

# 4.0 Elevations

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Parker House

## 4.0 Elevations

### 4.01 Rear Elevation

#### Consented Rear Elevation



Section Elevation (A-A)

▲  
Figure 1.9  
Consented Rear Elevation

## 4.0 Elevations

### 4.02 Rear Elevation

#### Proposed Rear Elevation

The strategy for fenestration in the new build facades away from Parker Street in the consented scheme had the following characteristics:

- A regular grid of openings whose size, proportion and spacing relates to neighbouring buildings.
- A variety of infill conditions relating to the internal layout, including: fixed/openable windows, and solid panels in the same material as the 4th and 5th floor cladding.
- The proposal follows the same strategy, meaning that any changes in the infill condition relate to changes in the internal layout.
- The result is a similar pattern across the facades between the consented and proposed designs, with the only difference being a higher overall proportion of glazing in the proposed design, resulting in greater internal day lighting.



▲  
Figure 1.10  
Proposed Rear Elevation

## 4.0 Elevations

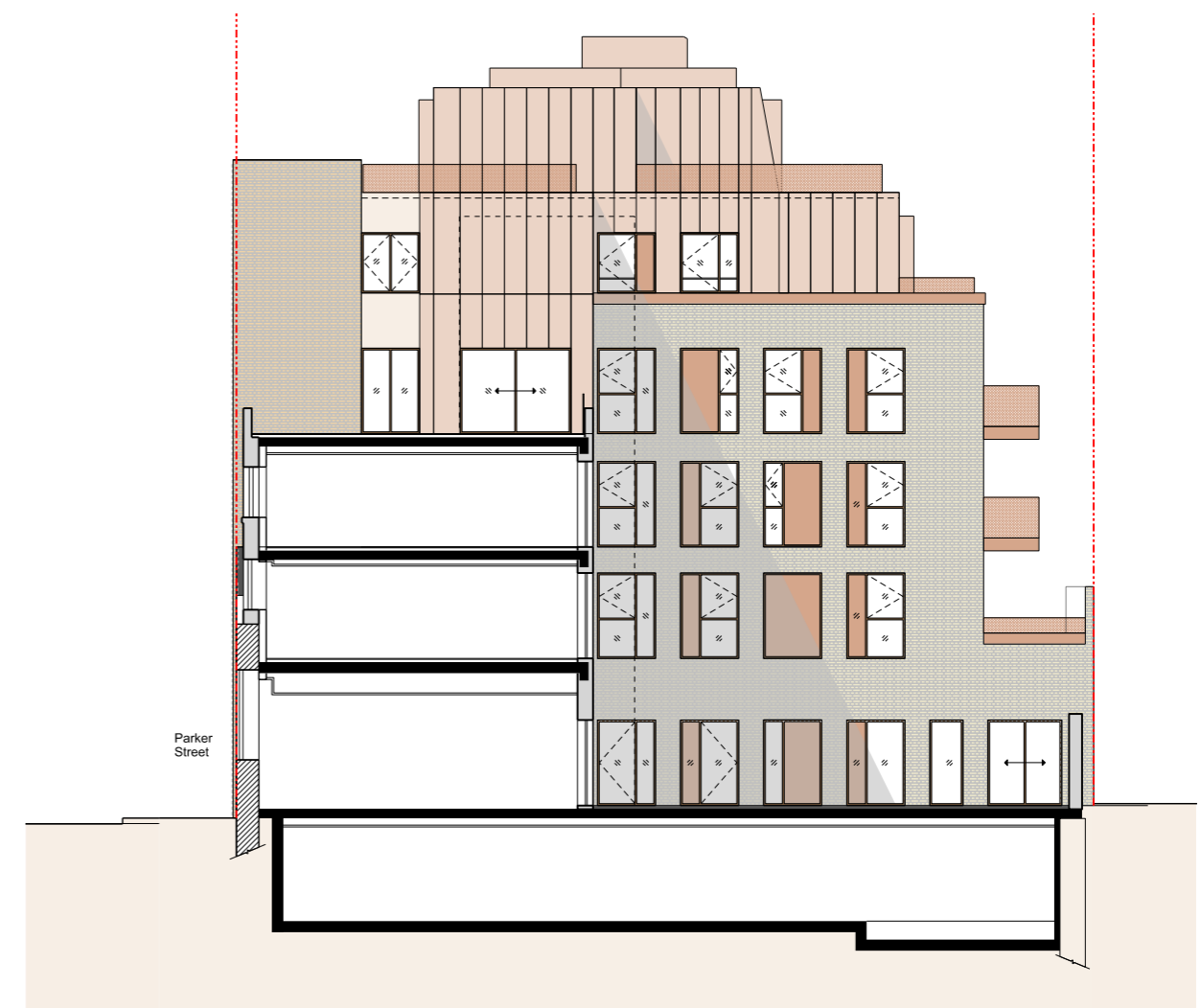
### 4.03 North-East Elevation

#### Consented North-East Elevation



▲  
Figure 1.11  
Consented North-East Elevation

#### Proposed North-East Elevation



▲  
Figure 1.12  
Proposed North-East Elevation

## 4.0 Elevations

### 4.04 South-West Elevation

Consented South-West Elevation



▲  
Figure 1.13  
Consented South-West Elevation

Proposed South-West Elevation



▲  
Figure 1.14  
Proposed South-West Elevation

## 4.0 Elevations

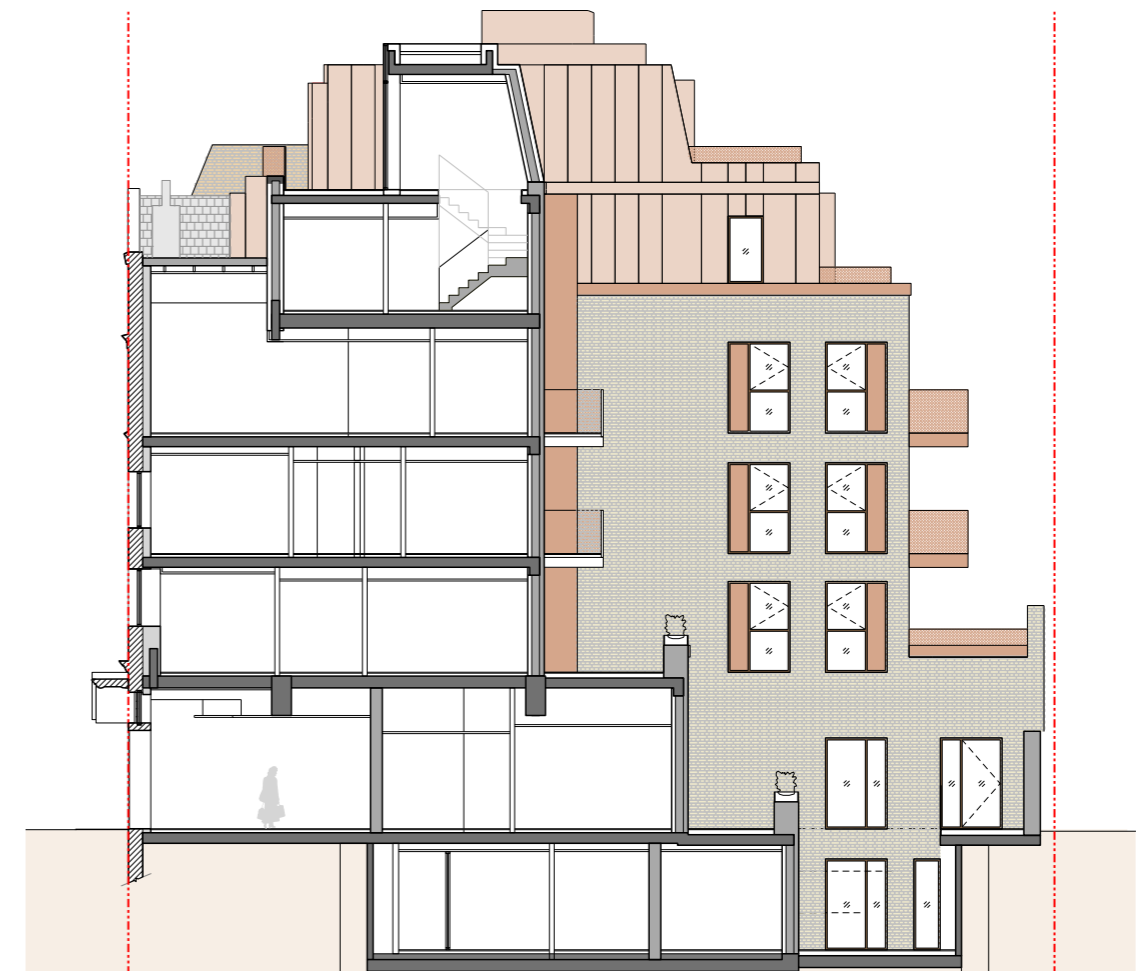
### 4.05 North-East Wing Elevation

#### Consented North-East Wing Elevation



▲  
Figure 1.15  
Consented North-East Wing Elevation

#### Proposed North-East Wing Elevation



▲  
Figure 1.16  
Proposed North-East Wing Elevation

## 4.0 Elevations

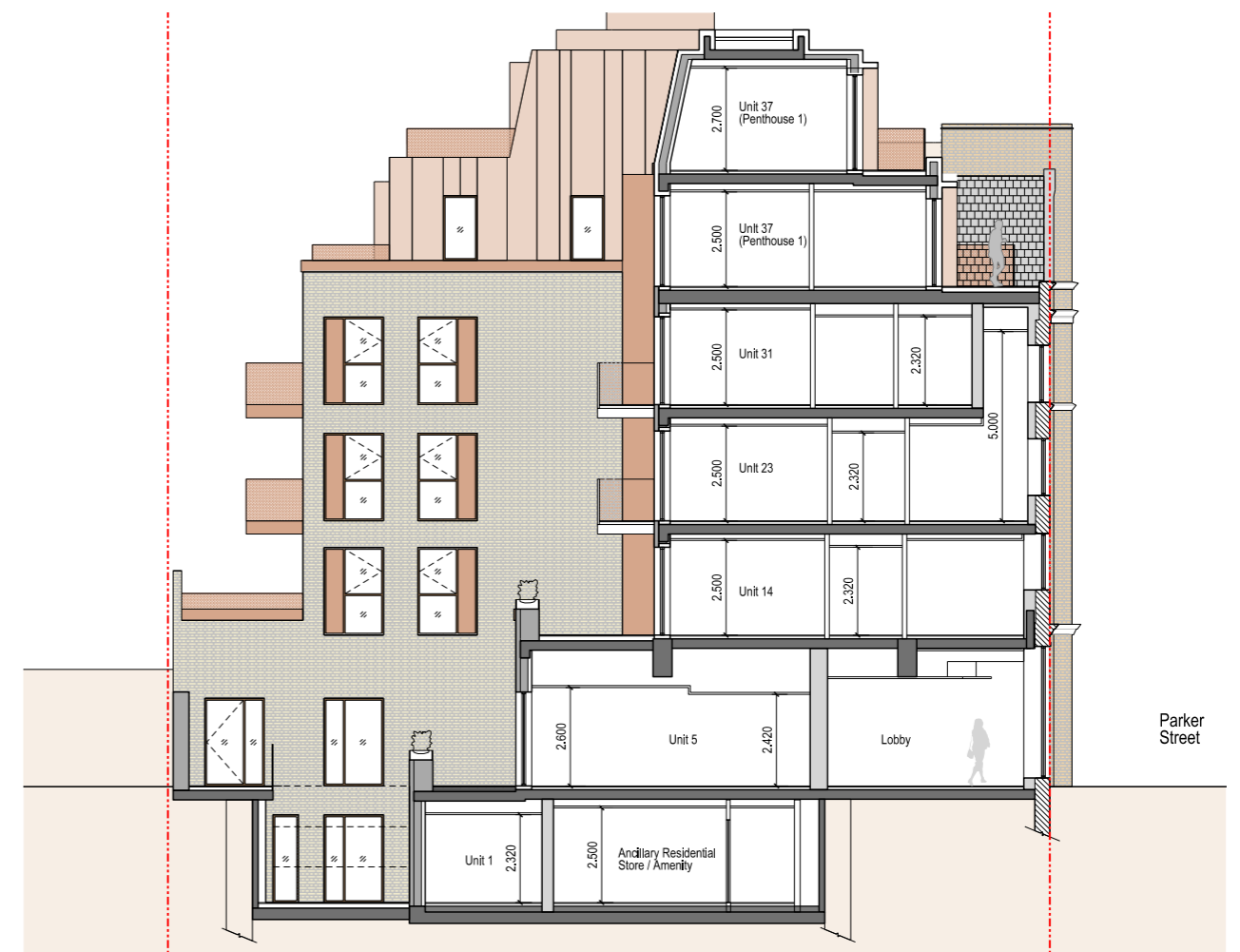
### 4.06 South-West Wing Elevation

#### Consented South-West Wing Elevation



▲  
Figure 1.17  
Consented South-West Wing Elevation

#### Proposed South-West Wing Elevation



▲  
Figure 1.18  
Proposed South-West Wing Elevation

