



19 Fitzroy Square London W1

Design & Access Statement in support of a
planning application for refurbishment and new
basement to rear

April 2016 (revised 25 July 2016)

Summary

This design and access statement describes amendments to an extant planning permission for conversion of the Grade II* listed offices at 19 Fitzroy Square to a single dwelling. Full planning permission was granted in October 2014 for change of use from offices to a single family dwelling with associated internal alterations.

Since October 2014 the building has been sold by the then applicants and purchased by a family who wish to occupy the building as a single dwelling. The purchaser now wishes to make amendments to the consented scheme to suit the way they wish to use and occupy the house as their home. The main amendments are:

- General changes to internal room layouts.
- Addition of an external door and bridge across the lightwell on Conway Street.
- Internal lift between ground and lower ground floors in the rear wing
- Removal of recent suspended ceilings and steel beams in front rooms

An initial planning application was made in April 2016 describing proposals that included a basement below the rear part of the house. In response to comments from adjoining owners and LB Camden this has now been removed from the scheme as set out in this revised design and access statement and the revised application drawings that accompany this revised statement.

The proposals are supported by a Heritage Assessment that accompanies this design and access statement.

We trust that the London Borough of Camden will support these revised proposals which will enable the use of the house as a single family dwelling - which is the original use for which it was designed and constructed in 1828.

Contents

- 1.00 Introduction
- 2.00 Context - Setting and Visibility
- 3.00 Existing Building
- 4.00 Use
- 5.00 Design - the Proposals
- 6.00 Scale and Setting of the Proposals
- 7.00 Amount of Space
- 8.00 Sunlight/Daylight and Privacy
- 9.00 Consultation
- 10.00 Access
- 11.00 Landscape and Amenity
- 12.00 Services, sustainability and Waste

Appendices

- 1.0 Photographs of existing building November 2013
- 2.0 Outline schedule of the proposed works
- 3.0 Meeting Lifetime Homes criteria



Fig. 1 View north across Fitzroy Square

1.00 Introduction

1.01 The proposals relate to the Grade II* listed offices at 19 Fitzroy Square London W1T 6EQ.

1.02 Application ref: 2013/8207/P for change of use from offices to a single family dwelling and listed building consent application ref: 2014/0238/L were consented in October 2014.

1.03 Concurrent with these consents, application ref: 2013/8205/P for change of use from offices to two dwellings and listed building application ref: 2014/0237/L were consented in October 2014.

1.04 The house has now been purchased by a family who will occupy the property as a single dwelling and wish to make amendments to the consented scheme to suit the way they wish to use the house as their home. This design statement has been prepared to describe and support the amendments to application ref: 2013/8207/P for change of use from offices to a single family dwelling.

1.05 This statement was originally submitted in April 2016 as part of a planning application that included a new basement excavated below the lower ground floor of the rear wing along Conway Street. This application has been given the London Borough (LB) Camden reference: 2016/2542/P & 2825.

1.06 As a result of concerns from adjoining owners and LB Camden case and conservation officers the applicant has amended the application and removed the basement from the proposals. The revised proposals are set out in this revised design and access statement and the revised drawings (revision P2) that accompany this statement.

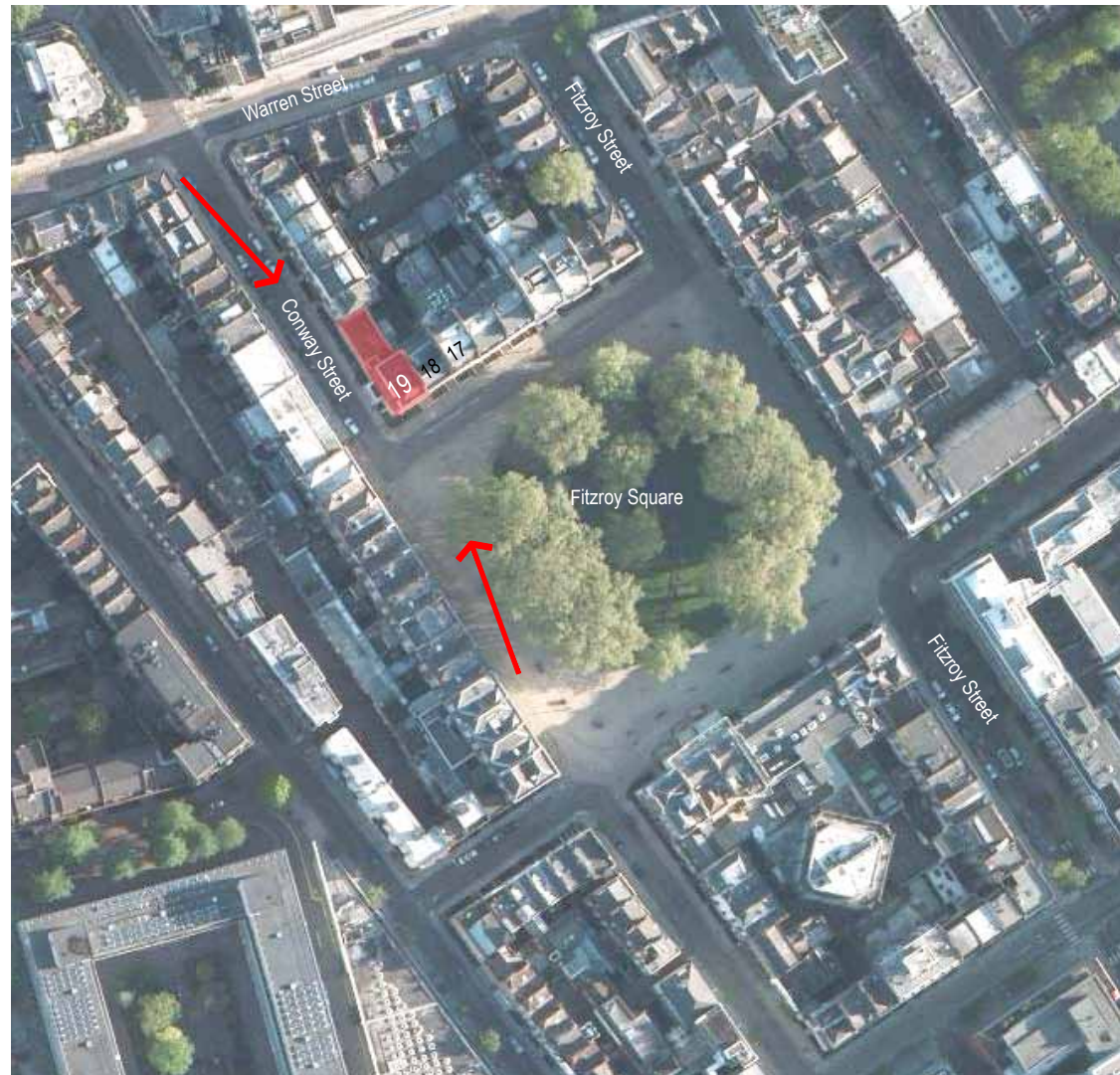


Fig. 2 Site location and visibility

← Key local views

1.07 This statement is to be read in conjunction with the following documents:

- Application drawings (revision P2)
- Planning statement
- Heritage Assessment
- Energy assessment
- BREEAM preliminary assessment
- Acoustic report

1.08 This design and access statement also includes the following submission documents required by LB Camden:

- Photographs (appendix 1.0)
- Outline schedule of works (appendix 2.0)
- Lifetime homes commentary (section 10.09 and appendix 3.0)

2.00 Context - Setting and Visibility

2.01 The application site is 19 Fitzroy Square, a Grade II* listed building, situated on the north side of Fitzroy Square within the Fitzroy Conservation Area.

2.02 The Fitzroy Square Conservation Area Appraisal and Management Strategy adopted 16 March 2010 by LB Camden notes that all the buildings facing into Fitzroy Square, with the exception of numbers 13 and 14, are listed either grade I or II*. 13 and 14 are designated as making a positive contribution. The building facing number 19 on the west side of Conway Street is not considered to be of significance. 12 Conway Street, that adjoins the property to the north, was constructed in the 1980s and is not listed but is defined as making a positive contribution.

Visibility



Fig. 3 View south along Conway Street

2.03 19 Fitzroy Square is visible in views across Fitzroy Square and views south down Conway Street.

2.04 The 36 storey Euston Tower to the northeast and the BT tower to the south dominate views out of the square.

3.00 Existing Building

3.01 Fitzroy Square was laid out in the 1790's and the south and east sides were built between 1793 and 1798. The north side was built in 1827 and 1828, followed by the western side in 1827-35.

3.02 19 Fitzroy Square was listed in 1954 and the listing description applies to 11, 12 and 15-19 Fitzroy square comprising the north terrace of the square. It is noted that the interiors were not inspected.

3.03 19 Fitzroy square is presently arranged as offices and extends over 5 floors from lower ground to 3rd floors. The building comprises a main house facing on to Fitzroy Square and a rear wing that extends at ground and lower ground floor levels along Conway Street.

3.04 A generous lightwell extends around the Fitzroy Square frontage and along the Conway street elevations providing good lighting to the lower ground floor. There is access to the lightwell from the lower ground floor of the house and access from this lightwell to Conway Street. Three brick vaulted vaults extend below the pavement and part of the road on the Fitzroy Square elevation.



Fig. 4 View from Fitzroy Square towards 19 FS

3.05 Entrance to the property is at ground level from Conway Street directly into a lobby that spans the lower ground floor lightwell.

3.06 The main building appears to be generally intact and the front elevation shows a decorative scheme which is clearly part of the overall terrace to the north side of the square.

3.07 The roof is a hipped 'M' roof which appears to have original timbers but recent artificial slating. The form matches that for 18 and 12 Fitzroy Square. Other buildings along the north side of the Square have mansard roofs which are more typical of an early 19th century building.

3.08 A closet wing extends from the rear of the main house at first floor and encloses the landing of the main stairs. The brickwork and pointing to this wing is clearly more recent than the main house.

3.09 Drawings appended to the Heritage Assessment show that the arched false window recess facing Conway Street at ground floor below the closet wing was opened between 1958 and 1967 to form a window to the internal toilet and this is awkwardly bisected by the half landing of the stair (see fig. 8).

3.10 12 Conway street was constructed circa 1982 as a replica of 10 Conway Street and replaced a 2 storey building on the site. The rear wing to 19 Fitzroy Square that abuts 12 Conway Street has been much altered internally and the age of the facade is not clear. Fig. A24 shows that this facade is faced internally with a recent gypsum/cement/sand plaster.

3.11 The roof of the rear wing on Conway Street is punctuated with a series of recent 'coxdome' style polycarbonate roof lights.

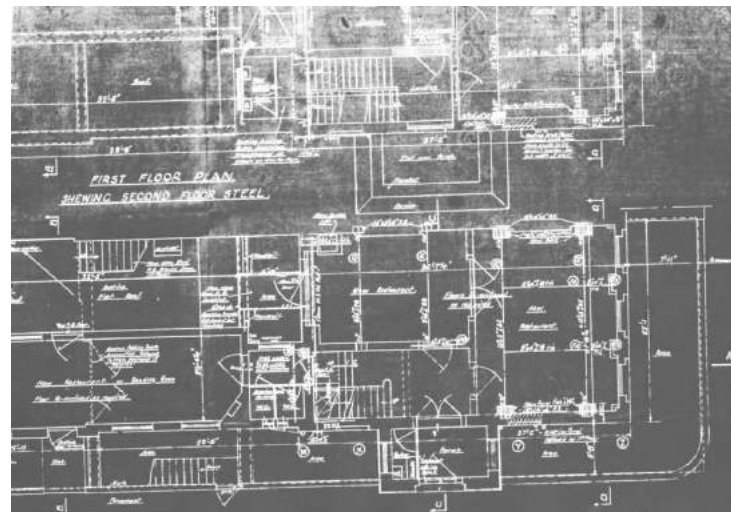
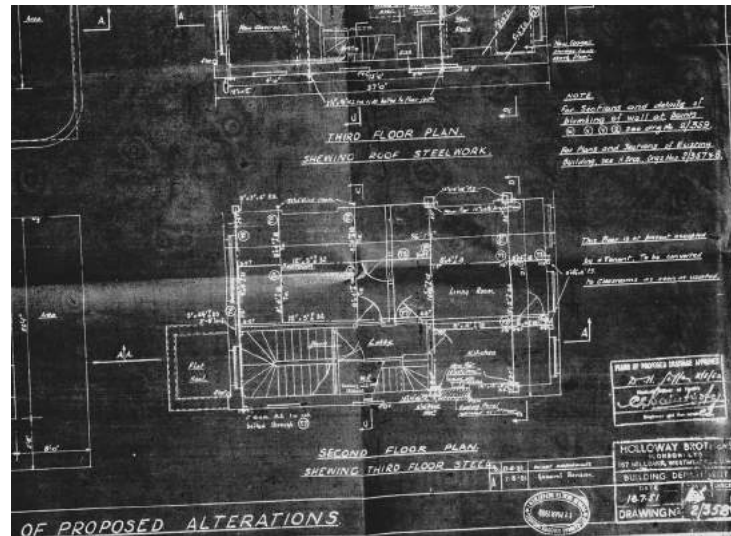


Fig. 5 1951 drawings showing structural steelwork

3.12 There is a circular stairs in the northwest corner of the lightwell on Conway Street. This forms part of the demise of 12 Conway Street and gives access to utilities supplies meters below the entrance steps.

3.13 There is a projecting nib of recent brickwork on the northwest corner of the main house extending to roof parapet level. This is likely to have been constructed in 1951 to provide bracing for the steel ties across the rear facade (see fig. 5 opposite).

3.14 The windows in the main house appear to be original, or at least early examples. Internal architraves are however recent 'ogee' profiles. The windows in the rear wing along Conway Street are much cruder - suggesting that they may be more recent.

Interior

3.15 Photos of the existing interior are included in appendix 1.0.

3.16 Drawings from 1951 show substantial structural alterations with steel beams and piers below ground, 1st, 2nd and 3rd floors, and steel strengthening to the roof (see fig.5). The piers project into the front rooms either side of the fireplaces in the east and west flank walls of the front rooms at lower ground to 1st floors.

3.17 Modern plasterboard suspended ceilings with gypsum cornices conceal the steel beams and give rise to awkward step-up bulkhead details at junctions with historic window heads (typically as fig. A31). The east and west flank walls of the front rooms were lined with plasterboard to conceal the recent structural piers and form air conditioning and electrical and data risers for the offices.

3.18 Inspection holes have been formed in the recent plasterboard suspended ceilings and figs A25 and A36 show that the existing lime plaster cornices and ceilings are still present above these ceilings at ground and 1st floors - although they have been badly damaged by the insertion of the steel beams.



Fig. 6 Aerial view looking north

3.19 Internal doors, door linings and skirtings throughout are modern with generally 6 panel doors that are not typical of the period. Skirtings pieced together from plain board and modern 'ogee' profiles.

3.20 There are only two fireplaces present and these are in the main front and rear rooms of the main house at 1st floor (see fig. A31). These are not shown on 1967 drawings and likely to be modern.

3.21 The main staircase from ground to 2nd floor is original with stone treads, decorative iron balustrading and mahogany handrail and is in good order. Cornicing and skirtings to the stairwell appear to be original although skirtings need some repairs.

3.22 The secondary staircases from lower ground to ground floor and from 2nd to 3rd floors appear in 1967 plans appended to the heritage assessment and may be original, but balustrading is modern. A modern wired glass fire screen separates the stairs at 3rd floor. A modern steel staircase gives access from the 3rd floor to the roof.

3.23 An original brick vaulted wine store exists at lower ground floor below the main house. This has been recently subdivided to form a shower space with a recent door opening in the northeast corner of the vault.

3.24 Drawings appended to the heritage assessment suggest that the rear wing along Conway Street has been substantially altered. A spine wall runs north south bisecting this wing and the 1951 drawings (see fig. 5) suggest that an original external wall existed in this location enclosing an open courtyard to the east. Fig. A 27 shows that the present spine wall is constructed from recent red fletton brickwork and faced with a pink gypsum/cement/sand plaster. Fig. A27 also shows that floorboards are recent.



Fig. 7 View south along Conway Street



Fig. 8 View east towards 19 to 17 FS from Conway Street

4.00 Use

4.01 The building is presently used as offices and it is intended to reinstate the main house to its original single residential use in line with the consented application ref: 2013/8207/P.

4.02 The new room layout will largely follow the historic arrangement (and the consented scheme) with bedrooms at 2nd and 3rd floors above reception spaces at ground and 1st floors.

4.03 The rear wing along Conway Street, which has undergone substantial changes including extensions, alterations and reconstruction, is to accommodate reception spaces at ground floor and a bedroom and sitting room at lower ground floor.

5.00 Design - The Proposals

5.01 The proposals remain largely as consented application ref: 2013/8207/P namely to refurbish and reinstate 19 Fitzroy Square as a single family dwelling.

Interior

5.02 Internally the proposal is, where possible, to reinstate the original room layout whilst accommodating the uses required by the family who have purchased the property and wish to use it as their home.

5.03 The ground floor is configured as a suite of reception spaces with drawing room at the front of the house leading through to a reception, dining room and kitchen. The first floor is configured as a study and library and there are 4 bedrooms at 2nd and 3rd floors with associated bathrooms. The existing spine wall at ground floor in the rear wing is to be modified to suit the dining room/kitchen layout. Note that the modification of this wall formed part of consent 2013/8205/P.

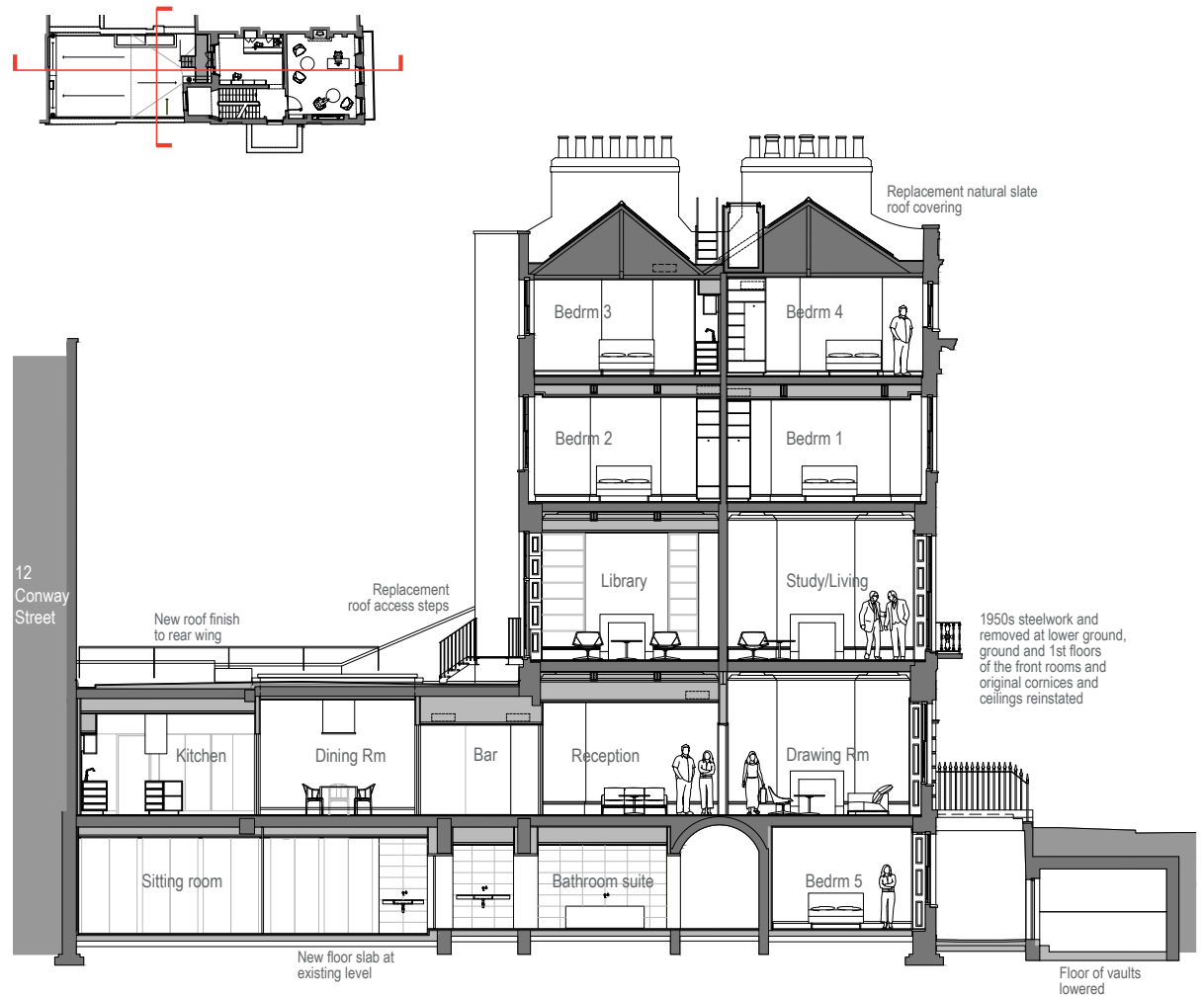


Fig. 9 Long section - proposed

5.04 The timber ground floor structure to the rear wing along Conway Street is to be retained but the secondary packing removed to achieve a continuous floor level through the ground floor reception spaces.

5.05 The lower ground floor is given over to a laterally planned master bedroom suite with bedroom in the front room, bathroom/dressing rooms and a sitting room to the rear. The recent subdivision to the wine vault at lower ground floor is to be removed and the vault reinstated to its original size.

5.06 The existing concrete lower ground floor floor slab is to be replaced with a new slab at the same level as the existing floor and incorporating a damp proof membrane and insulation.

5.07 A small passenger lift is to be provided between ground and lower ground floor levels. This is to assist access for older members of the family who have walking difficulties. The lift is located within the rear addition - outside the footprint of the main house - and will not be visible externally.

5.08 The recent plasterboard ceilings are to be removed throughout. The steel structure inserted in 1951 is to be removed from the front rooms at lower ground, ground and first floor levels and original ceiling levels and corncicing reinstated. Elsewhere new plasterboard ceilings are to be suspended below existing floors.

5.09 The refurbished property is to be heated using underfloor heating to the lower ground floor and rear ground floor and radiators and concealed heating ventilation units to upper floors. Concealed ventilation units will also be installed to offer a choice of cooling to bedrooms and reception spaces in hot summer months.



Fig. 10 Rear Elevation / cross section rear wing - proposed

Existing fabric to be retained
New fabric

Exterior

5.10 The existing roof to the main house is to be resurfaced with reclaimed slates on insulation on the existing roof timbers.

5.11 The flat roofs above the stair landing and entrance lobby will be re-surfaced.

5.12 The roof of the 2-storey rear wing along Conway Street will be re-surfaced in asphalt (to match existing) on new decking on the existing roof timbers. Existing rooflights will be infilled and an openings formed for a new rooflight above the ground floor dining room.

5.13 The existing metal access platform and stairs that leads from the 1st floor rear room to the flat roof above the rear wing is to be replaced with a black painted steel stairs and platform that spans from the party wall with 18 Conway street to the side wall of the main stair landing.

5.14 A door opening is to be formed in one of the ground floor window openings on the Conway Street facade and a new steel bridge is to be formed across the lightwell to allow access from Conway Street. A new doorway and bridge from Conway street formed part of consented application ref. 2013/8205/P for conversion to two dwellings.

5.15 A more detailed outline description of the works is included at appendix 2.0.

6.00 Scale and Setting of the Proposals

6.01 The proposals do not extend the volume of the existing building.

7.00 Amount of Space

7.01 19 Fitzroy Square presently has a gross external floor area (GEA) of 548m², excluding the 3 basement vaults below the Fitzroy Square pavement.

7.02 The property is to be converted from offices to a 5 bedroom house with no increase in floor area.

8.00 Sunlight/Daylight and Privacy

8.01 The proposals do not extend the present form or volume of the building above ground and there will therefore be no change to the sunlight or daylight incident on neighbouring properties.

8.02 No additional external spaces are proposed at upper levels and as such there will be no increase in the potential for overlooking or loss of privacy.

9.00 Consultation

9.01 The initial proposal included a basement below the lower ground floor of the rear wing along Conway Street. The applicants consulted with the following adjoining owners:

- Mrs Claire Bruce, owner 18 Fitzroy Square, met on 21 January 2016.
- Mr Neil Phoenix, representing his daughter who owns the 1st floor flat 12 Conway Street, met on 11 March 2016.
- Ms Lee Dianda, owner 2nd and 3rd floor flat 12 Conway Street, met on 11 March 2016 (with Mr Phoenix).

9.02 The above owners were strongly opposed to the proposed basement and raised concerns about possible structural subsidence/movement of their properties.

9.03 A pre-application design statement explaining the basement proposals and differences to the consented proposals was submitted to LB Camden on 14 July 2015 and followed up with a meeting at 19 Fitzroy Square on 8 September 2015 with the LB Camden case officer, Kathryn Moran and the conservation officer, Nick Baxter. A report of this pre-application consultation is contained in Kathryn Moran's email of 28 October 2015 reference 19 Fitzroy Square 2015/4447/PRE

9.04 In response to this report the basement design was modified so that it did not extend below the closet wing of the main house. Other comments regarding wall openings, treatment of the wine vault and types of doors were also incorporated in the planning application submitted in April 2016.

9.05 The new LB Camden case officer, Robert Lester and conservation officer, Nick Baxter met the applicant on site on 16 June 2016 and summarised their comments by email on 16 June 13:08hr. In conclusion LB Camden considered overall the proposed development to be harmful to the significance of the listed building and contrary to NPPF paragraphs 133/134, Camden Policies DP25 & DP27 and CPG4.

9.06 The LB Camden email of 16 June raised concerns with elements of the proposals that had already been consented as part of application 2013/8207/P and as such had been established as a principle. These are set out in the email from the planning consultant, Siofra Boyd of Rolfe Judd to LB Camden dated 6 July 2016 10:26hr.

9.07 Robert Lester replied to this on the 8 July 17:57hr noting that LB Camden, whilst generally supportive, still had some concerns regarding the changes to the floor levels and heating system.

9.08 As a result of the 16 June comments from LB Camden and the concerns from adjoining owners the applicant has revised the application and removed the basement and part reconstruction of the rear wing from the proposals. The revised proposals are set out in this revised design and access statement and in the revised drawings (revision P2) that accompany this statement.

9.09 In response to LB Camden's 8 July email, the existing concrete lower ground floor floor slab will be replaced but at the same level as existing. The heating system has been generally changed from an underfloor system to wall mounted radiators. Underfloor heating is still proposed to the lower ground floor and the ground floor of the rear wing.

10.00 Access

10.01 The property is well situated in terms of public transport with Warren Street and Portland Place underground stations within 500 meters walk. There are numerous bus routes along the Marylebone Road 100m to the north.

10.02 Numerous Westminster Car Club (Zipcar/Streetcar) cars are located within easy walking distance. The nearest TfL/Barclays cycle hire docking stations are adjacent to Warren Street and Portland Place underground stations.

10.03 Secure, covered bicycle parking for 4 bicycles is to be provided in the centre under pavement vault.

Wheelchair Housing

10.04 LB Camden's Core Strategy CS6 seeks to encourage housing that is suitable for people with mobility difficulties and policy DP6 requires that all new housing development should

meet lifetime homes standards and that 10% of homes developed should either meet wheelchair housing standards, or be easily adapted to meet them.

10.05 The existing listed house has 2 steps leading up from back of pavement to the main entrance door. The height difference between pavement and entrance lobby is 280mm. There is a further step up between the entrance lobby and hall of 100mm.

10.06 Once inside the hall there is level access to the ground floor front and rear rooms. Access to rooms on other floors is via stairs. Access to the ground floor WC is via 4 steps. A small lift is proposed between ground and lower ground floor.

10.07 Early proposals submitted at pre-application stage of the extant permission showed a visitor WC at the same level as the hall and a lift access to all floors. LB Camden did not support this on the basis that the WC and lift would intrude upon the historic room layout and the liftwell would involve significant alteration to the original floor structure (refer LB Camden response of 13 February 2013 reference CA\2012\ENQ\09318).

10.08 For these reasons the property is not readily accessed and used, or easily adapted to be used, by persons who use a wheelchair for mobility.

Lifetime Homes

10.09 The Lifetime Homes standard is a set of 16 design criteria that provide a model for building accessible and adaptable homes.

10.10 19 Fitzroy square is a Grade II* listed building constructed in 1827-28 and this limits the extent to which it can meet or easily be adapted to meet the Lifetime Homes design criteria for accessibility for those with mobility impairments. Fundamentally,

the original floor levels mean that there is a stepped access into the building from the street.

10.11 Appendix 3.0 includes a commentary explaining where the proposals meet or fall short of these criteria and the reasons that they fall short. In summary criteria 6, 7, 8, 9, 11, 13, 14, 15 and 16 can be met.

11.00 Landscape and Amenity

11.01 All the houses around Fitzroy Square have access to the central gardens.

11.02 19 Fitzroy square has a private external lightwell at lower ground level. This is to be re-surfaced with yorkstone paving as part of the refurbishment and landscaped with planters.

12.00 Services, Sustainability and Waste

Services

12.01 As part of the refurbishment, the building will be fitted with new water, drainage, electrical and gas supplies and new electrical, lighting and ventilation, heating and cooling systems.

12.02 Lighting will incorporate a high proportion of LED fittings and the good levels of natural light at all floors will reduce the need for artificial lighting.

12.03 Heating will generally be via radiator panels as indicated on the plans accompanying this statement. Underfloor heating will be provided to the lower ground floor and to the ground floor of the rear wing. Heat energy will be provided by air source heat pump/condensing units located in the lightwell below the entrance lobby.

12.04 Comfort cooling is to be provided to bedrooms and reception rooms at all levels via fan coil ventilation units with heat rejected externally via the condensing units in the lightwell.

12.05 The preliminary noise survey accompanying this statement concludes that the external condensing units will not impact on existing background noise levels.

12.06 Mechanical fresh air supply and extract ventilation will be provided to many of the reception rooms and bedrooms via heat recovery fan units. Mechanical extract will be provided to bathrooms and kitchens. Air intake and discharge will be through the roof of the rear wing and through the roof of the main house.

12.07 The ventilation units are shown on the drawings that accompany this statement and will be concealed above new ceilings or integrated in new joinery.

12.08 The new gas, water and electricity supplies will be brought into the underpavement vaults.

12.09 Because the house has only a single escape stairs from upper floors and has more than one floor above 4.5m above ground level the Building Regulations approved document B requires that the main rooms and stairs are fitted with a fire suppression system. A water mist system is proposed with the pump unit and water storage located in the room below the lightwell stairs. The house will also be provided with fire detection and alarm systems compliant with the Building Regulations.

Sustainability

12.10 A BREEAM Domestic Refurbishment pre-assessment has been prepared and the proposed dwelling will seek to meet LB Camden's major target of *Excellent*.

12.11 The existing building has no insulation to the external fabric and single glazing throughout. Many of the enhancements necessary to raise the thermal performance and assist the property to target BREEAM would detract from historical features. For example insulated plasterboard drylining to perimeter walls would project beyond existing architraves around windows (albeit that many of these are recent).

12.12 The following enhancements are proposed that do not detract from the historic features but at the same time will lower the carbon footprint of the building in use:

- Insulation above and between existing roof rafters of the main house.
- Insulation above and between existing roof rafters of the rear wing (that runs along Conway Street over lower ground and ground floors).
- Insulated drylining to perimeter walls of the rear wing at ground and lower ground floors.
- Secondary glazing to windows at lower ground, 2nd and 3rd floors and also to the ground floor of the rear wing (secondary glazing formed part of consent 2013/8207/P).
- Insulation to new lower ground floor floor slab (this formed part of consent 2013/8207/P).

12.13 No insulated drylining is to be applied to the perimeter walls of the main house.

12.14 In addition to these passive measures the property is to be heated via air source heat pumps which draw heat energy from outside air even when ambient temperatures are low.

Waste

12.15 The proposals will include storage for segregated recyclable material in 'wheelie' bins located in the lightwell. Kitchen fittings within the house will incorporate segregated general and recycling waste storage. Camden presently collect household and recycling waste on Mondays.

Appendix 1.0 Photographs of Existing Building



Fig. A1 View from Fitzroy Square

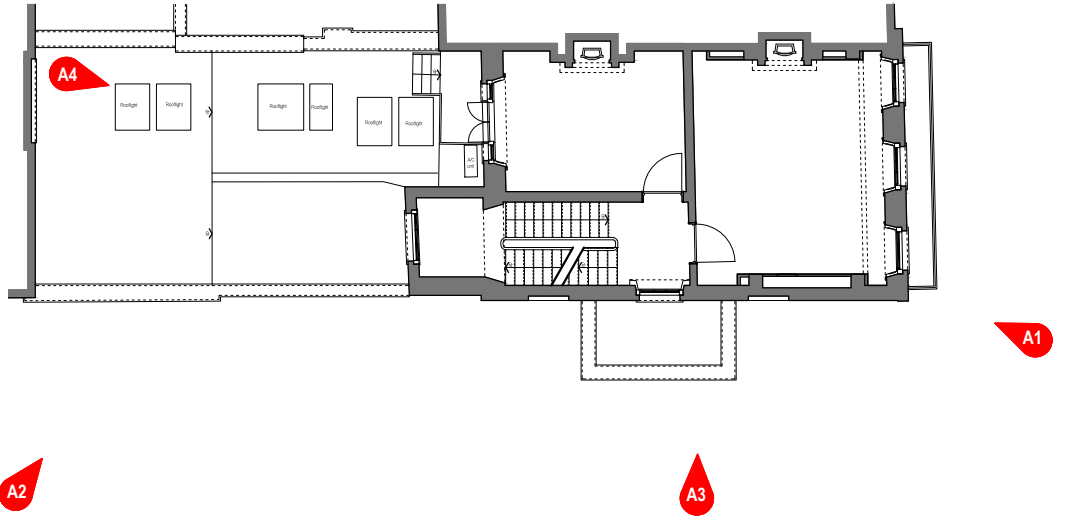


Fig. A2 View from Conway Street



Fig. A3 View from Conway Street



Fig. A4 View of rear elevation



Fig. A5 Front lightwell



Fig. A6 Front lightwell

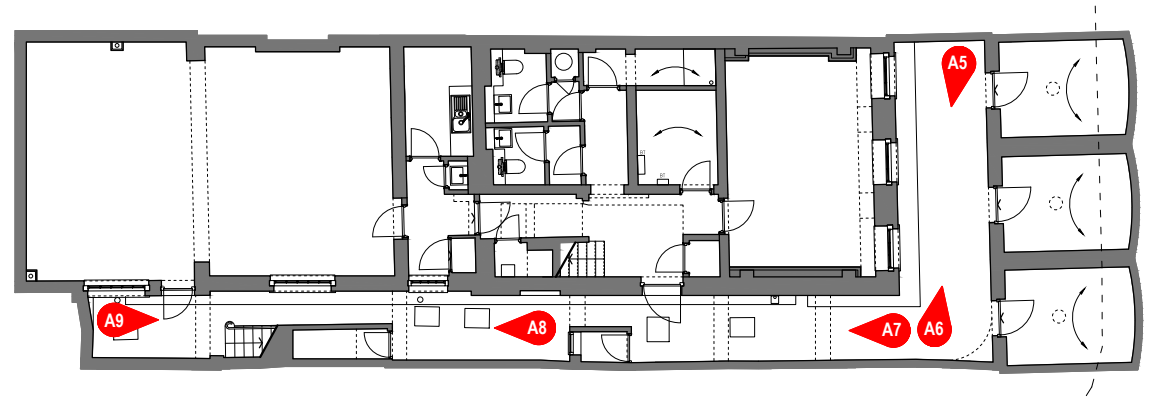


Fig. A7 Side lightwell



Fig. A8 Side lightwell



Fig. A9 Side lightwell - steps to street



Fig. A10 Lower ground floor - front office



Fig. A11 Lower ground floor - wine vault



Fig. A12 Lower ground floor - hall



Fig. A13 Lower ground floor - rear offices

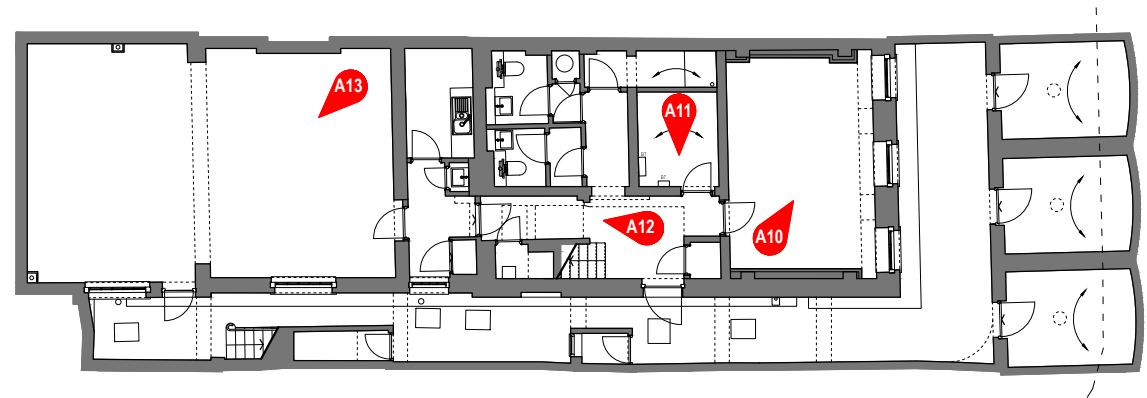




Fig. A14 Ground floor - hall

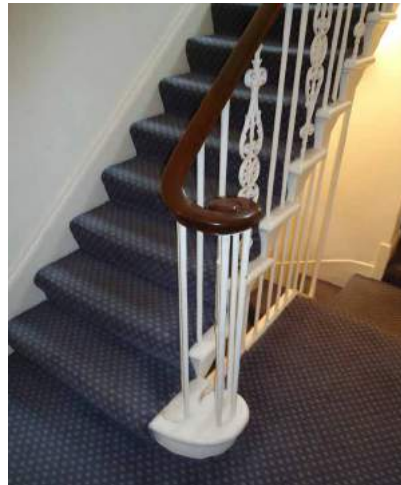


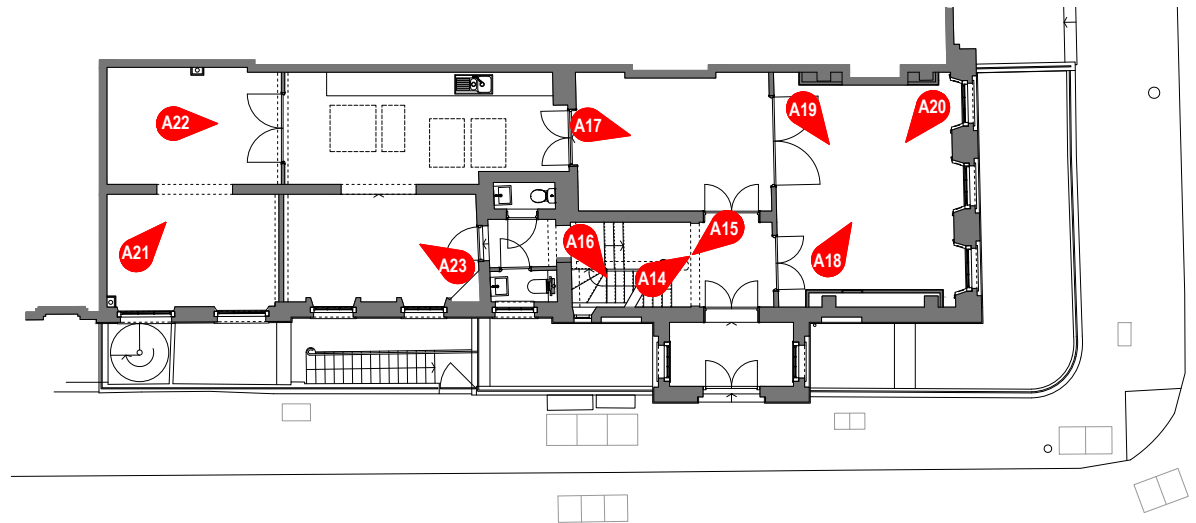
Fig. A15 Ground floor - main stairs



Fig. A16 Ground floor - stairs to lower ground floor



Fig. A17 Ground floor - reception



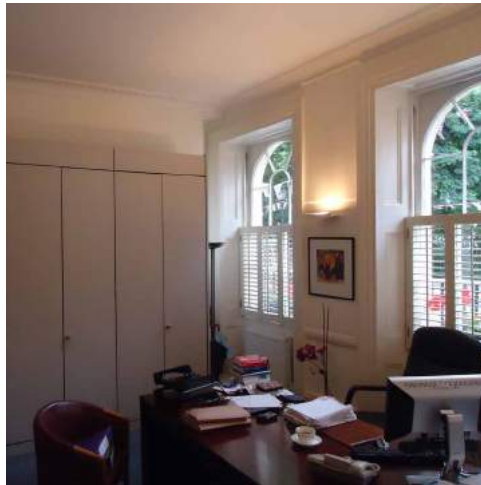


Fig. A18 Ground floor - front office



Fig. A19 Ground floor - front office



Fig. A20 Ground floor - front office



Fig. A21 Ground floor - rear offices



Fig. A22 Ground floor - rear offices



Fig. A23 Ground floor - rear offices



Fig. A24 Recent gypsum plaster to Conway Street facade



Fig. A25 Original cornice rear room ground floor (above modern suspended ceiling)



Fig. A26 Original cornice front room ground floor



Fig. A27 Recent fletton brickwork and gypsum plaster to rear spine wall

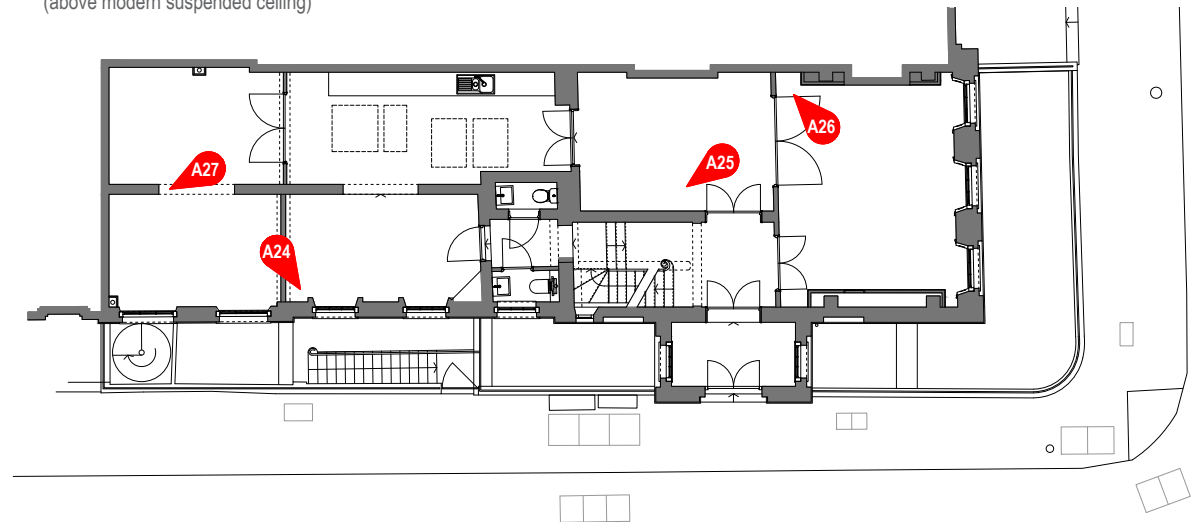




Fig. A28 Ground to 1st floor half landing



Fig. A29 Ground to 1st floor half landing

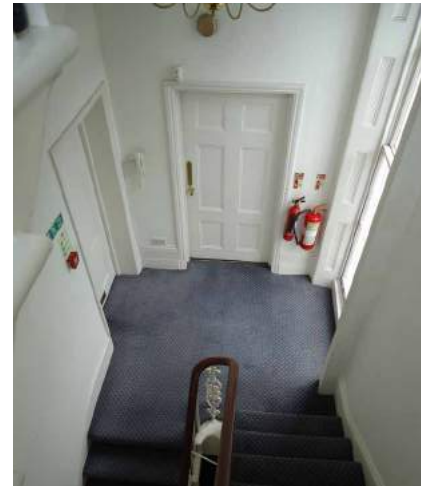


Fig. A30 1st floor landing



Fig. A31 1st floor - front office



Fig. A32 1st floor - front office

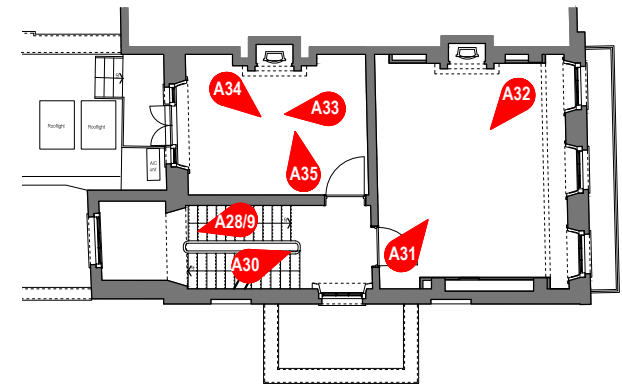




Fig. A33 1st floor - rear office



Fig. A34 1st floor - rear office



Fig. A35 1st floor - rear office - modern fire place



Fig. A36 Original cornice rear room first floor (above modern suspended ceiling)



Fig. A37 Original cornice front room ground floor

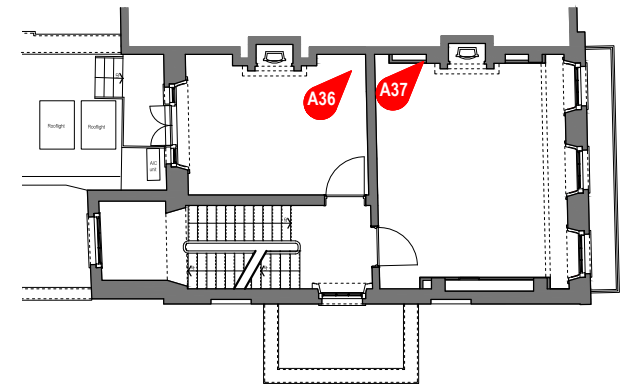




Fig. A38 View up main stairs towards 2nd floor landing



Fig. A39 2nd floor - stairs to 3rd floor

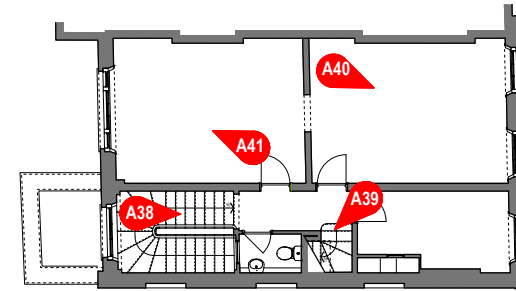


Fig. A40 2nd floor - front office



Fig. A41 2nd floor - rear office



Fig. A42 3rd floor - hall



Fig. A43 3rd floor - hall



Fig. A44 3rd floor - stairs to roof



Fig. A45 3rd floor - front room

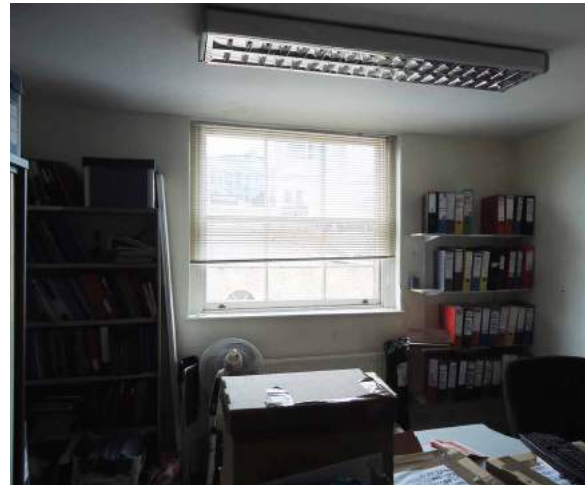


Fig. A46 3rd floor - rear room

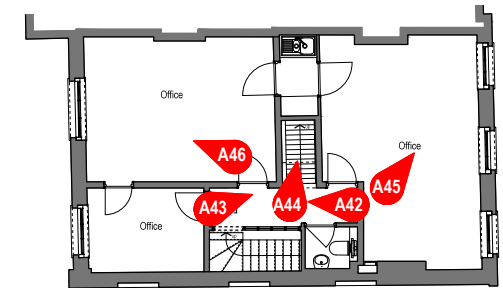




Fig. A47 Loft space front roof



Fig. A48 Main roof



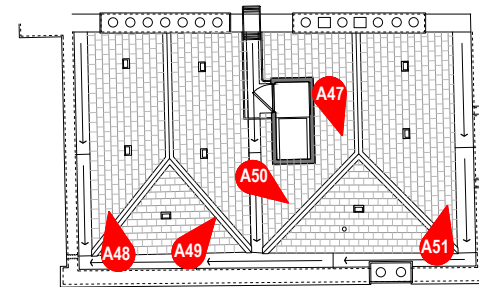
Fig. A49 Main roof



Fig. A50 Main roof



Fig. A51 Main roof



Appendix 2.0 Outline schedule of the proposed works

Lower ground floor

Structure and external walls

A2.1.1 Modern structural piers to end walls of front room and steel beams at ceiling level removed. Floorboards carefully lifted in room above and original timber floor joists strengthened if necessary.

A2.1.2 Existing concrete floor slab replaced with new concrete floor construction incorporating damp proof membrane and insulation. Finished at same level as existing (note that this formed part of consent 2013/8207/P - DAS A2.1.5).

A2.1.3 Injected DPC treatment to perimeter and internal masonry walls (note that this formed part of consent 2013/8207/P - DAS A2.1.5). Sika render to these walls up to level of injected DPC.

A2.1.4 New lift between ground and lower ground floors.

Flooring

A2.1.5 New hardwood, tile or carpet finishes on screed on new floor slab. Underfloor heating installed within screed.

External windows and doors

A2.1.6 Existing single glazed sash windows overhauled and redecorated throughout. Where repairs/replacement sections are necessary these are to match existing frame/glazing bar profiles.

A2.1.7 White coated aluminium framed vertical sash secondary glazing fitted to windows throughout (note that this formed part of consent 2013/8207/P).

A2.1.8 Modern shutters, panelling and architraves to front room (bedroom 5) windows repaired and redecorated.

A2.1.9 External doors overhauled and redecorated. Door opening from lower hall to lightwell moved towards stairs. Existing door overhauled and re-used.

Ceilings

A2.1.10 Remove modern suspended plasterboard ceilings throughout. New plasterboard ceilings on metal framing with plaster skim to all areas except the front room main house (bedroom 5).

A2.1.11 Lathe and plaster ceiling to front room replaced following removal of steel beams.

Walls

A2.1.12 Recent masonry subdivision to existing wine vault removed and walls made good with patch repairs in second hand london stock brickwork.

A2.1.13 Modern WC/shower subdivisions removed. New partition walls formed from 2 layers of plasterboard on treated timber framing with plaster skim.

A2.1.14 Insulated drylining to perimeter external walls of rear wing (to left of lift fig A55).

A2.1.15 Plaster repairs to retained masonry walls of main house to match existing adjacent material.

Internal joinery

A2.1.16 Modern doors, door linings, architraves and skirtings removed throughout. New doors, door linings and skirtings throughout (note that this formed part of consent 2013/8207/P).

Services

A2.1.17 Underfloor heating system throughout. Heat energy provided via internal hot water storage tank and air source pumps located externally in the lightwell below the entrance lobby.

A2.1.18 Ventilation/cooling units concealed above new suspended ceilings or integrated within joinery as indicated on the drawings that accompany this statement.

A2.1.19 New water, drainage, electrical, lighting and data/telecom systems throughout.

A2.1.20 New fire detection/alarm system and mister type fire suppression system (with micro nozzles) in each room.

Decorations

A2.1.21 New decorations to walls, ceilings and joinery throughout.

Fittings

A2.1.22 New bathroom fittings and joinery fittings subject to further detail design.



Fig. A52 Lower ground floor plan - existing & demolition

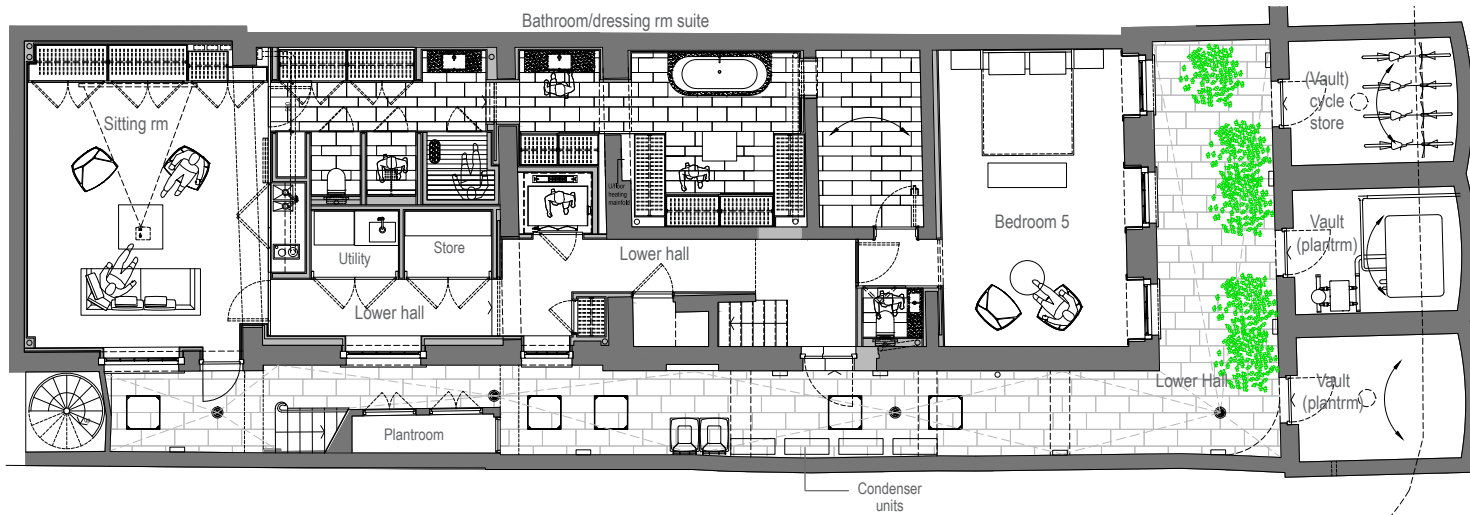


Fig. A53 Lower ground floor plan - proposed

- █ Constructions to be demolished
- Existing constructions to be retained
- New constructions

Appendix 2.0 contd

Ground floor

Structure and external walls

A2.2.1 Modern structural piers in end walls front room (drawing room) and steel beams at ceiling level removed. Floorboards carefully lifted in room above and original floor joists strengthened if necessary.

A2.2.2 New steel beam inserted below 1st floor wall between front and rear rooms.

A2.2.3 Modern steel beams below original ceiling in rear room main house (reception) are to remain in-situ.

A2.2.4 New lift between ground and lower ground floors.

Flooring

A2.2.5 Raised section of floor in east part rear wing (top on plan) removed to allow a consistent floor level through the drawing room, reception, dining room and kitchen (note that this is indicated on the drawings accompanying consent 2013/8207/P). Existing floor joists retained in-situ.

A2.2.6 Existing floorboards carefully lifted throughout to enable sound proofing to be inserted between floor joists. New hardwood or carpet finishes on 6mm plywood on existing boards. New tiling to kitchen on 12mm plywood on existing floorboards.

A2.2.7 Underfloor heating to rear wing hung on straps between existing floor joists. Pipework distribution to utilise notches and drillings in the existing joists.

Stairs

A2.2.8 Original stairs and balustrade in main house overhauled and redecorated. Paint removed from treads and soffit to expose original stone. New carpet runner and stair rods.

Ceilings

A2.2.9 Modern suspended plasterboard suspended ceilings removed throughout. New plasterboard ceilings on metal framing with plaster skim to all areas except front room main house.

A2.2.10 Original cornices to front room (drawing room) repaired and missing sections replaced to match adjacent. Damaged lathe ceiling between perimeter cornices replaced with new lathe and plaster ceiling.

A2.2.11 Original ceiling and cornicing to lobby, hall and stairs repaired where necessary.

Walls

A2.2.12 Removal triangular section masonry in corner rear office. There is no recognition of this element at lower ground or roof level. The removal of this element formed part of consent 2013/8207/P.

A2.2.13 Modern plasterboard lining to end walls front room removed. Modern plasterboard partition between front and rear rooms and associated modern doors removed and replaced with new wall aligned with exposed original cornices.

A2.2.14 New partition walls generally formed from 2 layers of plasterboard on treated timber framing with plaster skim. Perimeter walls to rear wing lined with insulated plasterboard.

A2.2.15 Plaster repairs to retained masonry walls to match existing adjacent material.

A2.2.16 New fire surround and grate in front room. Reclaimed fire surround typical of 1820s.

External windows and doors

A2.2.17 Existing sash window, panelled reveals/fixed shutters, elbow linings and window backs overhauled and redecorated. Where repairs/replacement sections are necessary these are to match existing frame/glazing bar/panel profiles.

A2.2.18 White coated aluminium framed vertical sash secondary glazing fitted to windows in rear wing only (note that secondary glazing formed part of consent 2013/8207/P).

A2.2.19 Existing front door overhauled and redecorated. Access control system installed with external video intercom panel.

A2.2.20 New doorway in place of existing window on the Conway street facade of the rear wing. A new painted steel bridge and gate in the railing will provide access from Conway Street. Note that a new doorway and bridge from Conway street formed part of consent 2013/8205/P.

Internal joinery

A2.2.21 Original main entrance doors and lobby doors and glazed fanlights overhauled and redecorated.

A2.2.22 Modern doors, door linings and architraves removed throughout other areas. New doors, door linings and skirtings throughout (note that this formed part of consent 2013/8207/P).

A2.2.23 Automatic drop down fire resisting shutter concealed in ceiling above door between hall and reception.

A2.2.24 Original skirtings to lobby, hall and stairs repaired and redecorated. Modern skirtings replaced throughout other areas (note that this formed part of consent 2013/8207/P).

Services

A2.2.25 Heating via wall mounted radiator panels to main house. Underfloor heating system to rear wing. Heat energy provided via external air source pumps and internal hot water storage tank.

A2.2.26 Ventilation/cooling units concealed above new suspended ceiling in reception and bar as indicated on the drawings that accompany this statement.

A2.2.27 New water, drainage, electrical, lighting and data/telecom systems throughout.

A2.2.28 New fire detection/alarm system and mister type fire suppression system (with micro nozzles) in each room.

Decorations

A2.2.29 New decorations to walls, ceilings and joinery throughout.

Fittings

A2.2.30 New joinery and kitchen fittings subject to further detail design.

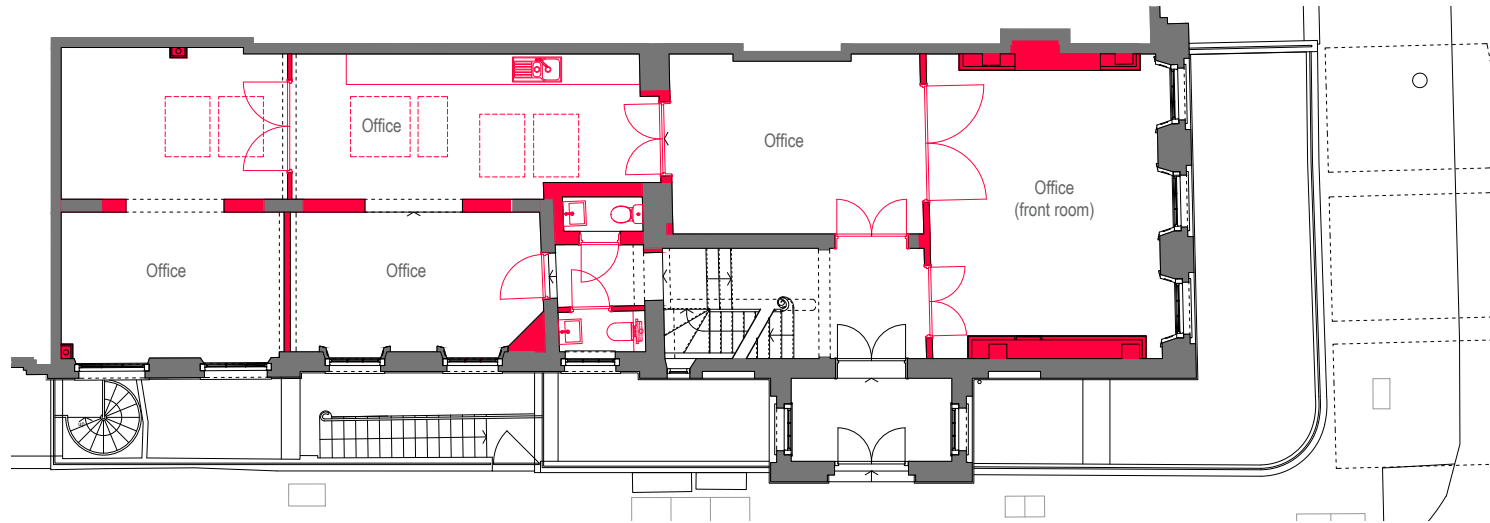


Fig. A54 Ground floor plan - existing and demolition

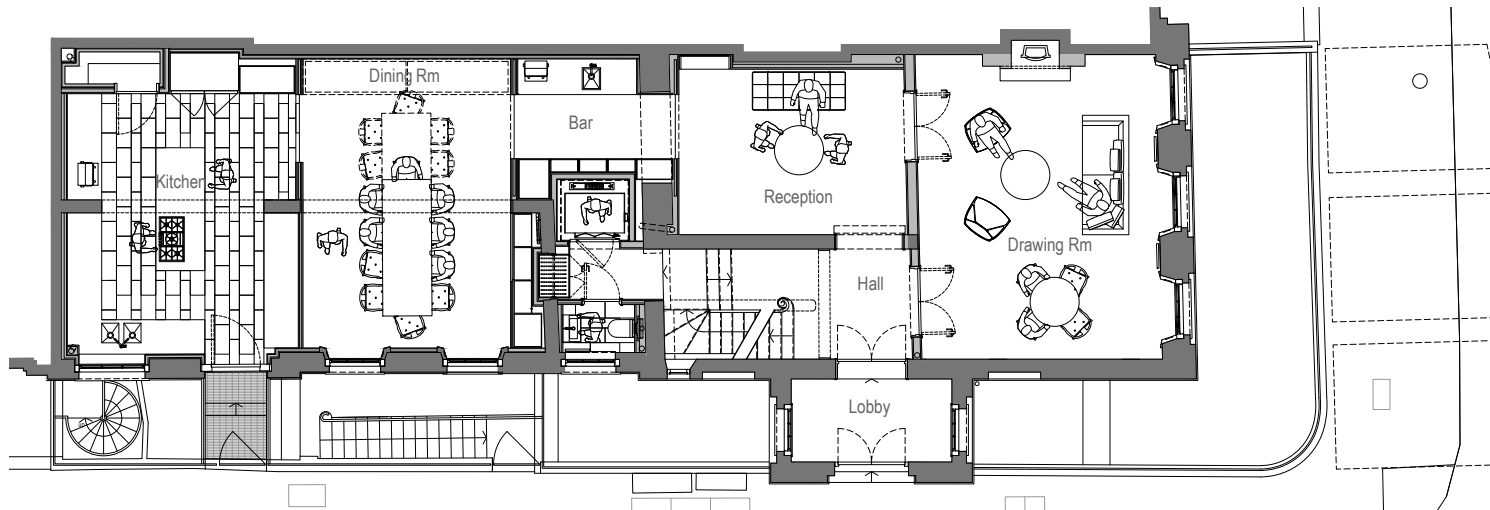


Fig. A55 Ground floor plan - proposed

Appendix 2.0 contd

1st floor

Structure and envelope

A2.3.1 New roof decking and asphalt finish on existing timbers to roof of rear wing and roof above entrance lobby. Roof above entrance lobby finished with natural stone paving slabs.

A2.3.2 Modern structural piers in end walls front room (study) and steel beams at ceiling level removed. Floorboards carefully lifted in room above and original floor joists strengthened if necessary.

A2.3.3 New steel beam inserted below 1st floor wall between front and rear rooms.

A2.3.4 Modern steel beams below original ceiling in rear room main house (library) are to remain in-situ.

Flooring

A2.3.5 Existing floorboards carefully lifted in front and rear rooms to enable sound proofing to be inserted between floor joists. New hardwood or carpet finishes on 6mm plywood on existing boards.

Stairs

A2.3.6 Original stairs and balustrade in main house overhauled and redecorated. Paint removed from treads and soffit to expose original stone. New carpet runner and stair rods.

A2.3.7 Existing access platform/steps to rear roof replaced with new steel construction platform and steps.

A2.3.8 New steel safety handrail to perimeter of rear roof.

Ceilings

A2.3.9 Modern suspended plasterboard ceilings removed from front and rear rooms. New plasterboard ceiling on metal framing with plaster skim to rear room only.

A2.3.10 Original cornices to front room repaired and missing sections replaced to match adjacent. Damaged lathe ceiling between perimeter cornices replaced with new lathe and plaster ceiling.

A2.3.11 Original ceiling and corning to stairs and landing repaired where necessary.

Walls

A2.3.12 Modern plasterboard lining to flank walls front room removed. Modern fire surrounds to front and rear rooms replaced with reclaimed surrounds more typical of the 1820s.

A2.3.13 New partition walls generally formed from 2 layers of plasterboard on treated timber framing with plaster skim.

A2.3.14 Plaster repairs to retained masonry walls to match existing adjacent material.

External windows and doors

A2.3.15 Existing sash windows, panelled reveals/fixed shutters, elbow linings and window backs overhauled and redecorated. Where repairs/replacement sections are necessary these are to match existing frame/glazing bar/panel profiles.

A2.3.16 Existing doors leading to rear roof, panelled reveals/fixed shutters, elbow linings and window backs overhauled and redecorated.

A2.3.17 White coated aluminium framed vertical sash secondary glazing fitted to stair half landing window only (note that secondary glazing formed part of consent 2013/8207/P).

Internal joinery

A2.3.18 Modern doors, door linings and architraves removed throughout. New doors, door linings and skirtings throughout. (note that this formed part of consent 2013/8207/P).

A2.3.19 Original skirtings to landing and stairs repaired and redecorated. Modern skirtings replaced throughout other areas (note that this formed part of consent 2013/8207/P).

Services

A2.3.20 Heating via wall mounted radiator panels. Heat energy provided via external air source pumps and internal hot water storage tank.

A2.3.21 Ventilation/cooling units concealed above new suspended ceiling in library as indicated on the drawings that accompany this statement.

A2.3.22 New water, drainage, electrical, lighting and data/telecom systems throughout.

A2.3.23 New fire detection/alarm system and mister type fire suppression system (with micro nozzles) in each room.

Decorations

A2.3.24 New decorations to walls, ceilings and joinery throughout.

Fittings

A2.3.25 New joinery and fittings subject to further detail design.

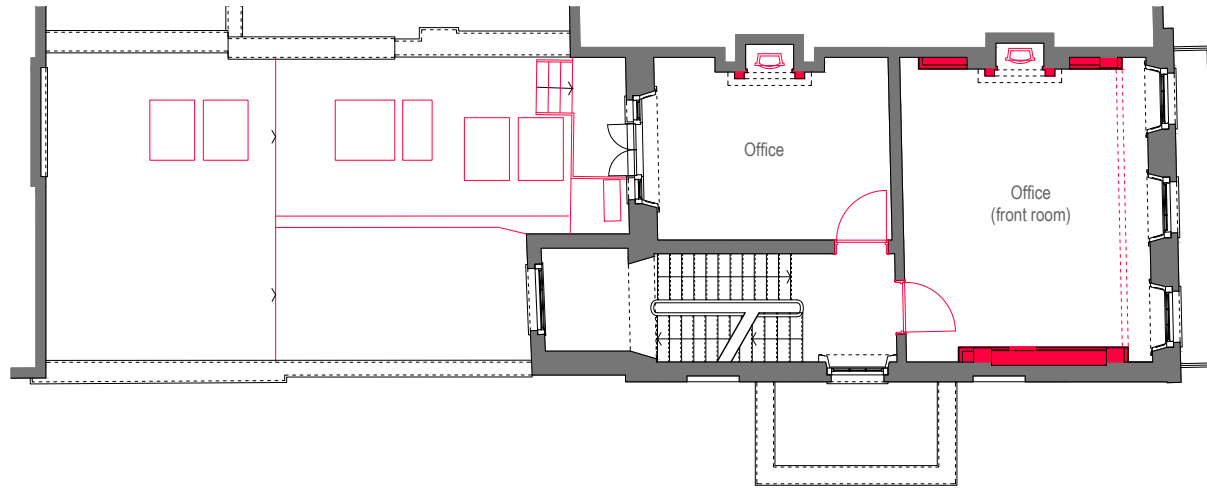


Fig. A56 1st floor plan - existing and demolition

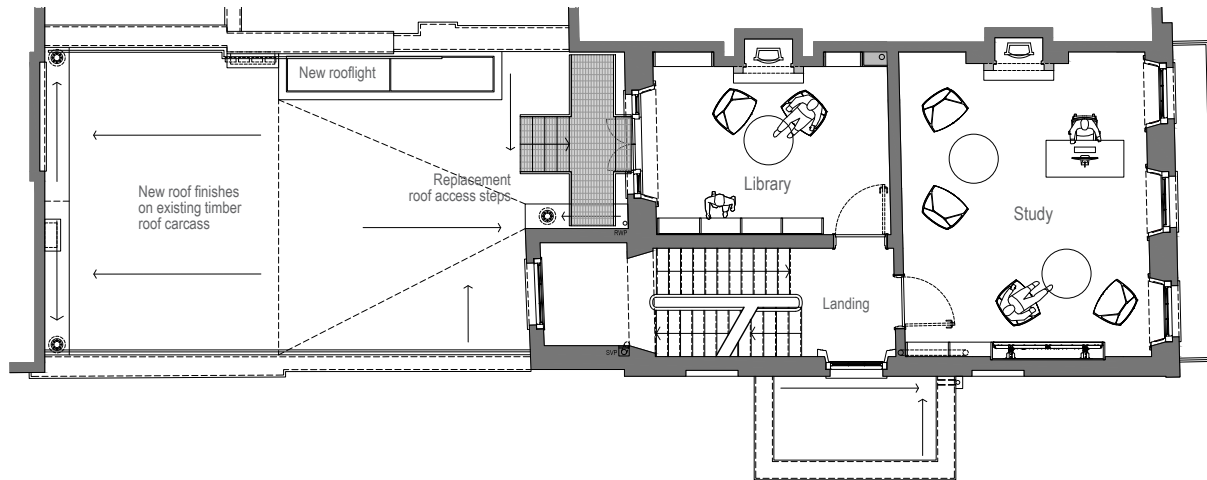


Fig. A57 1st floor plan - proposed

Appendix 2.0 contd

2nd floor

Structure

A2.4.1 Modern steel beams below original ceiling in front and rear rooms are to remain in-situ. Presently these are concealed above a modern plasterboard suspended ceiling.

Flooring

A2.4.2 Existing floorboards carefully lifted throughout to enable sound proofing to be inserted between floor joists. New hardwood or carpet finishes on 6mm plywood on existing floorboards. New tiling to bathroom on 12mm plywood on existing floorboards.

Stairs

A2.4.3 Original stairs and balustrade in main house overhauled and redecorated. Paint removed from treads and soffit to expose original stone. New carpet runner and stair rods.

A2.4.4 Existing timber stairs to 3rd floor overhauled with new painted timber guarding. New carpet finish.

Ceilings

A2.4.5 Modern suspended plasterboard ceilings removed from front and rear rooms. New plasterboard ceiling on metal framing with plaster skim to all rooms.

A2.4.6 Original ceiling and cornicing to stairs and landing repaired where necessary.

Walls

A2.4.7 New bathroom riser walls generally formed from 2 layers of plasterboard on treated timber framing with plaster skim.

A2.4.8 Plaster repairs to retained masonry walls to match existing adjacent material.

External windows and doors

A2.4.9 Existing sash windows, panelled reveals/fixed shutters, elbow linings and window backs overhauled and redecorated. Where repairs/replacement sections are necessary these are to match existing frame/glazing bar/panel profiles.

A2.4.10 White coated aluminium framed vertical sash secondary glazing fitted to all windows at this level (note that secondary glazing formed part of consent 2013/8207/P).

Internal joinery

A2.4.11 Modern doors, door linings and architraves removed throughout. New doors, door linings and skirtings throughout other areas (note that this formed part of consent 2013/8207/P).

A2.4.12 Original skirtings to stairs and landing repaired and redecorated. Modern skirtings replaced throughout (note that this formed part of consent 2013/8207/P).

Services

A2.4.13 Heating via wall mounted radiator panels. Heat energy provided via external air source pumps and internal hot water storage tank.

A2.4.14 Ventilation/cooling units concealed above new suspended ceiling in reception and bar as indicated on the drawings that accompany this statement.

A2.4.15 New water, drainage, electrical, lighting and data/telecom systems throughout.

A2.4.16 New fire detection/alarm system and mister type fire suppression system (with micro nozzles) in each room.

Decorations

A2.4.17 New decorations to walls, ceilings and joinery throughout.

Fittings

A2.4.18 New joinery and kitchen fittings subject to further detail design.

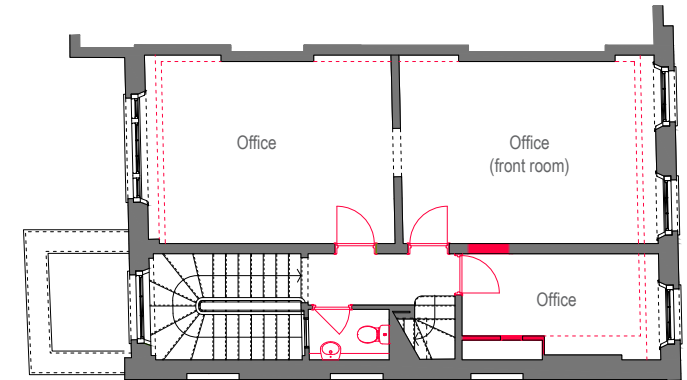


Fig. A58 2nd floor plan - existing and demolition

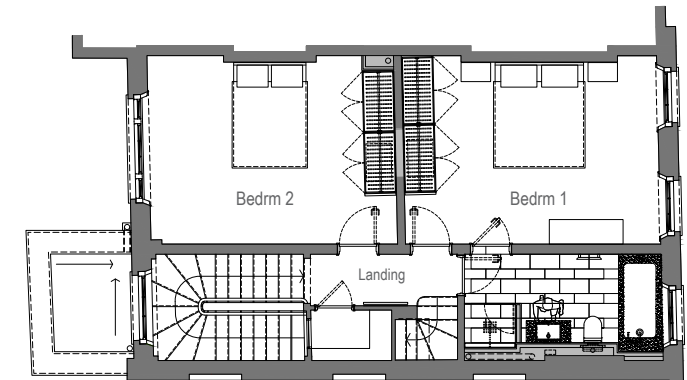


Fig. A59 2nd floor plan - proposed

Appendix 2.0 contd

3rd floor

Structure

A2.5.1 Modern steel beams/roof ties below original ceiling in front and rear rooms are to remain in-situ. Presently these are concealed above a modern plasterboard suspended ceiling.

Flooring

A2.5.2 Existing floorboards carefully lifted to enable sound proofing to be inserted between floor joists. New hardwood or carpet finishes on 6mm plywood on existing boards. New tiling to bathrooms on 12mm plywood on existing floorboards.

Ceilings

A2.5.3 Modern suspended plasterboard ceilings removed from front and rear rooms. New plasterboard ceiling on metal framing with plaster skim to all rooms.

Walls

A2.5.4 New internal partition walls and bathroom riser walls generally formed from 2 layers of plasterboard on treated timber framing with plaster skim.

A2.5.5 Plaster repairs to retained masonry walls to match existing adjacent material.

External windows and doors

A2.5.6 Existing sash windows overhauled and redecorated. Where repairs/replacement sections are necessary these are to match existing.

A2.5.7 White coated aluminium framed vertical sash secondary glazing fitted to all windows at this level (note that secondary glazing formed part of consent 2013/8207/P).

Internal joinery

A2.5.8 Existing stairs from 2nd to 3rd floors overhauled and redecorated. Existing modern glazed fire screen removed and replaced with painted timber spindle balustrade.

A2.5.9 Existing modern steel access stairs to roof replaced with timber construction. Cupboard formed below stairs with new access door from bedroom 4.

A2.5.10 Modern doors, door linings and architraves removed throughout. New doors, door linings and skirtings throughout (note that this formed part of consent 2013/8207/P).

A2.5.11 Modern skirtings replaced throughout (note that this formed part of consent 2013/8207/P).

Services

A2.5.12 Heating via wall mounted radiator panels. Heat energy provided via external air source pumps and internal hot water storage tank.

A2.5.13 Ventilation/cooling units concealed above new suspended ceiling in reception and bar as indicated on the drawings that accompany this statement.

A2.5.14 New water, drainage, electrical, lighting and data/telecom systems throughout.

A2.5.15 New fire detection/alarm system and mister type fire suppression system (with micro nozzles) in each room.

Decorations

A2.5.16 New decorations to walls, ceilings and joinery throughout.

Fittings

A2.5.17 New joinery and kitchen fittings subject to further detail design.

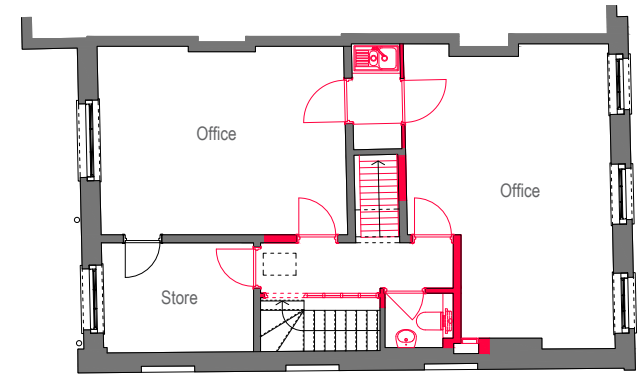


Fig. A60 3rd floor plan - existing and demolition

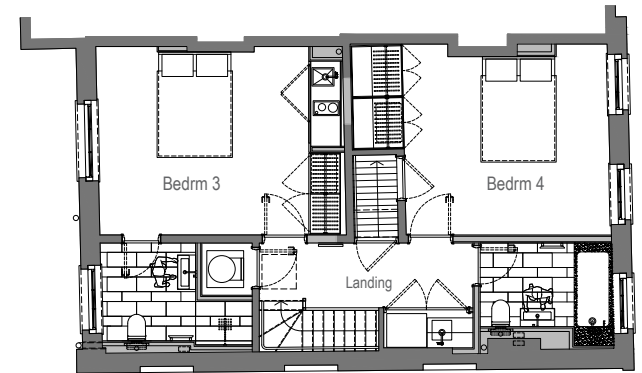


Fig. A61 3rd floor plan - proposed

Appendix 2.0 contd

Roof level

A2.6.1 Existing artificial slate roof covering and boarding removed. New Welsh slates on battens, and boarding with thermal insulation between and above the existing rafters.

A2.6.2 Existing chimney stacks re-pointed as necessary. Rendered chimney stacks on 19/18 FS party wall to be re-rendered.

A2.6.3 Existing lead flashings and linings to gutters to be replaced with new lead on timber boarding.

A2.6.4 Existing lead cladding to the roof access 'cabin' replaced with new lead on new timber boarding and replacement timber framing where existing is dilapidated.

A2.6.5 New bathroom ventilation and drainage ventilation terminals fabricated from lead coated stainless steel and integrated into the slate roof finish.

A2.6.6 Existing parapets and copings repaired or replaced to match existing and redecorated with white exterior paint. Existing railing and 19/18 FS party wall stepover overhauled and redecorated.

A2.6.7 New roof aerial and satellite dish mounted in the central roof valley. Top dish below the level of the main roof apexes.

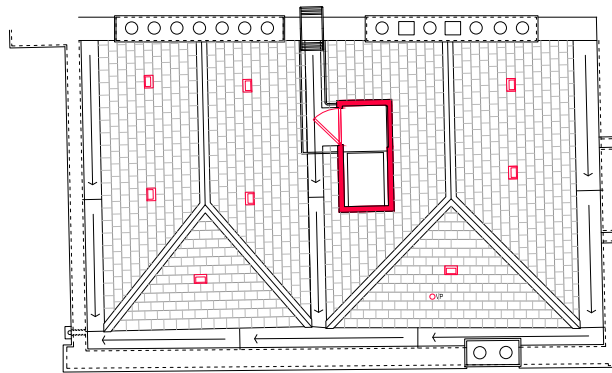


Fig. A62 Roof plan - existing and demolition

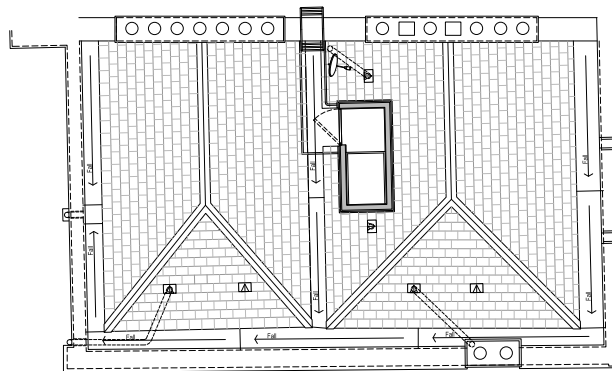


Fig. A63 Roof plan - proposed

Appendix 2.0 contd

Exterior - South facade (to Fitzroy Square)

- A2.7.1 New natural stone copings to roof parapets.
- A2.7.2 Making good as required and full redecoration to stucco facade finish.
- A2.7.3 Lead flashings above projecting cornices replaced or fitted where missing.
- A2.7.4 Balcony and pavement railings overhauled and redecored gloss black. Balcony re-surfaced with proprietary epoxy coating.
- A2.7.5 Modern security grilles removed from lower ground floor windows
- A2.7.6 Existing windows and doors overhauled and redecored. Where repairs/replacement sections are necessary these are to match existing.

Exterior - West facade (to Conway Street)

- A2.7.7 New door opening in location of existing window opening. New steel entrance bridge/steps. New gate in railing to match existing to stairs. Electromagnetic access control system fitted to both gates.
- A2.7.8 New natural stone copings to roof parapets and parapets above entrance lobby and above rear wing.
- A2.7.9 Existing brickwork 1st to 3rd floor repointed.
- A2.7.10 Making good as required and full redecoration to stucco facade finish at ground level.
- A2.7.11 Existing pebble dash render to lower ground level replaced with smooth stucco finish and decorated to match above.
- A2.7.12 Lead flashings above projecting cornices replaced or fitted where missing. Rainwater goods overhauled and redecored gloss black.
- A2.7.13 Modern security grilles removed from lower ground floor windows
- A2.7.14 Existing windows and doors overhauled and redecored. Where repairs/replacement sections are necessary these are to match existing. Access control video/intercom panel to main entrance door replaced.



Fig. A64 West facade to Conway Street - proposed

Appendix 2.0 contd

Exterior - North facade (facing 12 Conway Street)

A2.7.15 New natural stone copings to roof parapets Existing brickwork 1st to 3rd floor repointed. Rainwater goods overhauled and redecorated. Modern rainwater goods replaced with cast iron.

A2.7.16 Existing windows and doors overhauled and redecorated. Where repairs/replacement sections are necessary these are to match existing.

Lower ground floor - Lightwell

A2.7.17 Existing store room below ground floor entrance lobby removed (see fig. A52).

A2.7.18 Existing steps from pavement to lower ground lightwell resurfaced to match existing. New plantroom below steps.

A2.7.19 Six existing air conditioning condenser units removed and replaced with four new units located below the ground floor entrance lobby.

A2.7.20 Existing paving replaced with stone paving laid to falls to gulleys. New covers to inspection chambers recessed to receive paving. New planting in planters.

A2.7.21 New downward directed external light fittings mounted on pavement retaining wall around the perimeter of the lightwell.

Lower ground floor - Under pavement vaults

A2.7.22 Vault floors lowered by 200mm with new concrete floor construction incorporating damp proof membrane.

A2.7.23 Proprietary waterproof render system to internal vault walls and vaulted soffit (note that this formed part of consent 2013/8207/P - DAS A2.1.1 refers).

A2.7.24 Existing ledged and braced doors to vaults overhauled and redecorated gloss white.



Fig. A65 North facade



Fig. A66 South facade to Fitzroy Square

Appendix 3.0 Meeting Lifetime Homes Criteria

Extent to which the proposals meet the 16 Lifetime Homes Criteria.

Criterion 1 & 2 - Parking and access from parking:

The property has no parking spaces

Criterion 3 & 4 - Approach to entrances and entrances:

The access to the property is via steps and as the entrance is immediately at the back of pavement there is no space for a ramped access.

Criterion 5 - The main stairs is original to the property and is to be retained. This does not meet criterion 5a as the hand rails do not extend 300mm beyond top and bottom. Criterion 5b cannot be met as the proposed lift does not have a level access and serves only 2 floors.

Criterion 6 - Internal halls and doorways.

New internal halls and doorways will generally meet the minimum widths set-out in criterion 6. However at 2nd floor hall widths are restricted by the original stairs which is to be retained.

Criterion 7 - Circulation:

Proposed rooms are of a good size with adequate space for circulation for someone in a wheelchair (although the floor on which the room is located may not be accessible by someone in a wheelchair).

Criterion 8 - Entrance level living space:

A space that can easily be adapted to a living space is provided at entrance level

Criterion 9 - Potential for entrance level bed space:

The front room at entrance level is sufficiently sized to accommodate a single bed should the need arise.

Criterion 10 - Entrance level WC:

A WC cannot be provided at entrance level for the reasons set-out in 10.07 above.

Criterion 11 - WC and bathroom walls:

All bathroom and WC walls will be strengthened to accept future grab rails.

Criterion 12 - Potential for stair lift and through-floor lift:

The main stairs could accommodate a stair lift without alteration to the existing balustrade. However a through-floor lift is not possible for the reasons set-out in 10.07 above.

Criterion 13 - Potential for fitting hoists in bathroom and bedroom:

Floors could be sufficiently strengthened to accommodate hoists.

Criterion 14 - Bathrooms:

The bathrooms at lower ground floor and 2nd floor levels could be readily adapted to comply with criterion 14.

Criterion 15 - Glazing and window handle heights:

The low sill heights of the original windows at 1st floor mean that criterion 15 can be met.

Criterion 16 - Location of service controls:

All light switches, power sockets and heating/alarm controls will be mounted in the height zone set-out in criterion 16.