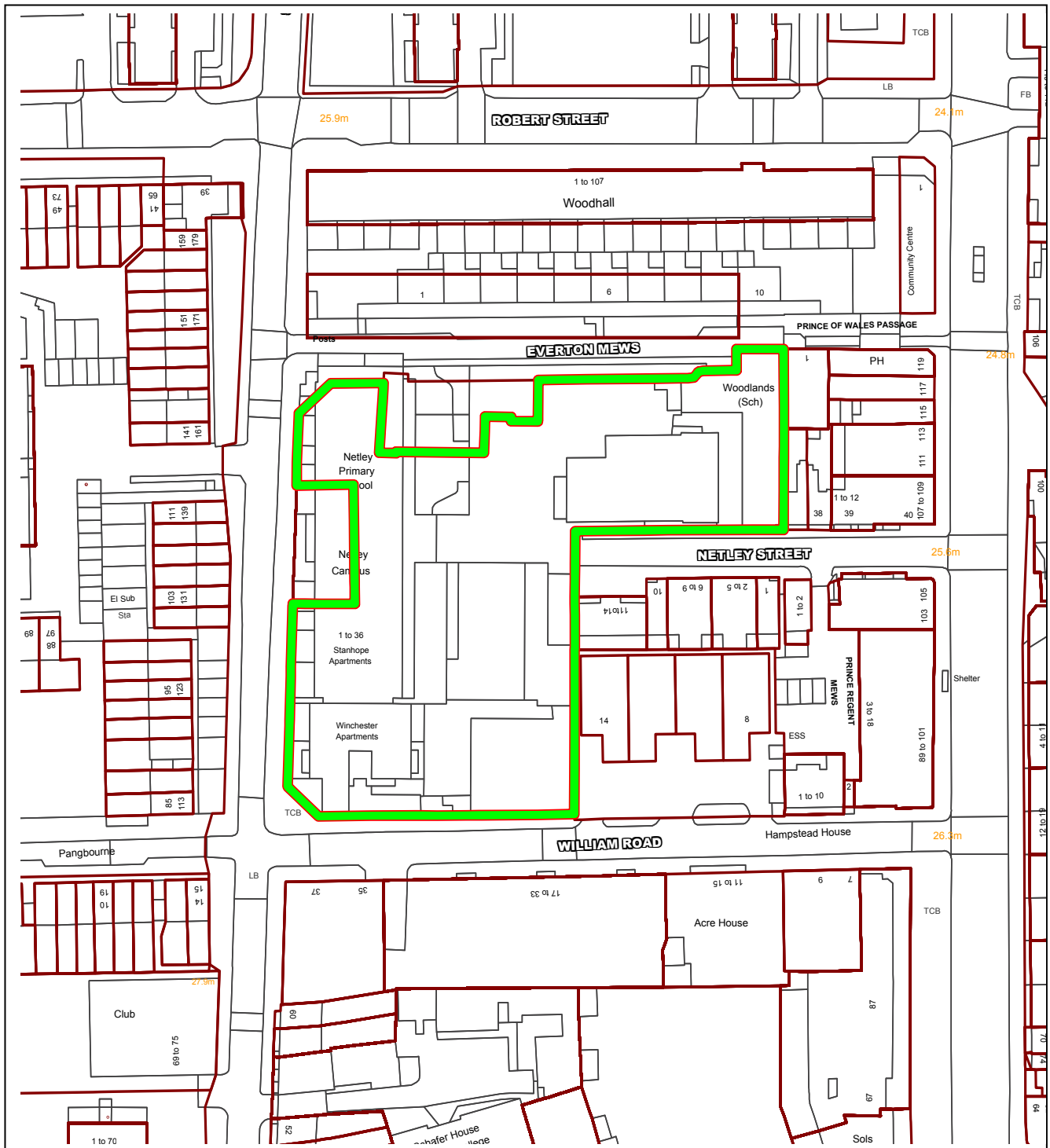


Netley School NW1 2016/1283/P



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Netley Primary School



A. View of Everton Flows to and north boundary wall of site



B. View of Victorian brick school building looking south



C. View of existing caretaker's office / bin sets / bike store



D. View of recently built main school building looking west.

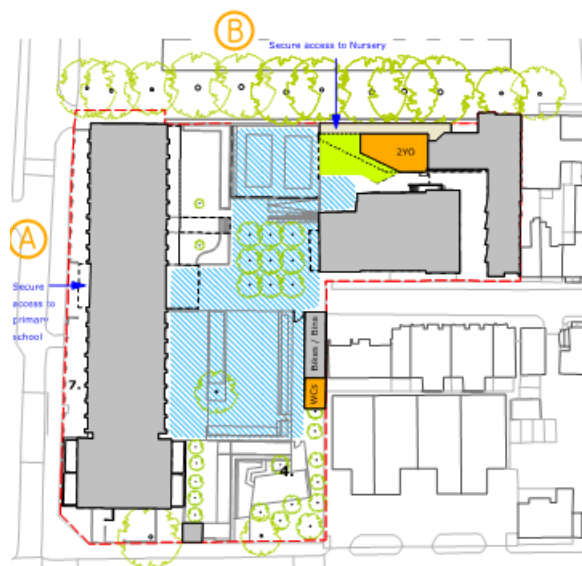


Site Location Plan - 1:2000

Views around school

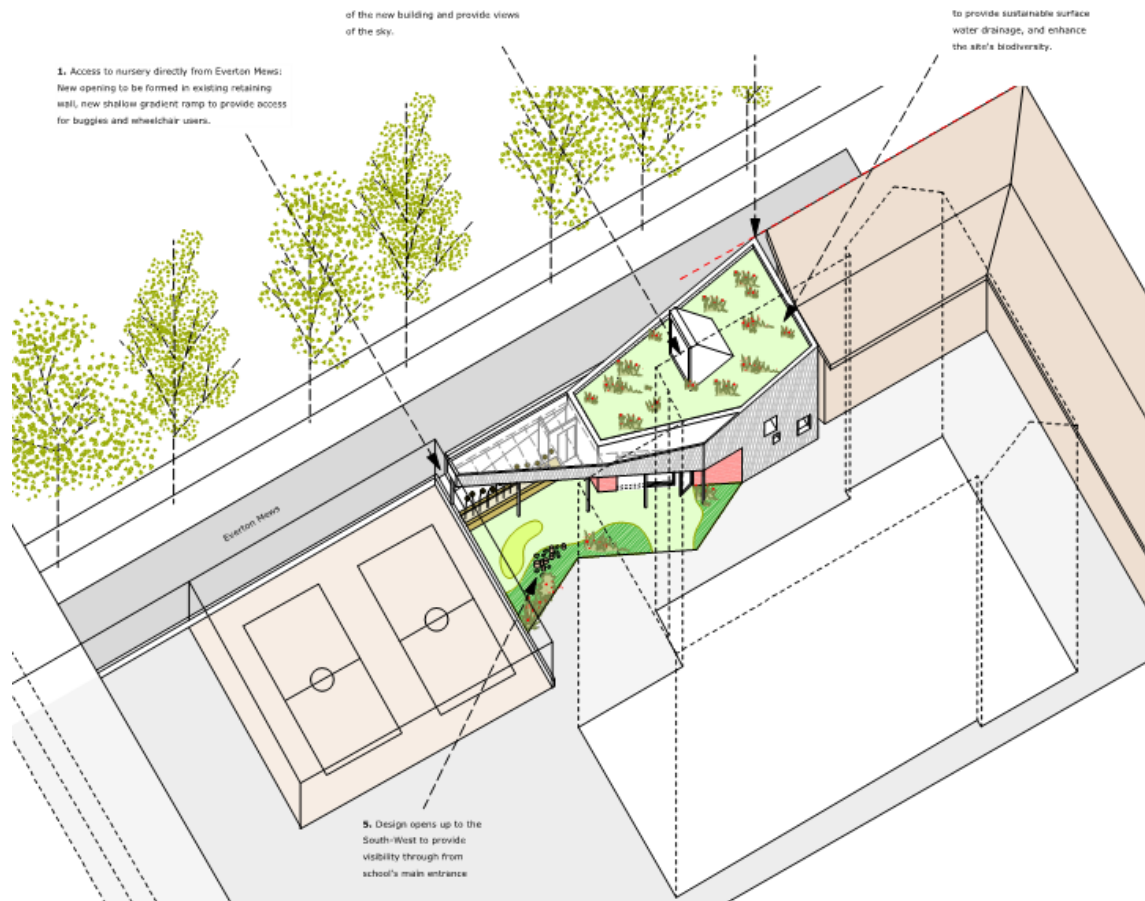


Listing Site Layout



Proposed Site Layout

Existing and proposed site layouts (proposed extensions in orange)



Proposed sketch view

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	12/05/2016
		N/A		Consultation Expiry Date:	29/04/2016
Officer			Application Number(s)		
Fergus Freeney			2016/1283/P		
Application Address			Drawing Numbers		
Netley Primary School 74 Stanhope Street London NW1 3EX			See decision notice.		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of single storey nursery building and single storey WC building within school site.					
Recommendation(s):		Grant planning permission subject to a shadow s106 legal agreement			
Application Type:		Full Planning Permission			

Consultations

Adjoining Occupiers:	No. notified	64	No. of responses	01	No. of objections	01
Summary of consultation responses:			No. electronic	01		
	<p>Site Notice: 04/05/2016 – 25/05/2016 Adjoining Occupier letter – 29/04/2016 – 20/05/2016</p> <p>1 letter of objection from consultants representing <u>3 residents</u> of 12, 13 and 14 Netley Street. Objections summarised as follows:</p> <ol style="list-style-type: none"> 1. Insufficient and contradictory information provided; not least that three current planning applications for the site are currently live and impact on each other as well as cumulatively. Discrepancies in the number of cycle parking spaces on site. 2. Outstanding undischarged planning conditions from the parent 2012/20989/P planning approval. 3. Over-development of the site when taking all matters as a whole. 4. Overbearing development on the north boundary leading to an exaggerated sense of enclosure and a poor quality design and use of materials leading to a visual discordant feature in the streetscene adversely impacting on the living conditions of the residents of Everton Mews 5. Impact on Netley street properties due to new WC/toilet block proposed. 6. Unjustified under-provision of cycle parking. 7. Additional pedestrian access with lack of information on how this will be managed. This is coupled with no clear permitted hours for approved uses or ancillary community uses of the site, which will give rise to unacceptable levels of noise, disturbance and congestion around the site adversely impacting on the current and future residents of the site and its surrounding properties 8. Potential increase in traffic 9. Loss of trees. <p><u>Officer response</u></p> <ol style="list-style-type: none"> 1. The information submitted is considered to be appropriate for the scale and type of scheme and is unambiguous; to request additional details beyond what has been submitted would be onerous and unnecessary. The Council does not consider applications in isolation and will assess, where relevant, the cumulative impact of all applications even when submitted concurrently. At present 14 cycle parking spaces are provided with an existing facility in the centre of the site. 2. The objectors state that conditions 3 (slab levels), 5 (basements details), 19 (sound insulation), 21 (waste storage details) and 43 (Community use plan) have not been discharged. Council records indicate that all these conditions have been discharged, please see planning history section below. 3. There are no planning restrictions on the number of pupils on site; however this will be subject to a school travel plan and legislation outside of planning control; provided the school complies with all 					

	<p>agreed management schemes and travel plans, it is not considered that these schemes will impact negatively in regard to pupil numbers. With regards to overdevelopment of buildings on site, the principle of a block in the location of the nursery site has been established under previous applications albeit to be used for cycle parking; changing the use to a nursery does not change the principle of a construction in this location. The creation of a classroom in the roof of the Victorian building would be limited to the envelope of an existing structure. The toilet block would be a minor extension of an existing building and would have limited impact beyond what is currently built.</p> <ol style="list-style-type: none"> 4. Please see section 6 Design and 13 Amenity below 5. The toilet block would be a minor extension of an existing building and would have limited impact beyond what is currently built. 6. The relocation of cycle parking to alternative sites within the school will be secured by condition and subject to additional consideration. Any reduction would need additional justification. 7. Given the size of the unit and nature of hours that nurseries usually maintain, it is not considered that there would be such harm to Everton Mews as to warrant refusal. Nonetheless, a management strategy, to include hours of operation, will be secured by way of a s106 legal agreement. 8. The school will still be required to comply with all existing travel plans and management strategies in relation to the school run. It is noted that the majority of pupils live within very close proximity and generally arrive on foot. 9. Please see para 28 below.
<p>CAAC/Local groups* comments: *Please Specify</p>	<p>No CAAC or statutory local groups</p>

Site Description

The site forms part of the existing Netley School and lies to the west of Hampstead Rd. It is located around 150m west of Hampstead Rd and just over 400m north of Euston Rd. It has extensive public transport services in the surrounding area, including Warren Street, Euston Square and Great Portland Street Stations (underground); Euston Station (national rail, overground, underground and buses). Bus stops are also located on Hampstead Road and Euston Road.

The school has undergone significant expansion recently with a number of large new buildings erected around the site perimeter.

The school is not within a conservation area, none of the buildings on site are listed buildings; however, the Victorian building on the school site is a locally listed building.

Relevant History

2012/1970/P - Demolition of the foundation unit, caretaker's house and Primary Pupil Referral Unit to

enable the erection of 2 storey temporary school buildings, landscaping and access works between 2012-2014. *Approved 20/07/2012*

2012/2089/P - Erection of a 5 storey building plus basement to accommodate a Foundation Unit, Primary Pupil Referral Unit and Community Learning Centre and 36 residential units (Class C3) fronting Stanhope Street; erection of a 8 storey building plus lower ground floor to accommodate 34 residential units (Class C3) at the junction of Stanhope Street and William Road (following demolition of existing post-war primary school building); remodelling to the Victorian Board School to accommodate a lift core to provide access to the new play space at roof level. Demolition of Woodhall Garages and erection of a 2 storey block to provide 10 x social rented family houses (Class C3) and associated public realm improvements to Everton Buildings, landscaping and access works. *Approved 16/10/2012*

2012/3684/P - Partial demolition of existing PRUU building. *Approved 25/01/2013*

2012/4336/P - Details pursuant to condition 1 (cycle storage) and 7 (waste storage) of planning permission dated 20/07/12 (Ref 2012/1970/P) *approved 15/10/2012*

2012/6815/P - Details pursuant to conditions 3 (slab levels), 5 (appointment of chartered engineer), 21 (waste storage) and 23 (cycle storage) of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 22/02/2013*

2013/0344/P - Details pursuant to conditions 11 (details of foundations and excavations - for Blocks A and B in relation to Phase 1 of the development) and 39 (entered into agreement with Kings Cross Working) of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 14/03/2013*

2013/0457/P - Details pursuant to conditions 15 (plant), 16 (noise levels), 17 (sound insulation) and 19 (insulation to dwellings) of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 19/03/2013*

2013/1064/P - Details required by condition 4a (sample panel of brick work), 4b (sample panel of all facing/cladding materials) of 4c (details of railings and boundary treatment), 4d (details of windows), 9 (hard and soft landscape), 13 (green roof), 14 (details of bird and bat box), 20i (prior investigation and laboratory result), 22a (green roof for block A, B and housing unit E), 22b (off-site run-off and flooding affection), 22c (discharge of surface water) and 22d (details of drainage scheme) to planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 11/07/2014*

2013/2511/P - Variation of condition 2 (development built in accordance with approved plans) of planning permission dated 16/10/12 (ref: 2012/2089/P) *Approved 09/09/2013*

2013/5210/P - Details for condition 4c (railings) of planning permission 2012/2089/P decided 16/10/2012. *Approved 06/11/2013*

2014/3964/P - Details pursuant to conditions 6 (external lighting) & 7 (security measures) of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 31/07/2014*

2014/4541/P - Details pursuant to conditions 25 (Open Space Management Plan), 27 (Service Management Plan), 28 (Travel Plan (residential element only)), 37 (Sustainability Plan), 38 (Energy Statement) and shadow S106. clauses 4.10 (Water Management Plan) and 4.17 (Energy Efficiency and Renewable Energy Plan) of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 16/07/2016*

2014/7063/P - Details of acoustics report as required by condition 18 of planning permission dated 16/10/12 (Ref: 2012/2089/P) *Approved 29/01/2015*

Concurrent applications

2016/1252/P - Creation of new classroom within existing roof and erection of external store, new staircase, WC and canopy all at roof level. *Decision pending*

2016/1674/P - Variation of condition 23 (cycle storage) of application approved 16/10/2012 (ref: 2012/2089/P) and varied on 9/9/2013 (ref: 2013/2511/P) To reduce the number of cycle parking spaces from 36 to 14 spaces at the school. *Decision pending following further negotiations.*

Relevant policies

LDF Core Strategy and Development Policies

Core strategy:

CS1- Distribution and growth
CS5- Managing the impact of growth and development
CS10- Supporting community facilities
CS11- Promoting sustainable and efficient travel
CS13- Tackling climate change through higher environmental standards
CS14 – Promoting high quality places and conserving our heritage
CS15- Protecting and improving our parks and open spaces & encouraging biodiversity
CS19- Delivering and monitoring the Core Strategy

Development policies:

DP15 Community and leisure uses
DP16 The transport implications of development
DP17-Walking, cycling and public transport
DP18- Parking standards and limiting the availability of car parking
DP20- Movement of goods and materials
DP22- Promoting sustainable design and construction
DP23- Water
DP24- Securing high quality design
DP25-Conserving Camden's heritage
DP26- Managing the impact of development on occupiers and neighbours
DP29- Improving access

Camden planning guidance:

CPG1 (Design)
CPG3 (Sustainability)
CPG6 (Amenity)
CPG7 (Transport)
CPG8 (Planning obligations)

The London Plan 2016 NPPF

Assessment

1. Proposal:

2. Permission is sought for the erection of a single storey block with associated landscaping to create a nursery within the school site on its northern boundary facing Everton Mews.
3. The block would measure approx. 13m in width x 7m in depth x 6m high (at its highest point). It would be constructed from brickwork and metallic cladding. It would have a sloping roof and glazing facing onto a landscaped area, plus a large overhang facing the playground.
4. The proposal also includes a new toilet block extension located adjacent to a recently erected cycle parking block. It would measure approx. 6m long x 4.5m deep x 3m high. It would be constructed from brickwork to match the existing structure.
5. The main considerations for an application of this nature are:
 - Design
 - Amenity
 - Transport
 - Other issues

6. Assessment:

7. Design

8. The nursery block would be located on an existing playground space to the north of the site adjacent to Everton Mews. The site has been earmarked for a block to house cycle parking following the approval of the overall redevelopment of the site. It is adjacent to a small toilet block and would, in effect abut that building.
9. The nursery would be single storey but would be designed to have a steeply pitched roof element accommodating a vertical rooflight to allow light into the building and add visual interest. The building would be erected from red brick with metallic cladding revealing parts of this brickwork. It would also have a living green roof and landscaping.
10. The proposal is considered to be acceptable in terms of design; the school displays a varied mix of architectural styles ranging from Victorian to modern, Camden Planning Guidance encourages high quality contemporary design and this proposal is considered to contribute to the varied architectural style of the area whilst making reference to the materials by utilising some brickwork but also, through the use of metallic cladding, allows itself to be read as a stand-alone building.
11. The principle of a structure in this location has been established under the original application to redevelop the school site; it is not considered that the circumstances have since changed. The proposal is for a modest building, lower in height than the large Victorian school block directly to the south; it would not appear overbearing, or overly dominant when viewed from Everton Mews or the adjacent residential buildings.
12. As the nursery facility requires separate access for safety reasons (the school does not wish to have parents/adults walking through the whole school site to access the block), the proposal would create access and a ramped area from Everton Mews, taking some space away from a recently replanted area; whilst unfortunate, the school has agreed to cover the costs of this replanting (which will be secured by s106 legal agreement) and the overall design is not considered to be harmful to Everton Mews.

13. The landscaping could contain flower beds, small play areas and soft ground covering. It would be enclosed by a low boundary wall to delineate the nursery space from the rest of the school, so there is no conflict between age groups.

14. The proposed toilet block in the southeast corner of the school site would be a modest addition to an existing structure, it would be constructed from the same materials and be of the same design language. It is in the centre of the site not overly visible from the public realm and is considered to be acceptable.

15. Amenity

16. The proposal would be single storey in height although would have pitched roofslopes to accommodate a rooflight and add visual interest. Nonetheless there would be no impact on the amenity of surrounding properties.

17. The site faces onto residential properties at Everton Mews, approx. 15m to the north. The principle of a single storey block to house cycle parking has been established for this site and it is not considered that the change to a nursery would impact upon outlook, overlooking or loss of sunlight/daylight for these properties. There are no other surrounding residential properties which could be affected.

18. The proposed toilet block would abut an existing cycle storage area and would back onto the rear of properties on Netley Street. Given its modest size and height, the existence of a structure already and the confined nature of rear yards at properties on Netley Street, there would be limited impact on amenity, insufficient to warrant refusal.

19. Whilst the creation of access to the school on Everton Mews would create more foot traffic through the pedestrian street, it is not considered that this would severely impact the amenity of residents. The access point would not be a natural point of entry to the main school, which would retain its main and obvious entrance on Stanhope Street; the entry point would only be for users of the nursery. Given the size of the unit and that parents would only be coming at morning and early afternoon to collect children, there would not be large congregations of people on the street. Nonetheless, to ensure that the creation of a new entrance point in this location does not result in significant harm to neighbours, a management plan, detailing hours of operation, numbers of pupils, and strategy to limit congregation of people outside the entrance shall be required by way of S106 legal agreement.

20. Transport

21. The site has a PTAL score of 6b (excellent) which indicates that it has a high level of accessibility by public transport. The nearest station is Warren Street Station (underground), located to the south of the site. Euston Square Station (underground) is located to the southeast of the site. Euston Station (national rail, overground, underground and buses) is located to the east of the site. Great Portland Street Station (underground) is located to the southwest of the site. Bus stops are located on Hampstead Road and Euston Road.

22. The proposal has provided dedicated spaces for buggies and scooters to reflect the age range of the pupils utilising the site; in this instance this approach is considered to be acceptable rather than providing additional cycle parking in relation to the nursery block, as nursery school children will not be cycling to school, but may use small scooters when accompanied by their parents to the site.

23. Plans from previous planning applications indicate that approx. 36 cycle spaces would have

been housed on this site. The erection of this nursery block in this location does not negate the need to re-provide cycle parking or justify a reduction in the number of cycle parking spaces on the overall school site.

24. The applicant has therefore identified an additional location, adjacent to an existing cycle storage area in the centre of the site where additional cycle parking could be relocated. This will be subject to further negotiations and will be secured by way of a planning condition.

25. There are a number of works proposed to be carried out within the school; it is therefore considered a construction management plan should be secured by s106 to ensure all these works are coordinated so as not to impact upon the transport network.

26. A contribution to cover the costs of repairing damage to the public highway, and a contribution to cover the cost of installing the ramp and removing planting shall also be secured by way of s106.

27. Other issues

28. Trees – it is noted that objections have been received regarding the loss of trees to accommodate a toilet block extension. Any trees which will be lost are new, having been recently planted and are not covered by a Tree Preservation Order, nor do they benefit from the protection offered by being within a conservation area. Nonetheless a condition will be added requiring a details of trees to be replanted.

29. **Recommendation: Grant Planning Permission subject to S106 Legal Agreement covering issues of – replanting on Everton Mews, school management plan, CMP, highway repairs.**

DISCLAIMER: The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 25th July 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Hayhurst and Co
Hayhurst and Co
26 Fournier Street
London E1 6QE

Application Ref: **2016/1283/P**

21 July 2016

Dear Sir/Madam

FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:
**74 Netley School
Stanhope Street
London
NW1 3EX**

Proposal:
Erection of single storey nursery building and single storey WC building within school site.
Drawing Nos: 184 2YO A100 r2; A001 r1; A002 r1; A012 r1; A013; A014 r1; A101 r3; A102 r2; A201 r2; A202 r2; A302 r2; A303 r2; A304 r2; A323 r2; A324 r2

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

a) Details including sections at 1:10 of all windows (including jambs, head and sill), ventilation grills, external doors and gates;

b) Manufacturer's specification details and samples of all facing materials

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 3 Full details of the green/biodiverse roof on the nursery and extended toilet block (including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for a scheme of maintenance) shall be submitted to and approved in writing by the local planning authority. The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: To ensure that the green roof is suitably designed and maintained in accordance with the requirements of policies CS13, CS14, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23, DP24 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

- 4 The scooter and buggy parking as shown on plan 184 2YO A100 R2 shall be fully implemented prior to first occupation of the nursery and shall be permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Before the development commences, details of 24 cycle parking spaces as shown on drawing 184 2YO A100 r2 shall be submitted and approved by the local planning authority. The total number of cycle parking spaces on site shall be at least 50 in accordance with approved scheme granted planning permission ref 2012/6815/P (dated 22/02/2013). The approved facility shall thereafter be provided in its entirety and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies.

- 6 Prior to the end of the next available planting season, replacement tree planting shall be carried out in accordance with details of replanting species, position, date and size that have first been submitted to and approved by the local planning authority in writing.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area, in accordance with the requirements of policies CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

7 NEED FOR A LEGAL AGREEMENT

In the event that any owners of the land have the legal locus to enter into a Section 106 Agreement, no works shall be progressed on site until such time as they have entered into such an Agreement incorporating obligations in respect of the matters covered by conditions marked with * in this notice of planning permission.

Reason: In order to define the permission and to secure development in accordance with policy CS19 of the London Borough of Camden Local Development Framework Core Strategy.

- 8 * No part of the development hereby approved shall be commenced until a Construction Management Plan setting out measures for ensuring highway safety and managing transport, deliveries and waste throughout the demolition and construction period, has been submitted to and approved by the local planning authority. The measures contained in the Construction Management Plan shall at all times during the construction phase remain implemented.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17, DP20 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 9 * Prior to occupation of the nursery block, a Management Plan, including measures setting out its hours of operation, pupil numbers within the nursery, and a strategy to reduce congregation outside the nursery entrance at start and finish of school time. The measures contained in the Management Plan shall at all times remain implemented.

Reason: In order to ensure that the travel demand arising from the development does not significantly impact on the existing transport system and on local residential amenities and to accord with the requirements of policies CS5 and CS11 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16 and DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 10 * Prior to commencement of the development, confirmation that the necessary measures to secure the necessary highway works for the development shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the scheme has an acceptable impact on the adjacent highway and provides an attractive safe and secure environment, in accordance with policies CS5, CS11 and CS17 of the London Borough of Camden Local Development Framework Core Strategy and policies DP16, DP17, DP20 and DP21 of the London Borough of Camden Local Development Framework Development Policies.

- 11 * Details of replacement landscaping along Everton Mews shall be submitted to and approved in writing by the local planning authority. The planting shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 12 The development hereby permitted shall be carried out in accordance with the following approved plans: 184 2YO A100 r2; A001 r1; A002 r1; A012 r1; A013; A014 r1; A101 r3; A102 r2; A201 r2; A202 r2; A302 r2; A303 r2; A304 r2; A323 r2; A324 r2; 184 2YO A400 r1; A401 r1; A402 r1; A403 r1;

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

1

Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).

- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 The applicant is advised that no additional water run-off would be acceptable on the public highway from a private development. Thus, a drainage solution must be incorporated at the base of the ramp to prevent this.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

Yours faithfully

Supporting Communities Directorate