

August 2016

# McLaren.Excell

**26 Belsize Grove**

**NW3 4TR**

Planning and Design & Access Statement

Prepared on behalf of  
Jonathan Magid & Alisa Pomeroy

## 1. Introduction

This design and access statement is submitted on behalf of Jonathan Magid and Alisa Pomeroy of 26 Belsize Grove. The proposal is for new roof lights to the inner hips of the existing roof.

This statement sets out the proposal in the context of the relevant national and local planning policy. The statement will explain and consider issues relating to the design and impact of the proposal as well as the impact on local amenity and neighbouring properties.



*Figure 1. Historic Photograph of the Haverstock Terrace on Belsize Grove (1951)*

## 2. Background

26 Belsize Grove is a Grade II listed property which sits at the end of a terrace, constructed between 1825 and 1826. The Grecian-inspired terrace was originally known as Haverstock Terrace and this particular house was originally named 7 Haverstock terrace. The Listing description for the terrace nos. 26-38 is as follows:

Nos. 26-38 (Even) Belsize Grove 798-1/51/84 (East side) and attached railings

Grade: II

Date Listed 14/05/74

Symmetrical terrace of 7 houses. 1825-6 Built by George Crane [Grane]. Stucco. Slate mansard roofs with dormers except central house, No.32, having attic storey and pediment. 2 Storeys, attics and semi-basements. 3 windows each. Square headed architraved doorways with overlights and part-glazed panelled doors. Architraved sashes, 1st floor with pilaster strips rising from 1st floor band and supporting simplified entablature with projecting cornice; No.32 with lugged architraves. Battlemented blocking course with cast-iron balustrades in front of dormers. No.32 with a fibreglass head of Hope replacing the original in the pediment.

INTERIORS: not inspected.

SUBSIDIARY FEATURES: attached cast iron railings to areas.

Walls and gate piers to Nos.26-38 Belsize Grove

Grade: II

Date Listed 14/05/74

Front garden walls and gate piers c.1825-6. Built by George Crane, Stucco walls, Nos.26,28 & 32 (qv) with balustrades. Gate piers, mostly with pyramidal caps.

### 3. Site Orientation

The house is set back from the street front and has a good sized front garden.

To the rear, there is an extensive garden which is walled on both sides. The garden does not generally overlook any adjacent properties.

Beyond the rear garden is the Antrim Grove Allotments The house sits opposite a 4 storey 20th century residential block, Gilling Court.



Figure 2. Birds eye view of 26 Belsize Grove



Figure 3. Birds eye view of 26 Belsize Grove

### 4. Planning History

18/11/2015

Erection of single-storey lower ground floor extension, alterations to the rear ground floor level balcony, and reinstatement of original style timber door and timber windows to ground floor front facade. (Ref - 2015/6471/L & 2015/5480/P)

The remaining planning history of No.26 primarily concerns garden work, as it is within the main Belsize Conservation Area with Tree Preservation Orders (TPOs) on many of the trees.

Also of note is that No. 26 is not mentioned under Article 4, exempting properties with a Conservation Area of its Permitted Development Rights.

19/05/2015 Approved removal of Oak branch

(Ref- 2015/3056/T)

26/02/2014 Approved prune of Lime tree

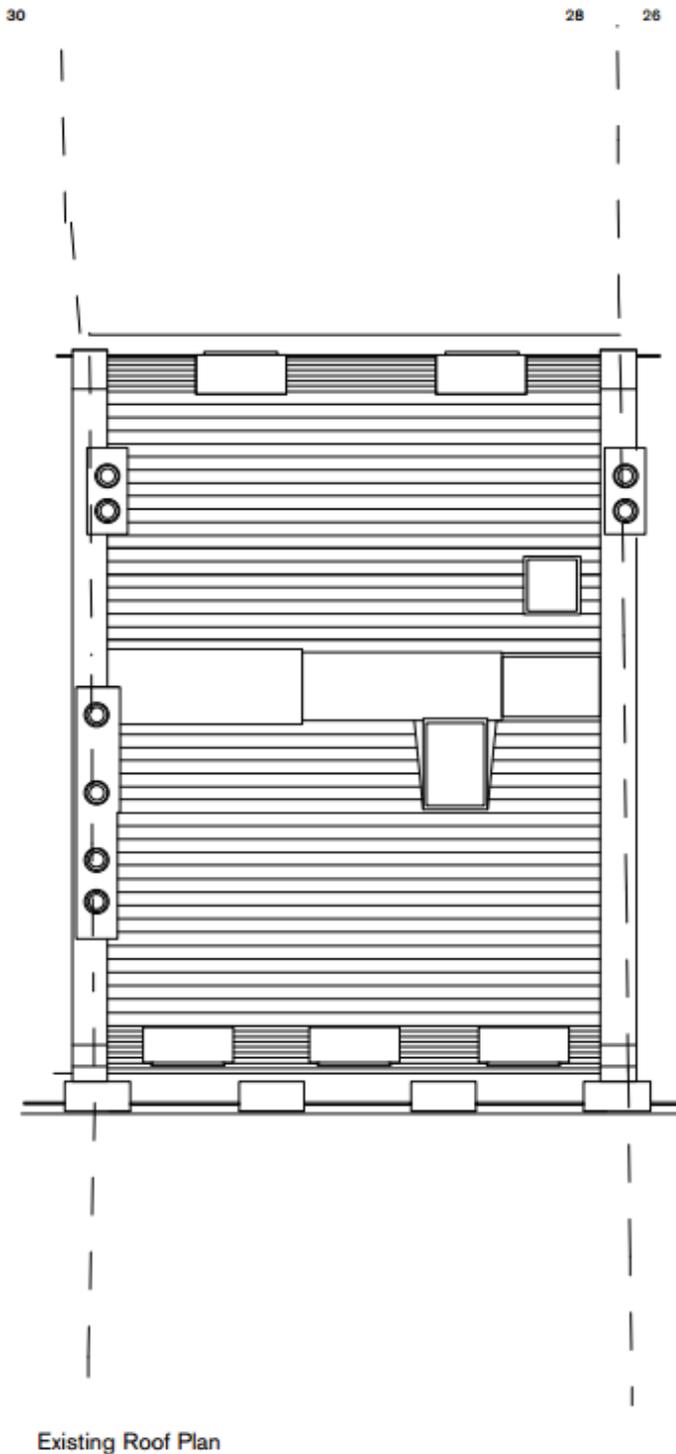
(Ref- 2014/1517/T)

28/08/2008 Approved Robina reduced crown

(Ref- 2008/4133/T)

## 5. Local Planning History & Precedents

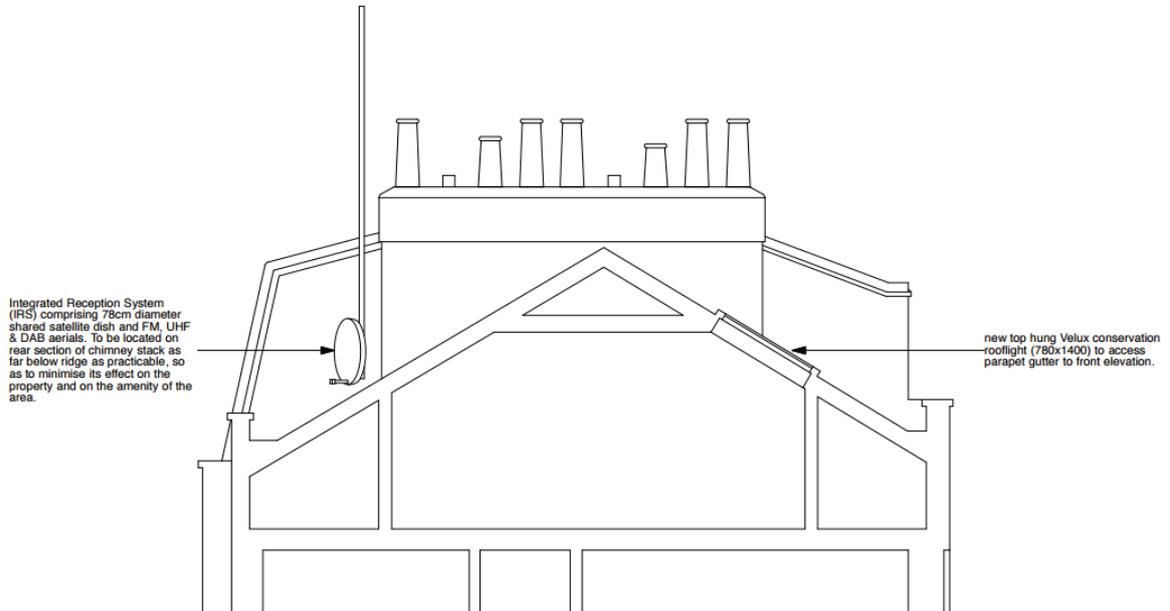
Although there are no recent planning applications for roof lights along the terrace, a number of neighbouring houses, including 28 Belsize Grove have roof lights within the inner hips of the roof. This is confirmed in the existing roof plans shown in the recent application (2016/1903/L & 2016/1044/P)



Further to this there are a number of recent applications to Listed Buildings within the London Borough of Camden. One relevant case is the end of terrace application at 33 Frederick Street.

**2015/6753/P & 2016/0271/L - 33 Frederick Street WC1X 0NB - Granted Approval**

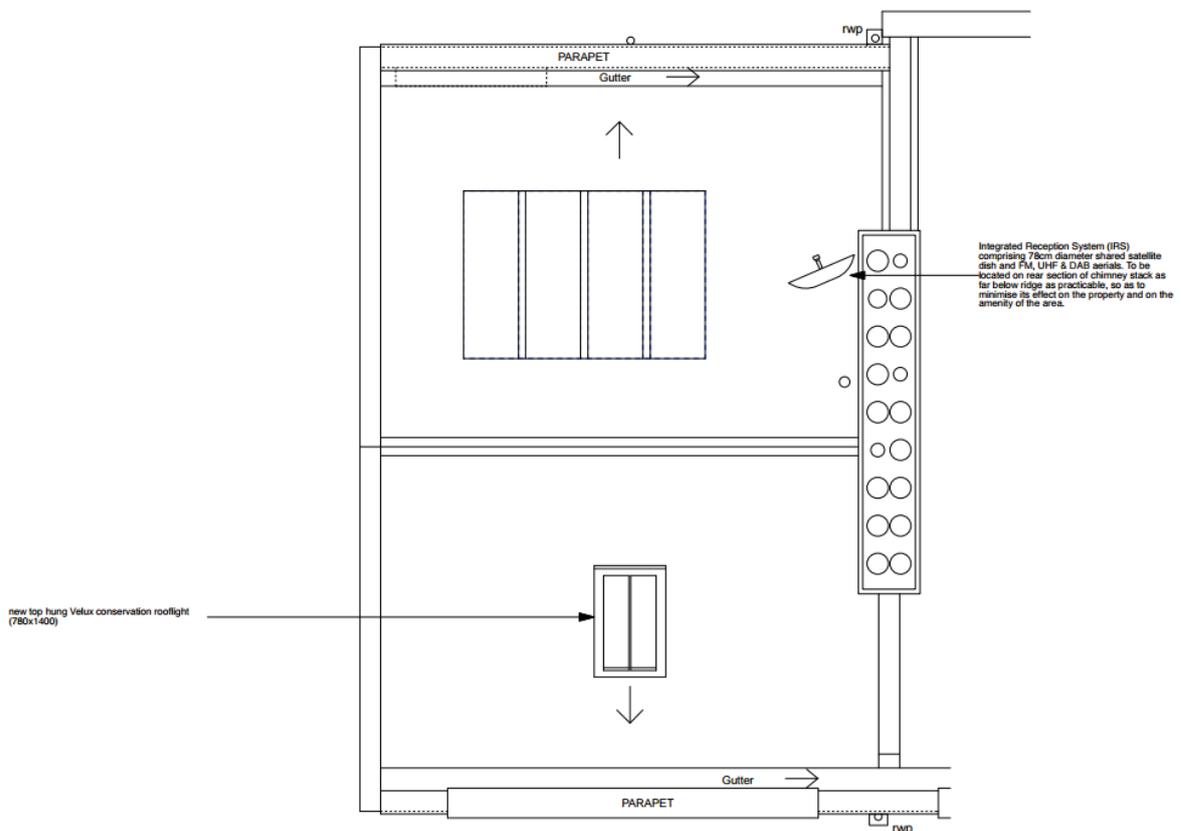
Internal alterations to fabric and fittings on all floors and external alterations including installation of new roof light, replacement windows to the rear with double glazed casements and installation of satellite dish at roof level.



Integrated Reception System (IRS) comprising 78cm diameter shared satellite dish and FM, UHF & DAB aerials. To be located on rear section of chimney stack as far below ridge as practicable, so as to minimise its effect on the property and on the amenity of the area.

new top hung Velux conservation rooflight (780x1400) to access parapet gutter to front elevation.

**SECTION**  
**(1-50)**



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new top hung Velux conservation rooflight (780x1400)

## **6. Proposed Works**

Roof:

- Careful removal of existing slates to areas marked for new roof lights. New, flush roof lights to be placed within the inner-hip of the roof. These will not be visible from the street or any neighbouring buildings.

Loft:

-Local removal of ceiling lining for roof lights. All existing roof structure is retained and is not trimmed back to suit openings. Majority of existing ceiling linings are 20th century plasterboard.

## **7. Planning Policy Assessment**

Policy CL3 of the adopted Core Strategy requires that buildings within conservation areas resist substantial demolition in conservation areas. Policy CD63 identifies the requirement to preserve the character and appearance of buildings within conservation areas with regards to the affects that a development has on its streetscape. It is clear that this alteration to the building will not change the conservation area.

Policy CL6, and perhaps the most relevant to the proposal, requires that alterations and additions are of a high quality design and that they do not harm the existing character and appearance of the building and its context.

The proposed development falls within the guidelines contained in the above named policy documents.

## **8. Protection of Heritage Assets**

The existing and historic architectural features of the property are being retained in the proposed scheme.

The proposed roof lights are minor in their nature and will not affect the existing structure or appearance of the house externally. The roof lights are to be flush, so as they do not protrude above the slate level.

## **9. Design and Access**

For the avoidance of doubt, the following paragraphs address the requirements for Design and Access Statements, using headings set out in national guidance on preparation of such statements.

Use:

26 Belsize Grove is entirely for residential use. This proposal intends to retain the residential use of the property.

Layout:

Layout is not changed

Scale:

Scale is not changed

Landscaping:

No change

Vehicular Links:

No change

Inclusive Access:

No change