

Jacqui Allen
TFT
65 Woodbridge Road
Guildford
GU1 4RD

Application Ref: **2016/3009/P**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 **1017**

17 August 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
7 Gower Street
London
WC1E 6HA

Proposal:

Installation of 1 x AC unit to rear lightwell within the existing boiler house

Drawing Nos: LP01, LP02, E01 A, E02, E03, EP01 A, EP02 A, P01 A, P02, P03, P04, P05 A, P06 A, P07 A, P08 A, E-400 T1, E-401 T1, D-300 T1, S-200 T1, GA-110 T1, 07GS-RGL-00-01-DR-M-54-0001-D2 T1, 07GS-RGL-00-01-DR-M-55-0001-D2 T1, 07GS-RGL-00-00-DR-M-54-0001-D2 T1, 07GS-RGL-00-00-DR-M-55-0001-D2 T1, 07GS-RGL-00-02-DR-M-54-0001-D2 T1, 07GS-RGL-00-03-DR-M-54-0001-D2 T1, 07GS-RGL-00-B1-DR-M-54-0001-D2 T1, 07GS-RGL-00-B1-DR-M-55-0001-D2 T1, 07GS-RGL-00-B1-DR-M-63-0001-D2 T1; Noise impact assessment ref: AS9018.160518.NIA; Design and Access Statement (air conditioning) dated 23/05/2016; Design and Access Statement (secondary glazing) dated 23/05/2016; and Design and Access Statement (refurbishment works) dated 23/05/2016.

The Council has considered your application and decided to grant permission subject to the following condition(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: LP01, LP02, E01 A, E02, E03, EP01 A, EP02 A, P01 A, P02, P03, P04, P05 A, P06 A, P07 A, P08 A, E-400 T1, E-401 T1, D-300 T1, S-200 T1, GA-110 T1, 07GS-RGL-00-01-DR-M-54-0001-D2 T1, 07GS-RGL-00-01-DR-M-55-0001-D2 T1, 07GS-RGL-00-00-DR-M-54-0001-D2 T1, 07GS-RGL-00-00-DR-M-55-0001-D2 T1, 07GS-RGL-00-02-DR-M-54-0001-D2 T1, 07GS-RGL-00-03-DR-M-54-0001-D2 T1, 07GS-RGL-00-B1-DR-M-54-0001-D2 T1, 07GS-RGL-00-B1-DR-M-55-0001-D2 T1, 07GS-RGL-00-B1-DR-M-63-0001-D2 T1; Noise impact assessment ref: AS9018.160518.NIA; Design and Access Statement (air conditioning) dated 23/05/2016; Design and Access Statement (secondary glazing) dated 23/05/2016; and Design and Access Statement (refurbishment works) dated 23/05/2016.

Reason:

For the avoidance of doubt and in the interest of proper planning.

- 4 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 10dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the [adjoining] premises [and the area generally] in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Prior to use of machinery, plant and ducting at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Reasons for granting permission:

The proposal involves the installation of 1 x AC unit within the original boiler house to serve the existing offices at the application site. It is located within a small internal courtyard which is not visible from public view. The existing opening would be enlarged to enable increased air flow. The works would involve minor alterations which would not be highly visible and are not considered to cause harm to the special character of the Grade II Listed Building or the character and appearance of the wider Bloomsbury Conservation Area.

A noise impact assessment submitted with the application demonstrated that the AC unit would comply with Camden's noise standards without the need for further mitigation measures. The Council's Environmental Health Officer does not object to the development subject to the conditions above.

Due to the location and nature of the proposal away from nearby residential properties, it is not considered to cause harm to neighbouring amenity in terms of a loss of daylight, outlook or privacy.

No objections have been received prior to making this decision. The site's planning history has been taken into account when coming to this decision. Special regard has been attached to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses under s.66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act [ERR] 2013. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act [ERR] 2013.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP24, DP25, and DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2016; and paragraphs 14, 17, 56 -66 and 126-141 of the National Planning Policy Framework.

2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between

dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

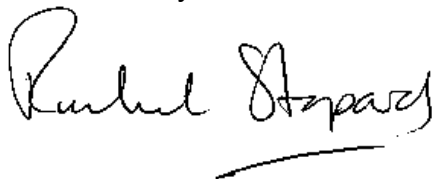
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Rachel Stopard
Executive Director Supporting Communities