

# 5.0 Aldwych Workshops

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Parker House

## 5.0 Aldwych Workshop

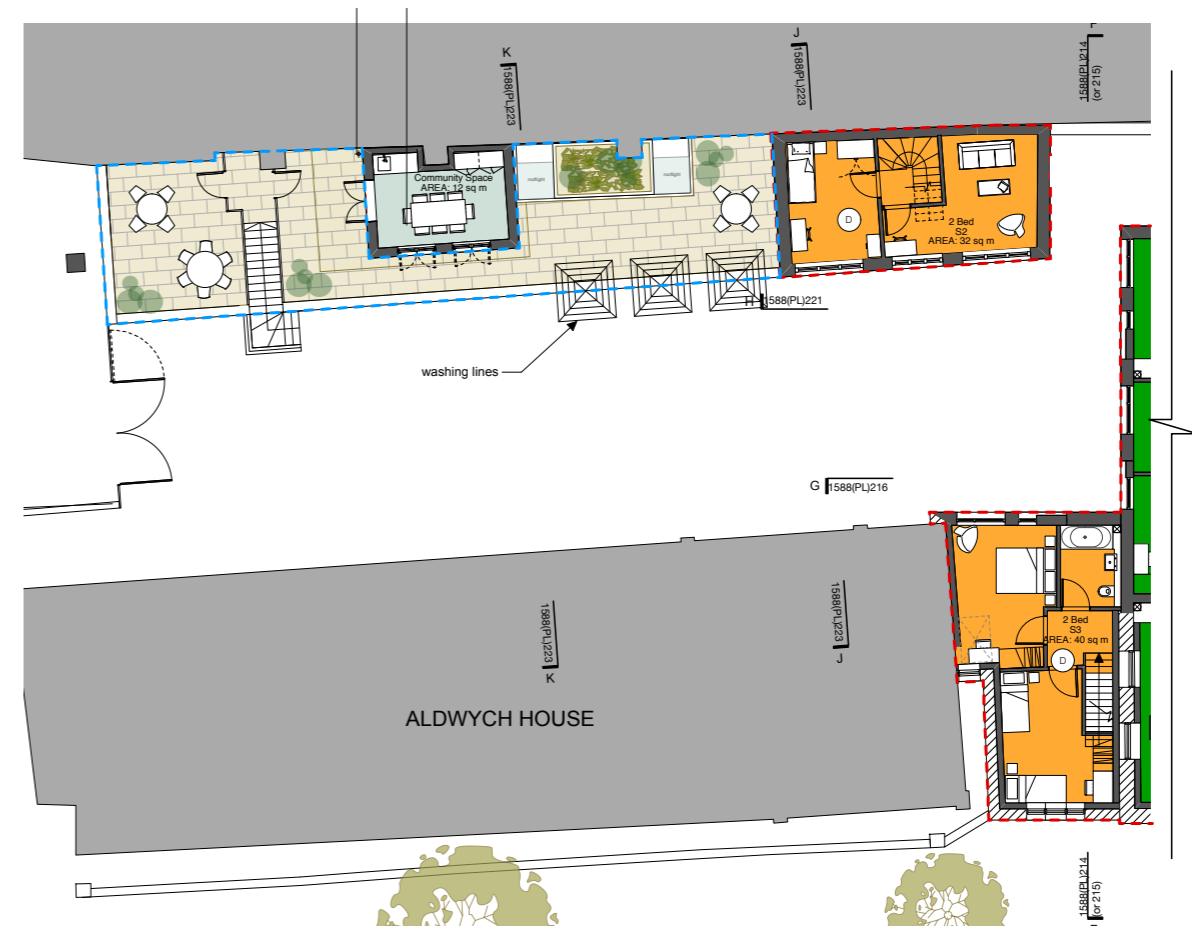
### 5.01 Aldwych Workshops Plan

#### Consented Ground and First Plan

Following initial requirements for a 14sq.m electrical substation from UKPN, a NMA to the original planning consent (2012/6132/P), gained approval to include this space, and at the same time inserted a 12sq.m community room onto the first floor terrace in lieu of the space being taken up at ground floor.



▲  
Figure 1.19  
Consented Ground Floor Plan of Aldwych Workshops



▲  
Figure 1.20  
Consented First Floor Plan of Aldwych Workshops

## 5.0 Aldwych Workshop

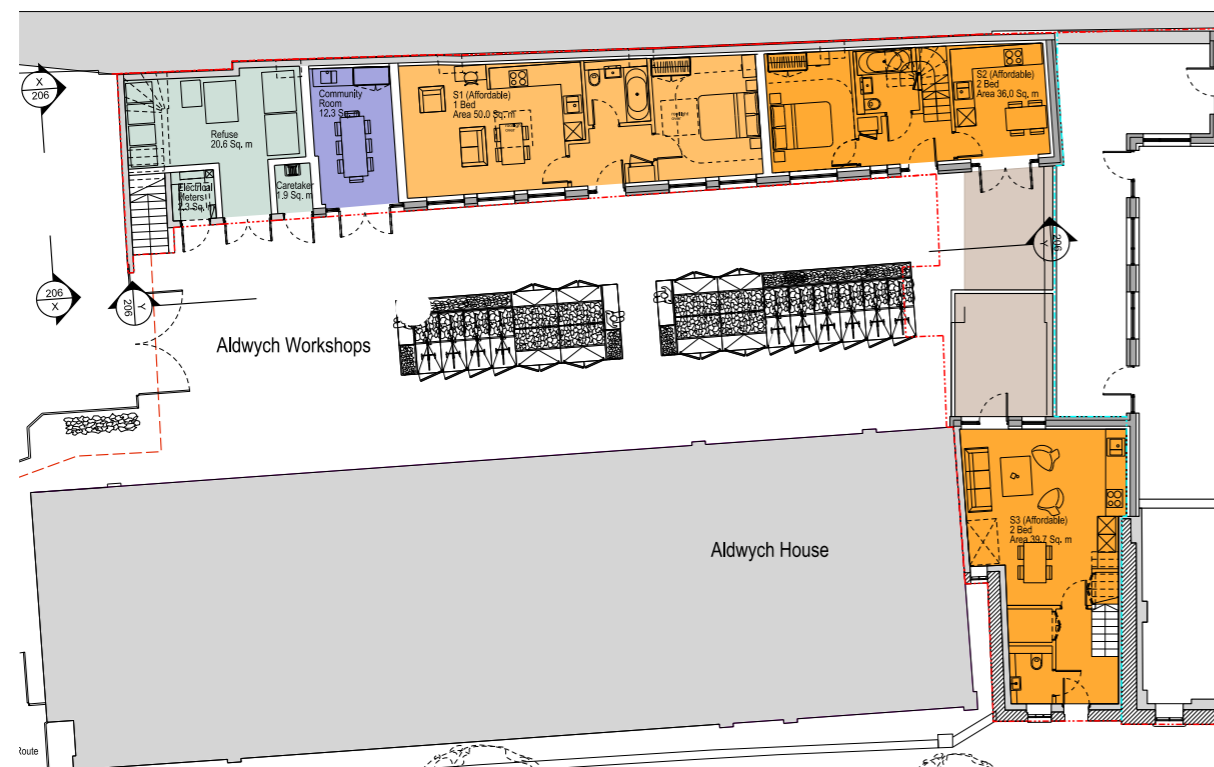
### 5.02 Aldwych Workshops Plan

#### Proposed Ground and First Plan

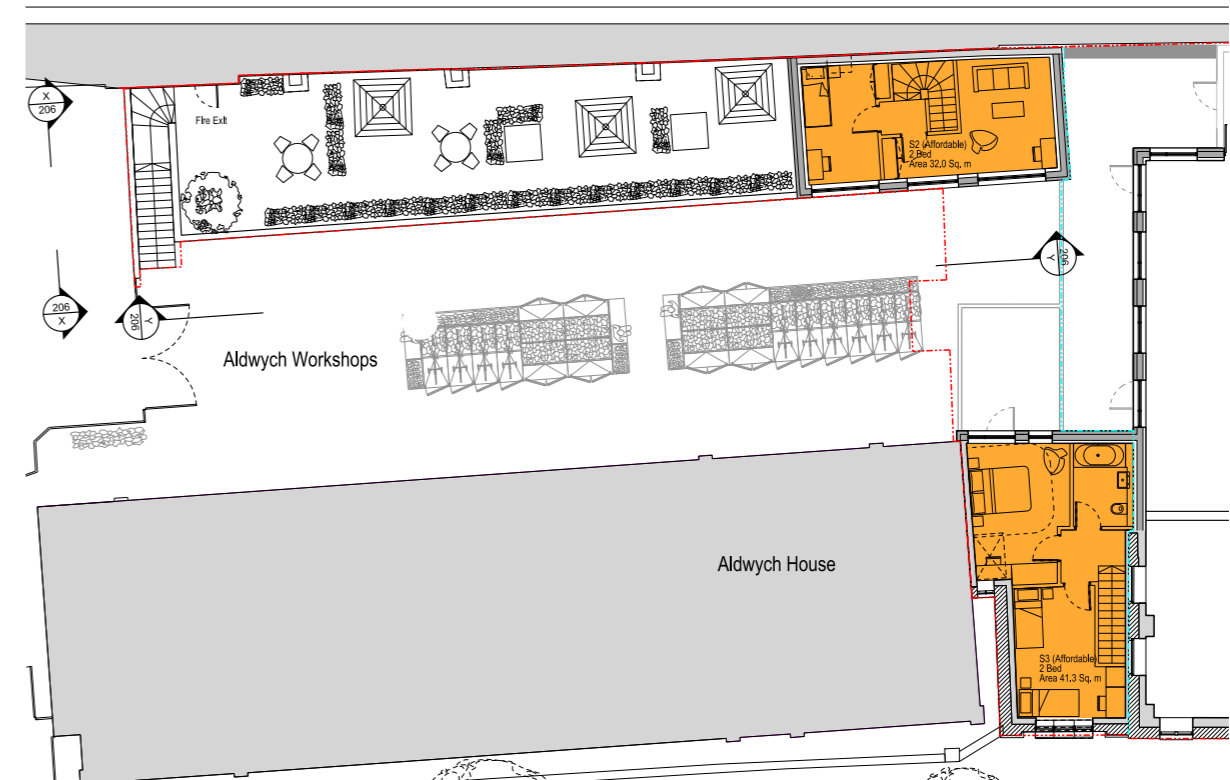
Following confirmation from UKPN that the electrical substation is no longer required, this NMA seeks to substitute the space previously designated for the substation, as the community room. Relocating the community room from the first floor to ground allows for wheelchair access, which previously did not. Furthermore, the proposal returns the first floor terrace to its existing, open form, maintaining the characteristics of the townscape.

Stairs which serves as access to communal terrace space and fire escape for 10-14 Macklin St. building have been maintained, however, reallocated and amended to be compliant with current building regulations.

Whilst altering certain elements of the building, the residential units remain unchanged from previous consent.



▲  
Figure 1.21  
Proposed Ground Floor Plan of Aldwych Workshops



▲  
Figure 1.22  
Proposed First Floor Plan of Aldwych Workshops

## 5.0 Aldwych Workshop

### 5.03 Aldwych Workshops Elevation



▲  
Figure 1.23  
Existing Front Elevation of Aldwych Workshops



▲  
Figure 1.24  
Consented (Application 2012/6132/P) Front Elevation of Aldwych Workshops



▲  
Figure 1.25  
Consented (Application 2013/5872/P) Front Elevation of Aldwych Workshops

## 5.0 Aldwych Workshop

### 5.04 Aldwych Workshops Elevation

#### Proposed Front Elevation

The proposal seeks to make minor changes to the front elevation of the Aldwych Workshops following the relocation of the community room to the ground floor. The changes include:

- Relocation of stairs to end of building as is the case in the existing condition. This is preferable for the function as a fire escape from 10-14 Macklin St. This escape stair case was not previously meeting building regulations.
- Elimination of one pair of vented double doors, and relocation of the other. This will serve as access to the refuse store, and is more appropriate to be located away from the residential units. Following feedback from fire consultant, these doors are located over 1800mm from fire escape, which is not the case in the consented scheme.
- Introduction of large glazed doors to serve as access to Community Room. The design seeks to emulate the style of the other fenestration in the Aldwych Workshops, whilst maximising daylighting to this communal space.



Figure 1.26  
Proposed Front Elevation of Aldwych Workshops



# 6.0 Summary

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Parker House

## 6.0 Summary

### 6.01 Proposed Scheme Changes Summary

The proposed changes to the consented scheme are as follows:

#### 1. Ground Floor:

- Increase the size of the residential lobby to maximise the active frontage onto Parker Street in line with the GLA's Housing Supplementary Planning Guidance (2016).
- Entry sequence benefits
- Policing increased with a greater connection between the lobby and the street.

#### 2. Apartment Layouts:

- Reconfigure apartment layouts to provide enhanced internal spaces and apartment layouts.
- The proposed scheme includes private external amenity space to an additional 2 units.

#### 3. Apartment Mix:

- Revise the apartment mix to:

3B: 6 units

2B: 18 units

1b: 14 units

Studio: 2 units

#### 4. Elevations:

- Proposals for the rear facades follow the same 'rules' as with the consented scheme; the solid 'infill' panels within the regular grid of fenestration respond to the internal layouts.
- Minor changes in the placement of these solid panels do not alter the overall pattern, and result in a greater amount of internal daylighting.

#### 5. Aldwych Workshops:

- Electrical substation no longer required.
- Community room relocated to ground floor.
- Stairs to terrace relocated.







# 7.0 Appendix

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Parker House

## 7.0 Appendix

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### 1 Introduction

- 1.1 Point 2 Surveyors have been instructed to consider the daylight and sunlight effects of the Parker House redevelopment in respect of the proposed Non Material Amendments (NMA) to the consented scheme. This Addendum Statement follows on from the Daylight & Sunlight Report prepared by GVA Schatunowski Brooks dated November 2012 (The GVA Report).
- 1.2 The purpose of this Addendum Statement is to assess if the NMA will lead to any additional impact to the daylight and sunlight amenity enjoyed by existing neighbouring dwellings beyond that reported in the GVA Report. Consideration has also been given to the daylight quality within the new habitable rooms.

### 2 Methodology

- 2.1 All daylight and sunlight assessments have been undertaken in accordance with the Building Research Establishment (BRE) Guidelines: 'Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice' 2011, together with the standards contained in the British Standard Code of Practice for Daylighting, BS8206, Part 2.
- 2.2 The assessments have been run on the same 3 neighbouring residential properties identified in the GVA Report and the addendum has therefore been prepared on a 'like for like' basis.

### 3 Daylight & Sunlight Results to Neighbouring Properties

- 3.1 The following 3 residential properties have been considered; 34-38 Parker Street, Powis House and 21-30 Parker Street.
- 3.2 The results demonstrate that all windows and rooms contained within these 3 buildings would have no change in their daylight and sunlight condition or very minor reductions beyond the levels demonstrated by the consented scheme. The overall rate of compliance would remain unchanged and the results are therefore considered acceptable in accordance with the BRE guidelines.

### 4 Internal Daylight Amenity

- 4.1 The NMA drawings prepared by Robin Partington & Partners Architects demonstrate minor changes to the internal layouts to a number of units. However, the size and location of the window glazing will remain consistent with the consented scheme.
- 4.2 The scale of the amendments is such that the overall rate of compliance with the British Standard Code of Practice would remain unchanged with improved levels of daylight amenity to Unit 17 at first floor level. The changes to the layouts are therefore considered acceptable.

### 5 Conclusion

- 5.1 Overall, the effect of the proposed NMA will continue to demonstrate 'no unreasonable impact' as a result of the redevelopment of Parker House and the conclusions of the GVA Report would remain unchanged. The new dwellings will continue to achieve good levels of daylighting amenity in accordance with the British Standard Code of Practice.

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