

2016/2801/P 55 Greencroft Gardens



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Rear Elevation



Rear garden as viewed from neighbouring property



Rear site when viewed from 57 Greencroft Gardens

Delegated Report (Member Briefing)		Analysis sheet		Expiry Date:	11/07/2016
		N/A		Consultation Expiry Date:	23/06/2016
Officer			Application Number		
Helaina Farthing			2016/2801/P		
Application Address			Drawing Numbers		
55 Greencroft Gardens London NW6 3LL			See decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal					
Erection of replacement ground floor single storey rear extension.					
Recommendation:		Grant Conditional Permission			
Application Type:		Householder Application			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	34	No. of responses	02	No. of objections	02
Summary of consultation responses:	<p>A site notice was displayed from 01/06/2016 and a public notice was published in the Ham & High from the 02/06/2016.</p> <p>Objections were received from neighbours raising the following concerns:</p> <p><i>Owner of 57 Greencroft Gardens:</i></p> <ul style="list-style-type: none">• The bulk and size of extension blocking light into kitchen/sitting area;• Basement as per previous application (ref: 2015/3981/P). <p><i>Occupier Flat A 57 Greencroft Gardens:</i></p> <ul style="list-style-type: none">• Loss of sunlight and outlook due to the bulk/height of the proposed rear extension. <p><u>Officer response-</u> see paras 2.6, 2.7</p>					
CAAC/Local groups comments:	<p><i>Combined Residents Association of South Hampstead (CRASH) object-</i></p> <ul style="list-style-type: none">• Overdevelopment of the property;• Impact on the conservation area due to the scale and size of the proposed extension.• Loss of sunlight for the adjoining property at 57 Greencroft Gardens. <p><u>Officer response-</u> see paras 2.2-2.5, 2.6-2.7</p>					

Site Description

The site comprises a large semi-detached property within Greencroft Gardens which has been sub-divided into 5 flats. The subject property is located within the South Hampstead Conservation Area and is identified as a positive contributor in the Conservation Area Statement. The special qualities of the fronts of these properties which contribute to the Conservation Area's significance and designation as a heritage asset are their general uniformity in elevational appearance within their various groups, featuring distinctive bay projections and recesses, attractive decorative architectural detailing, and setbacks from the pavement forming front gardens.

The property is not a listed building and there are no listed properties within close proximity.

Relevant History

2015/3981/P: Demolition of existing single storey rear extension and erection of a 2 storey rear extension with lightwell and excavation below existing flat to form additional living accommodation – concurrent application (resolution made at Committee on 17/12/2015 to grant planning permission subject to S106 legal agreement being completed).

Relevant policies

National Planning Policy Framework 2012

The London Plan 2016

LDF Core Strategy and Development Policies 2010

CS5 (Managing the impact of growth and development)

CS14 (Promoting high quality places and conserving our heritage)

DP24 (Securing high quality design)

DP25 (Conserving Camden's heritage)

DP26 (Managing the impact of development on occupiers and neighbours)

Camden Planning Guidance 2015/2011

CPG1 (Design)

CPG6 (Amenity)

Assessment

1.0 Proposal

- 1.1 Planning permission is sought to amend the scheme previously considered acceptable under application ref: 2015/3981/P which has a resolution to grant in 2015 subject to the completion of a Section 106 legal agreement. The previous application (ref: 2015/3981/P) sought the construction of a replacement single storey rear extension along with excavation to form additional living accommodation. The current proposal has been amended to now show only a ground floor single storey rear extension and the previously proposed basement storey is now omitted.
- 1.2 The proposed single storey ground floor extension would extend approximately 3.1m further than the existing extension (note: the previous planning application ref: 2015/3981/P included a ground floor extension of a similar depth).
- 1.3 The ground floor extension will have a height of 3.1m and is proposed to be full-width. The materials of the extension are proposed to be London Stock Brick.

2.0 Assessment

- 2.1 The main issues to be considered are;

- Design and impact on the conservation area; and
- Neighbour amenity.

Character, Appearance and Design

- 2.2 The property is located within the South Hampstead Conservation Area, which is characterised by substantial residential properties dating from the late Victorian era, many of which, including the subject property, have been divided into flats over the years. The proposal would result in an increase in depth to the existing rear extension by approximately 3.1m; this is similar to that agreed under planning permission 2015/3981/P. The proposed rear extension would be in line with the extension next door at Flat 1, 55 Greencroft Gardens, and indeed now be lower in height compared to the previously agreed extension due to omission of a basement floor.
- 2.3 The alterations to the rear of the property would affect an existing structure; however, this is not original and does not make a positive contribution to the character or appearance of the Conservation Area. In terms of materials, the replacement structure would be finished in London stock brick to match the existing with a precast concrete flat roof.
- 2.4 It is noted that there have been slight detailed design changes to the rear extension from that originally considered to be acceptable, this primarily relates to the proposed glazed doors. In this instance, the use of materials is considered appropriate.
- 2.5 For the reasons given above, as the visual impact of the proposal is to the rear and the extension would continue to be subordinate to the host dwelling, the proposal is considered to preserve the character and appearance of the Conservation Area. It would not harm the significance of the heritage asset and would comply with the guidance on design. The proposal would conform with Policy CS14, which promotes high quality places and the conservation of heritage assets; and also with Policy DP25, which seeks to preserve the character and appearance of Camden's conservation areas and expects new development to take account of the relevant conservation area appraisal and management plan.

Amenity

2.6 The existing extension to the rear projected out by 2.6 m and the new extension will project out by a further 3m resulting in a total depth of 5.7. Although the extension is deeper, the proposed extension would be flush with the extension next door at no.53 and would be the same as that approved in principle recently at no.55. The impact on amenities of the neighbour on the other side at no. 57 has already been considered and assessed by the previous scheme that went to Committee. The proposed extension will be somewhat lower than that at no.53 and it will be masked from no.57 mainly by the boundary wall and garden trellis. It is therefore considered that it would have minimal impact on the amenities, in terms of light and outlook, of the neighbouring residents at Flat 1 and number 57 Greencroft Gardens.

2.7 Neighbouring properties have expressed concerns with regards to loss of sunlight and outlook. As was concluded in the previous approved application, the extension is of a modest scale, depth and height and is unlikely to result in additional loss of light to the neighbouring properties such as to be considered harmful to the amenity of neighbouring occupiers.

3.0 Recommendation

3.1 The proposed ground floor extension is similar in scale and size to that agreed under planning permission ref: 2015/3891/P. It is considered to be of similar bulk to the neighbouring property and will remain subordinate to the host dwelling and a sizeable garden would remain. The proposal would not result in an adverse impact to the neighbouring properties.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 25th July 2016, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr. Simon Goldstein
Simon Goldstein Architecture
19 Turpins Lane
Woodford Green
Essex
IG8 8AZ

Application Ref: **2016/2801/P**
Please ask for: **Helaina Farthing**
Telephone: 020 7974 **3303**

19 July 2016

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:

**55 Greencroft Gardens
London
NW6 3LL**

DECISION

Proposal:

Erection of replacement ground floor single storey rear extension.

Drawing Nos: JA12-S-AA-001 REV A; JA12-P-AL-001 REV A; JA12-E-S-001 REV A;
G200-S-AA-001 REV C; G200-P-AL-001 REV C; G200-E-S-001 REV C.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as

Executive Director Supporting Communities



possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans- JA12-S-AA-001 REV A; JA12-P-AL-001 REV A; JA12-E-S-001 REV A; G200-S-AA-001 REV C; G200-P-AL-001 REV C; G200-E-S-001 REV C.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Executive Director Supporting Communities