

2016/2754/P – 56 Howitt Road



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Photo 1: Front elevation



Photo 2: Rear elevation



Photo 3: Existing single storey rear extension



Photo 4: view of terrace from no.58



Photo 5: View of terrace from below

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	04/08/2016
		N/A / attached		Consultation Expiry Date:	08/07/2016
Officer			Application Number(s)		
Laura Hazelton			2016/2754/P		
Application Address			Drawing Numbers		
56 Howitt Road London NW3 4LJ			Please refer to decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Variation of condition 3 (approved plans) of planning permission 2013/6138/P dated 03/12/2013 (for the excavation to enlarge existing basement), namely, to allow alterations to front and rear fenestration, installation of new privacy screen on side of rear roof terrace, installation of 1 front rooflight, and 1 rooflight to rear ground floor extension.					
Recommendation(s):		Grant planning permission			
Application Type:		Variation or Removal of Condition(s)			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	08	No. of responses	01	No. of objections	01
			No. Electronic	00		
Summary of consultation responses:	<p>The owner/occupier of 54 Howitt Road objected on the following grounds:</p> <ol style="list-style-type: none"> 1. The front elevation lightwell windows should be in keeping with the sashes of the surrounding neighbourhood. 2. Balcony doors – the flat roof has never been used as a recreational balcony. Its use as such would result in loss of privacy and would set a precedent. 3. Object to the loss of the sash window. 4. Dry lining of walls underground – request that the walls are dry-lined to contain noise. <p><u>Officer Response</u></p> <ol style="list-style-type: none"> 1. Please refer to section 3.5 for a detailed response. 2. Council records and photographs demonstrate that the roof terrace and balustrading have been in place since at least 2010 and are therefore lawful by virtue of time. It is acknowledged that the installation of a new doorway may result in increased use of this terrace; and as no.58 Howitt Road would be most directly affected, the proposal was amended to introduce a new privacy screen between these properties. The roof terrace runs along the boundary with no.58, leaving a distance of over 4m with no.54, which would reduce the potential for overlooking between these properties. Please refer to section 4.4 for a detailed response. 3. The new doors would be located within the existing aperture, and the original lintel retained. It would be of a similar style to the existing window and is not considered to cause harm to the character of the host building. 4. The dry lining of internal walls is not part of the current application and therefore cannot be controlled by condition or form a material consideration in the determination of this application. 					
CAAC/Local groups* comments: *Please Specify	<p>The Belsize Conservation Area Advisory Committee (CAAC) objected to the proposed new front rooflight (no reasons given).</p> <p><u>Officer response</u></p> <p>Please refer to section 3.2 for a detailed response.</p>					

Site Description

The application site relates to a three storey single family dwelling located to the western side of Howitt Road. The site is set within a terrace of properties which were originally built with mansard roof extensions with steep lower pitched and pitched upper slopes.

The site is located within the Belsize conservation area; however the building is not listed.

Relevant History

2013/6138/P - Excavation to enlarge existing basement level with creation of 2 x front lightwells and 2 x rear skylights at garden level, loft conversion with 3 rear and 1 front rooflights, replacement of window with double doors to rear elevation and enlargement of window to existing rear extension at ground floor level of dwellinghouse. Granted 2013/6138/P.

Relevant policies

National Planning Policy Framework 2012

The London Plan 2016

LDF Core Strategy and Development Policies

CS5 Managing the impact of growth and development

CS14 Promoting high quality places and conserving our heritage.

DP24 High quality design

DP25 Conserving Camden's heritage

DP26 Managing the impact of development on occupiers and neighbours

Camden Planning Guidance 2013/2015

CPG1 (Design)

CPG6 (Amenity)

Belsize Conservation Area Statement 2002

Assessment

1.0 Proposal

1.1 This application seeks planning permission to vary condition 3 (approved plans) of planning permission 2013/6138/P dated 03/12/2013. The original application was for the following:

Excavation to enlarge existing basement level with creation of 2 x front lightwells and 2 x rear skylight at garden level, loft conversion with 3 rear and 1 front rooflights, replacement of window with double doors to rear elevation and enlargement of window to existing rear extension at ground floor level of dwellinghouse.

1.2 This application seeks permission for the following alterations:

1.3 Front elevation

- Installation of 1 x conservation style rooflight to front roof slope.
- Installation of double timber framed doors in basement lightwell instead of previously approved timber framed windows.

1.4 Rear elevation

- Replace existing first floor sash window with double timber doors and lowering of sill to provide access to the existing roof terrace.
- Replace rear ground floor timber frame double doors and side casement window (on the single storey rear extension) with wraparound aluminium bi-folding doors.

2.0 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design (the impact of the proposal on the special interest of the host Listed Building and the character and appearance of the Belsize Park Conservation Area); and
- Amenity (the impact of the proposal on the amenity of the adjoining occupiers).

3.0 Design

3.1 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy DP24 are relevant to the application: development should consider the character, setting, context and the form and scale of neighbouring buildings, and the quality of materials to be used. Policy DP25 'Conserving Camden's Heritage' states that within conservation areas, the Council will only grant permission for development that 'preserves and enhances' its established character and appearance.

3.2 Rooflight

3.3 Permission is sought for the installation of 1 x conservation style rooflight on the front upper roof slope. The rooflight would sit adjacent to a larger rooflight, approved as part of the previous application (2013/6138/P).

3.4 Rooflights at this higher level are a common feature of the majority of properties along the terrace. Due to the steeper pitch of the lower roof slope and the shallower pitch of the upper slope, the rooflights are not visible from ground level and are also partly hidden by the original dormer windows on the lower slope. The rooflight would sit flush with the roof slope and is not considered to detract from the character and appearance of the host building or wider conservation area.

3.5 Timber-framed doors to front lightwell

3.6 The previous approval included a basement extension with timber framed windows to the front. This application seeks to alter the windows to a timber framed window and door. They would be within the same aperture, and would be timber

framed with a similar style to the previously approved windows. It is considered a minor alteration that would not be highly visible from street level due to its location at basement level.

3.7 Replacement of rear first floor sash window with doors and lowering of sill

3.8 The existing rear first floor timber framed sash window would be replaced with new timber framed doors and the existing sill lowered to ground level to provide access to the existing roof terrace. The new doors would be located within the existing aperture, and the original lintel retained. It would be of a similar style to the existing window and is not considered to cause harm to the character of the host building.

3.9 Replacement of rear ground floor door and window with aluminium bi-folding doors

3.10 At ground floor level, the existing rear double doors and side casement window (both located on the existing single storey rear extension) would be replaced with aluminium-framed bi-folding doors which wrap around the side and rear elevation. Due to their location at ground floor level, there would be limited visibility from neighbouring properties, and the use of aluminium is considered acceptable in this location.

3.11 The alterations will not harm the character or appearance of the host building, streetscene or Conservation Area. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

4.0 Amenity

4.1 Policy CS5 (Managing the impact of growth and development) seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Policy DP26 (Managing the impact of development on occupiers and neighbours) seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting planning permission to development that would not harm the amenity of neighbouring residents. This includes privacy, outlook, daylight and sunlight.

4.2 CPG6 (Amenity) provides specific guidance with regards to privacy, overlooking and outlook.

4.3 Due to the location and nature of the proposals, they are not considered to cause harm to the amenity of neighbouring residents in terms of a loss of daylight or outlook. The only new window opening would be at upper roof level which would not result in overlooking.

4.4 There is no record of planning permission for the existing roof terrace but Council records and photographs show that it has been in place for at least 6 years and is therefore lawful by virtue of time. The alteration of the first floor window to a door may result in increased use of the terrace; however, the proposed new 1.8m high obscure glazed privacy screen between nos.56 and 58 would prevent overlooking into the first floor window of no.58 and preserve the occupants' privacy, more so than the existing high timber trellis. The terrace is set away from the boundary with no.54 by 4m, and is not considered to cause a harmful level of overlooking between these properties. It is considered acceptable in design terms and will not harm the appearance of the host property or conservation area.

5.0 Recommendation

5.1 Grant planning permission

Disclaimer

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 25th July 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr. Graham Ford
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Britannia House
11 Glenthorne Road
London
W6 0LH

Application Ref: **2016/2754/P**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 **1017**

19 July 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:
56 Howitt Road
London
NW3 4LJ

DECISION

Proposal:

Variation of condition 3 (approved plans) of planning permission 2013/6138/P dated 03/12/2013 (for the excavation to enlarge existing basement), namely, to allow alterations to front and rear fenestration, installation of new privacy screen on side of rear roof terrace, installation of 1 front rooflight, and 1 rooflight to rear ground floor extension.

Drawing Nos: Superseded drawings: 0224 A 1001 02, 0224 A 1000 02, 0224 A 1200 02, 0224 A 1100 02, 0224 A 1002 02.

Amended drawings: PL-4000 Rev 02, PL-3000 Rev 05, PL-2001 Rev 05, PL-2000 Rev 05.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 For the purposes of this decision, condition no.3 of planning permission 2013/6138/P shall be replaced with the following condition:

Executive Director Supporting Communities



REPLACEMENT CONDITION 3:

The development hereby permitted shall be carried out in accordance with the following approved plans: 0224_A_0000_01, 0224_A_0001_01, 0224_A_0002_01, 0224_A_0100_01, 0224_A_0200_01, 0224_A_0200_02, Proposed Basement Impact Assessment by David Dexter dated 27 November 2013, PL-4000 Rev 02, PL-3000 Rev 05, PL-2001 Rev 05, PL-2000 Rev 05, Tree Survey to BS5837 by Arbtech Consulting Limited dated 11 October 2013 and Tree Constraints Plan.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 2 The use of the roof as a terrace accessed by the proposed new door shall not commence until the privacy screen, as shown on the approved drawings, has been constructed. The screen shall be permanently retained thereafter.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 This approval under Section 73 of the 1990 Act effectively varying the relevant condition of the previous planning permission is subject otherwise to the same terms, drawings, conditions (and obligations where applicable) as attached to the previous planning permission. This includes condition 1 providing for a 3 year time period for implementation which for the avoidance of doubt commences with the date of the original decision (and not this variation).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities