INTERNAL COVERS		
GROUND FLOOR	97	113
INTERNAL TOTAL	97	113
EXTERNAL COVERS		
EXTERNAL TOTAL	48	48
TOTAL COVERS	153	161



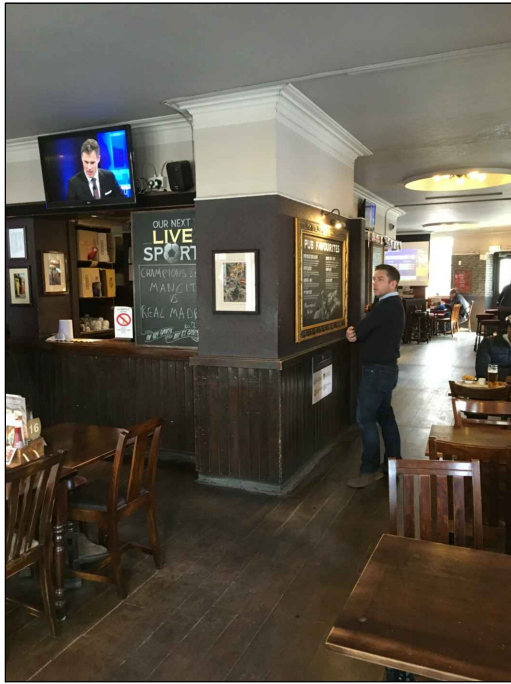
**EXTERNAL FASCIDE**  
NEW 'LIKE FOR LIKE' EXTERNAL PAINT RE-DECORATIONS



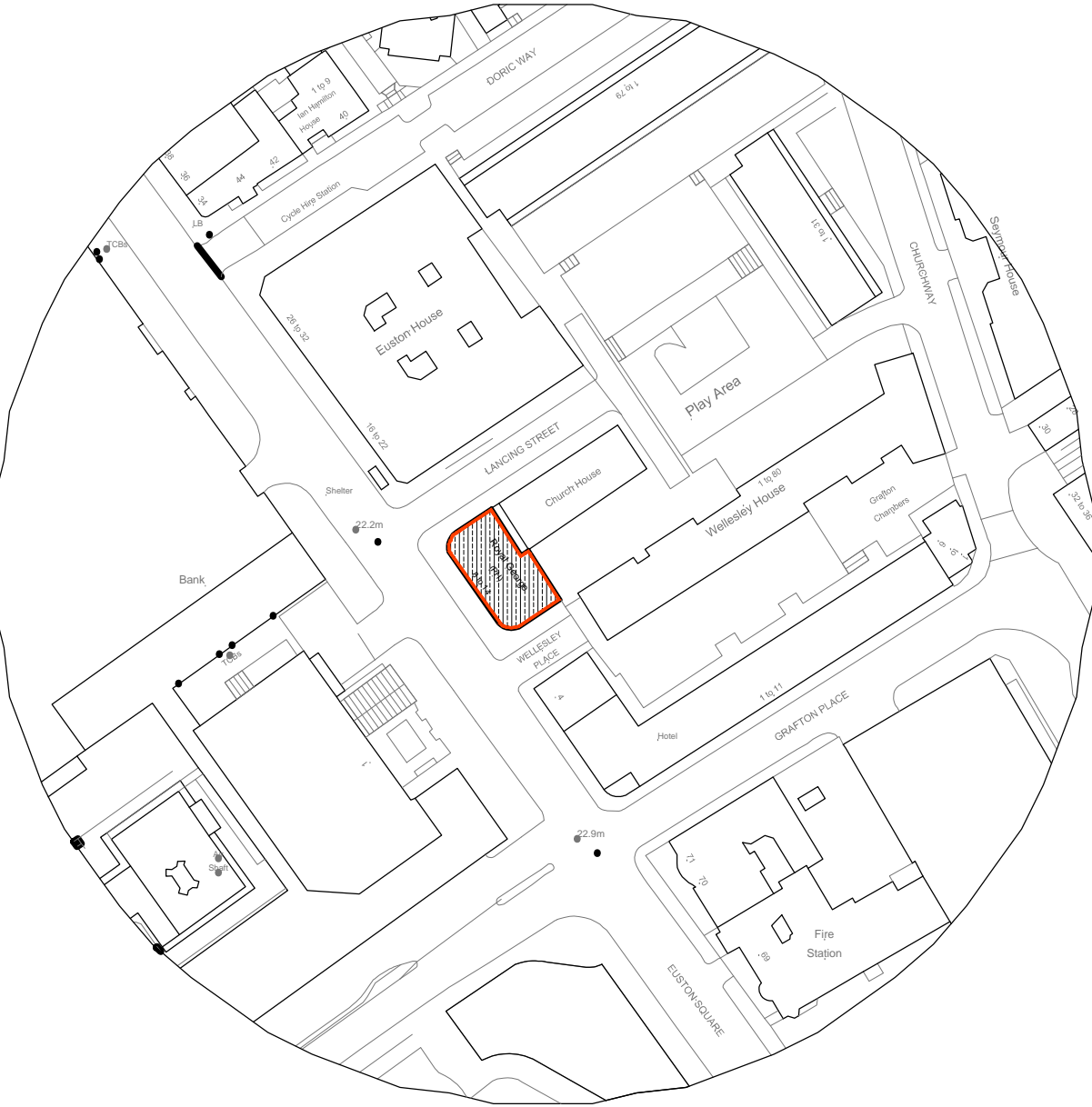
**BAR SERVERY AREAS**  
ALTERATIONS TO BAR COUNTER & BACKFITTING, RE-POLISH TIMBER FLOOR & RE-DECORATIONS



**BAR SERVERY AREAS**  
ALTERATIONS TO BAR COUNTER & BACKFITTING, RE-POLISH TIMBER FLOOR & RE-DECORATIONS



**EXISTING STRUCTURE**  
ADAPT EXISTING WALL STRUCTURE MAKING GOOD TO WALL & FLOOR FINISHES



LOCATION PLAN - scale 1:1250



**EXTERNAL FASCIDE**  
NEW 'LIKE FOR LIKE' EXTERNAL PAINT RE-DECORATIONS



**BAR AREAS**  
REFURBISHMENT & RE-DECORATIONS. RETAIN EXISTING FIREPLACE & FEATURE SURROUNDS.

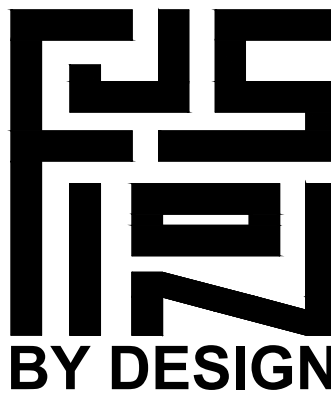


**BAR SERVERY AREAS**  
ALTERATIONS TO BAR COUNTER & BACKFITTING AND RE-DECORATIONS



**BAR SERVERY AREAS**  
ALTERATIONS TO BAR COUNTER & BACKFITTING AND RE-DECORATIONS

A. DL PLANNING MODIFICATIONS. 26.08.16  
Revision



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Client  
**GREENE KING**

Job Title  
**THE ROYAL GEORGE**  
**8-14 EVERS Holt STREET**  
**LONDON, NW1 1DG**

Drawing Title  
**PROPOSED GROUND FLOOR**  
**LISTED BUILDING WORKS**

Scale <b>1:50</b>	Drawing No <b>3373-03</b>	Revision <b>A</b>
Date <b>MAY '16</b>		
Drawn By <b>CH</b>		