

Mr Othneil Linton
19 Ariel Road
London
NW6 2EA

Application Ref: **2015/6634/P**
Please ask for: **James Clark**
Telephone: 020 7974 **2050**

5 August 2016

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
19 Ariel Road
London
NW6 2EA

Proposal:
Conversion of a 4 bedroom single family dwellinghouse into 2 self-contained residential units (1x1 bed & 1x2 bed) and alterations to the rear fenestration and ground floor rear roof.
Drawing Nos: Location Plan (DSK00D), DSK00A, DSK00B & DSK00C

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as



possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans Location Plan (DSK00D), DSK00A, DSK00B & DSK00C.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reason for granting permission

The proposal would convert the 4 bedroom dwelling into two self-contained flats (1x1 bed and a 1x2 bed maisonette). Policy DP2 seeks to maximise the supply of homes and minimise their loss. Kilburn is listed in paragraph 2.24 of policy DP2 as a location that favours larger dwellings to maintain a varied mix of dwelling sizes. Policy DP5 seeks to ensure that all residential development contributes to meeting the priorities set out in the dwelling size priorities table. The proposed conversion would result in the net gain of a residential unit. 2 bedroom units are very high and 1 bedroom units are low on the Borough's dwelling priority category list. Four bedroom dwellings (i.e. the existing unit) are categorised as medium priority. The provision of two dwellings, one a high priority size, is considered to be of greater need within the borough and acceptable in principle

The proposed 2 bedroom maisonette (first and second floor) would have approximately 82.4sqm of habitable floor space, above the minimum floor space standard of 70sqm. The ground floor 1 bedroom flat would have an internal floor space of 48sqm and sole access to the rear amenity space, providing high quality accommodation. All the habitable rooms would have an internal height in excess of 2.3m meeting national guidance and would provide adequate light and a good layout.

The exterior alterations include the removal of the mono-pitch roof on the single storey closet wing and the insertion of two rear exits on the ground floor rear elevations. The fenestration alterations only affect the ground floor openings and on balance are considered acceptable in accordance with policy DP24.

The continuation of the site as residential use with no additional extensions and the modest changes to the external and internal layout are unlikely to harm the neighbouring amenity in accordance with Policy DP26.

The location has witnessed significant subdivision of properties creating parking pressure on the street and surrounding area. The site has a very high PTAL level

of 6a and a parking permit is to be retained on-site. The proposed subdivision meets the criteria for car capped development in policy DP18. Therefore, the applicant has to enter into a legal agreement under Section 106 of the Town and Country Planning Act 1990 (as amended), to permanently remove the entitlement to a parking permit for the proposed 1 bed (ground floor) flat. Accessible and secure cycle storage for three cycles cannot be comprehensively provided on site to meet criteria in DP18 (Appendix 2). The ground floor flat would be able to store cycles in the rear garden. Cycle storage is not considered to be practical for the top flat and therefore cycle storage provision would not be required.

The application has been assessed against the Fortune Green & West Hampstead Neighbourhood Plan adopted in September 2015 and is considered to reflect the guidance outlined.

10 Neighbouring occupiers were consulted on the application, no objections have been received. The site's planning history and relevant appeal decisions were taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policies DP2, DP5, DP18, DP24 and DP26 of the London Borough of Camden Local Development Framework Development Policies. The proposed development also accords with policies 7.4, 7.6 and 7.8 of the London Plan 2015; and paragraphs 14, 17, 56-66 and 125-141 of the National Planning Policy Framework.

- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.

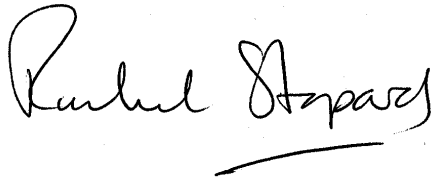
- 5 The correct street number or number and name must be displayed permanently on the premises in accordance with regulations made under Section 12 of the London Building (Amendments) Act 1939.
- 6 You are reminded that this decision only grants permission for permanent residential accommodation (Class C3). Any alternative use of the residential units for temporary accommodation, i.e. for periods of less than 90 days for tourist or short term lets etc, would constitute a material change of use and would require a further grant of planning permission.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Executive Director Supporting Communities