



# HOGARTH HOUSE

DESIGN & ACCESS STATEMENT

19TH JULY 2016

**RICK MATHER ARCHITECTS**

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# CONTENTS

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**01.0 INTRODUCTION**  
PROJECT SUMMARY

**02.0 LOCATION**  
ANALYSIS  
LOCATION PLAN  
PHOTOGRAPHS

**03.0 EXISTING BUILDING**  
ENTRANCE

**04.0 PROPOSED SCHEME**  
DESIGN STATEMENT  
ENTRANCE ALTERATIONS

**05.0 ACCESS STATEMENT**

**06.0 APPENDIX**  
SITE LOCATION PLAN 1:1250  
EXISTING SOUTH ELEVATION 1:100  
PROPOSED SOUTH ELEVATION 1:100  
PROPOSED MAIN ENTRANCE DETAILS 1:25







01.0

# INTRODUCTION

## **Introduction**

This Design and Access Statement is submitted in support of a planning application which details the proposals for works to the ground floor facade of Hogarth House, 133-136 High Holborn, London, WC1V 6PX.

The proposal includes replacing the existing entrance at ground floor level and introducing new cladding, entrance doors and window to support a general refurbishment of the office floors.

This application is being submitted on behalf of Triangle Investments and sets out the reasoning for the proposals including a site plan, existing and proposed drawings as well as images of the proposed materials.







02.0

# LOCATION

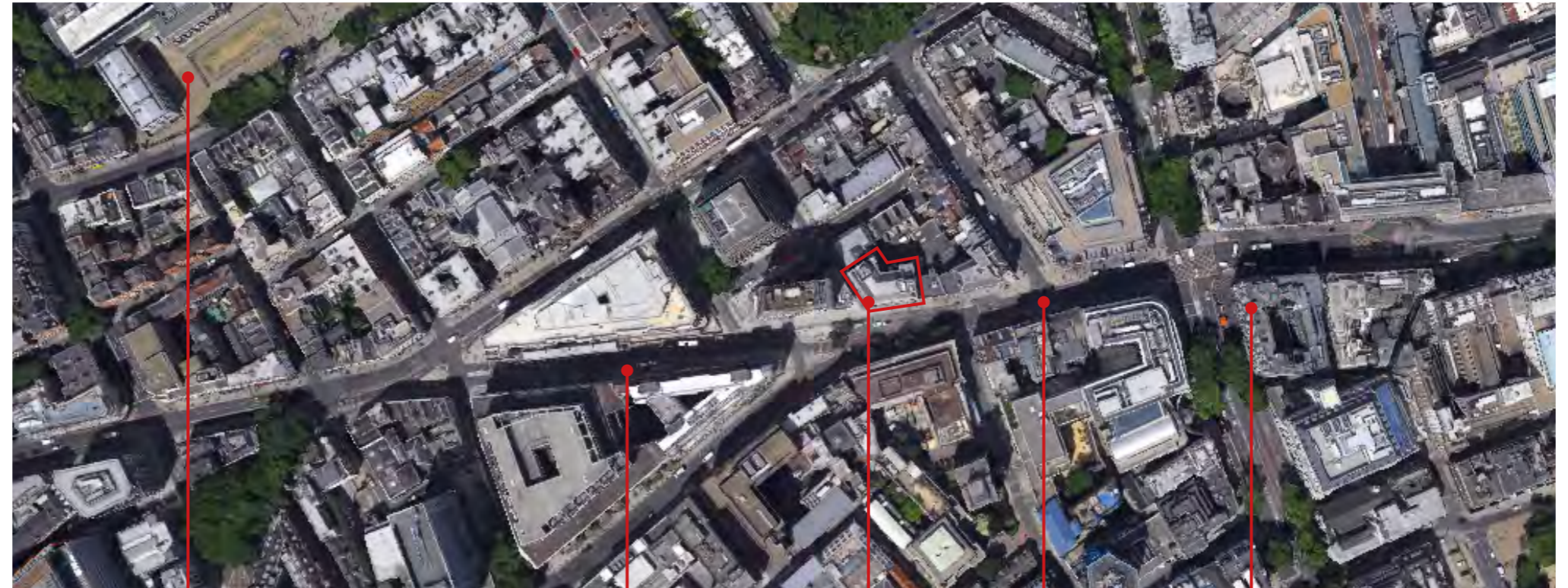
# 02.1

# SITE ANALYSIS

The site is located in Holborn within the borough of Camden. It is located on the north side of High Holborn (A40), to the west of Bury Place and to the east of Southampton Place. It is a short distance from Holborn Underground Station. The site lies within the Bloomsbury Conservation Area.

The buildings on High Holborn display a variety of architectural styles and materials. Older buildings are mixed with modern structures and there isn't a dominant aesthetic. There is a mix of building uses, typically retail units or office buildings.

High Holborn is a busy main road with a bus lane in one direction and as such is a source of much noise and pollution. The majority of the buildings on this street include retail units at ground level with glazed frontages.



British Museum

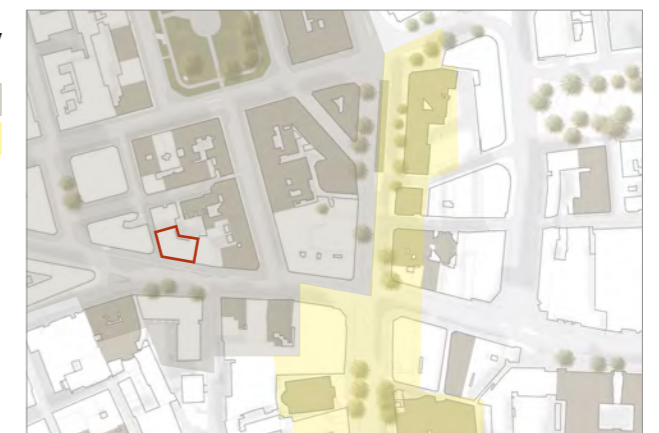
New Oxford Street

Hogarth House

High Holborn

Holborn Station

**Key**  
Bloomsbury Conservation Area  
Kingsway Conservation Area

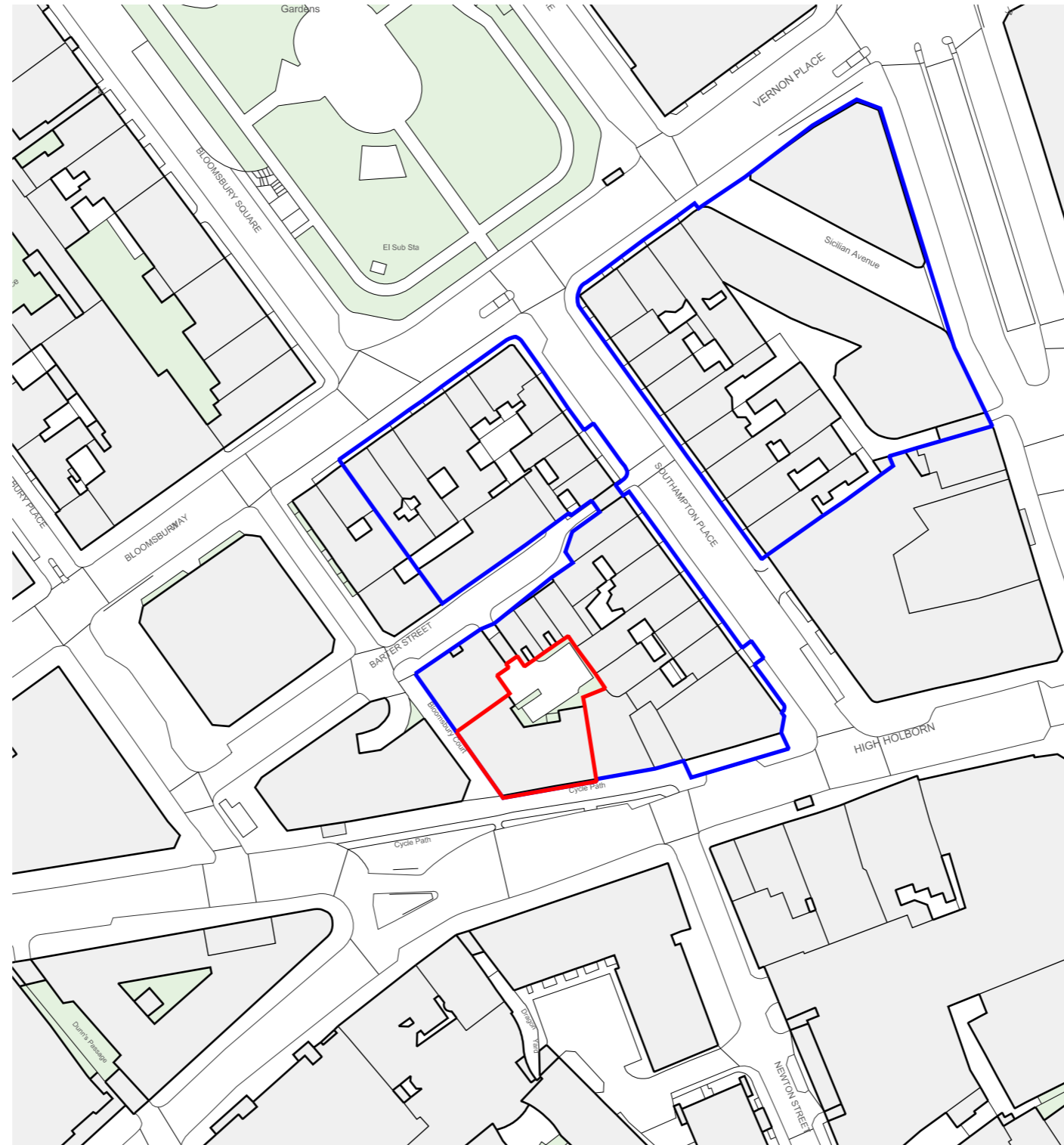




# 02.2

# SITE LOCATION PLAN

- Hogarth House boundary
- Triangle Investments boundary





# 02.3

# SITE PHOTOGRAPHS



High Holborn



South facade













03.0

# EXISTING BUILDING

Hogarth House is a 8-storey office building with a single basement level located on High Holborn. It is not a listed building but it is located in the Bloomsbury Conservation Area. The building dates from circa 1990.

The site is located on the North side of High Holborn and therefore the main elevation faces due South.

At present Nationwide occupy the ground floor retail unit and some ancillary spaces within the basement. The main entrance to Hogarth House is set to the right of the building.

The first to fifth floors are vacant office space and the sixth floor contains plant.

The building is a concrete framed structure with a glazed and stone-clad facade to the front and side and predominantly brick clad to the rear. The existing glazing has a dark film applied to areas and also has dark metal spandrel panels; this is a prominent feature on the south elevation.



# 03.1

## EXISTING ENTRANCE

The main entrance to the building is fairly non-descript, displaying simple signage. The entrance doors are glazed but both these and the adjacent window have an opaque film applied to them. There are no views into the reception and thus the entrance is fairly anonymous, with tired looking ironmongery and framing. The building has a poor relationship with the street.









04.0

# PROPOSED SCHEME



# 04.1

# DESIGN STATEMENT

The existing building entrance has a poor, almost none existent relationship to the street. This is characterised by the stone dwarf wall and metal railings within the left hand bay that reinforce the barrier between inside and outside. This is made worse by the film applied to the glazing as there is no visibility into the reception whatsoever.

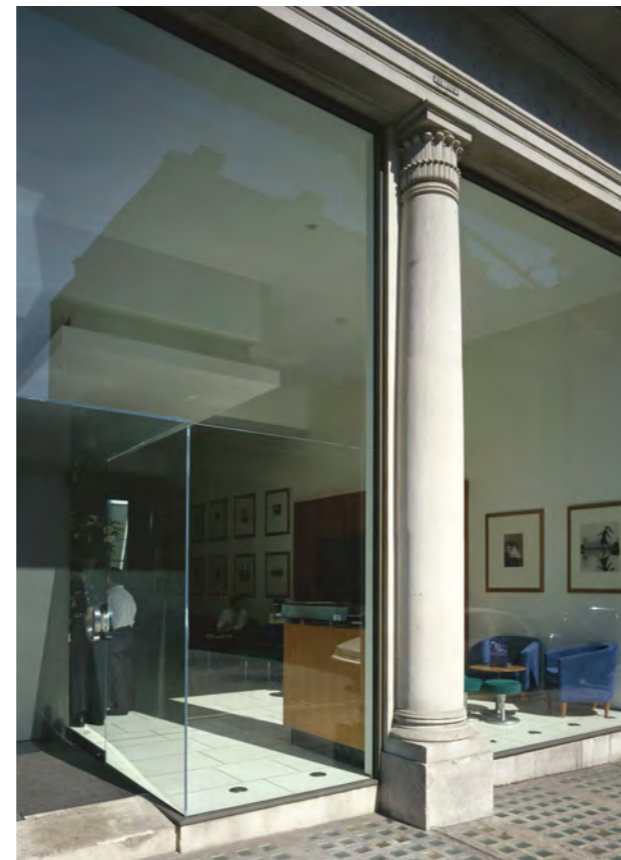
The starting point for the design was to work with the existing character of the building. There are two main materials across the facade; stone cladding and bronze window frames and spandrel panels. The design takes the language of the glazing and applies this to the new entrance. The facade, with minimal framing, will engage the street, provide natural light, and views out from within the reception. The design aims to give an appearance faithful to the rest of the building, as well as to dissolve the division between inside and outside as much as possible.

Like other recent refurbishments along High Holborn, the design enhances the relationship with the street but in manner that respects and works with the architecture of the existing.

The new proposal enhances the building frontage. By improving the entrance in regards to material, lighting and transparency the design attempts to enhance the approach to the building.

Careful consideration has been given to the buildings appearance during the daytime as well as nighttime. The entrance will be 'framed' by external linear strip lights. The interior will be brightly lit with a number of different feature light fittings.

The proposal will enhance the character and appearance of the Conservation Area. Together with the Hoxton Holborn hotel and soon to be refurbished Commonwealth House, the building works towards LB Camden's long term vision for the High Holborn / New Oxford Street Junction.





This envisages a new plaza whereby:

'the existing traffic gyratory is removed enabling space along High Holborn to be re-allocated and clutter removed to create a beautiful new city promenade with new trees, paving and seating.'

Apart from the ground floor Nationwide bank, the building is currently vacant. These proposals will ensure that the upper office floors have a prominent presence at street level, which will be vital in letting the building again. A fully let building would help create jobs and economic activity for the area.





## 04.2

# ENTRANCE ALTERATIONS

The new proposals create a cleaner, more contemporary appearance to the front elevation.

The main design moves are:

- Replace the existing doors and ironmongery
- Replace the door surround and panelling
- Clean the facade to give a fresh, uniform appearance
- Create a new, dark metal door and window which is framed by a new dark metal surround
- The floor finish of the interior is carried through to the exterior to the edge of Triangle's title boundary.





Existing Entrance



Proposed Entrance





05.0

# ACCESS STATEMENT

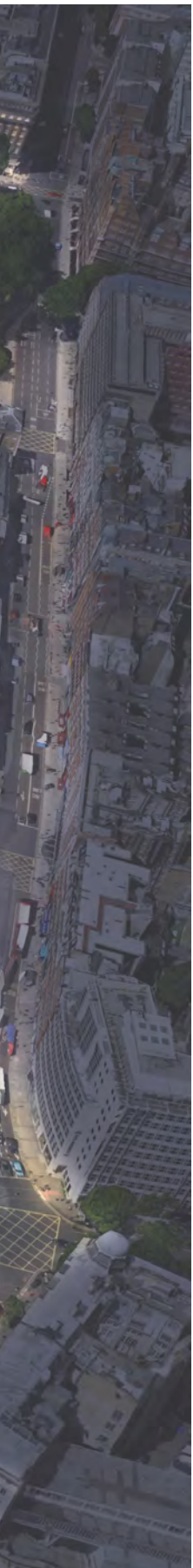
The design approach for Hogarth House has sought to enable all users and visitors, regardless of disability or age, to easily enter the building. The main source of guidance and advice has been Part M of the Building Regulations 'Access to use of buildings'.

The main entrance on High Holborn is accessed directly from pavement level. There is no level change into the building from the pavement. The entrance doors have a clear opening to accommodate wheelchair users and has a level threshold.









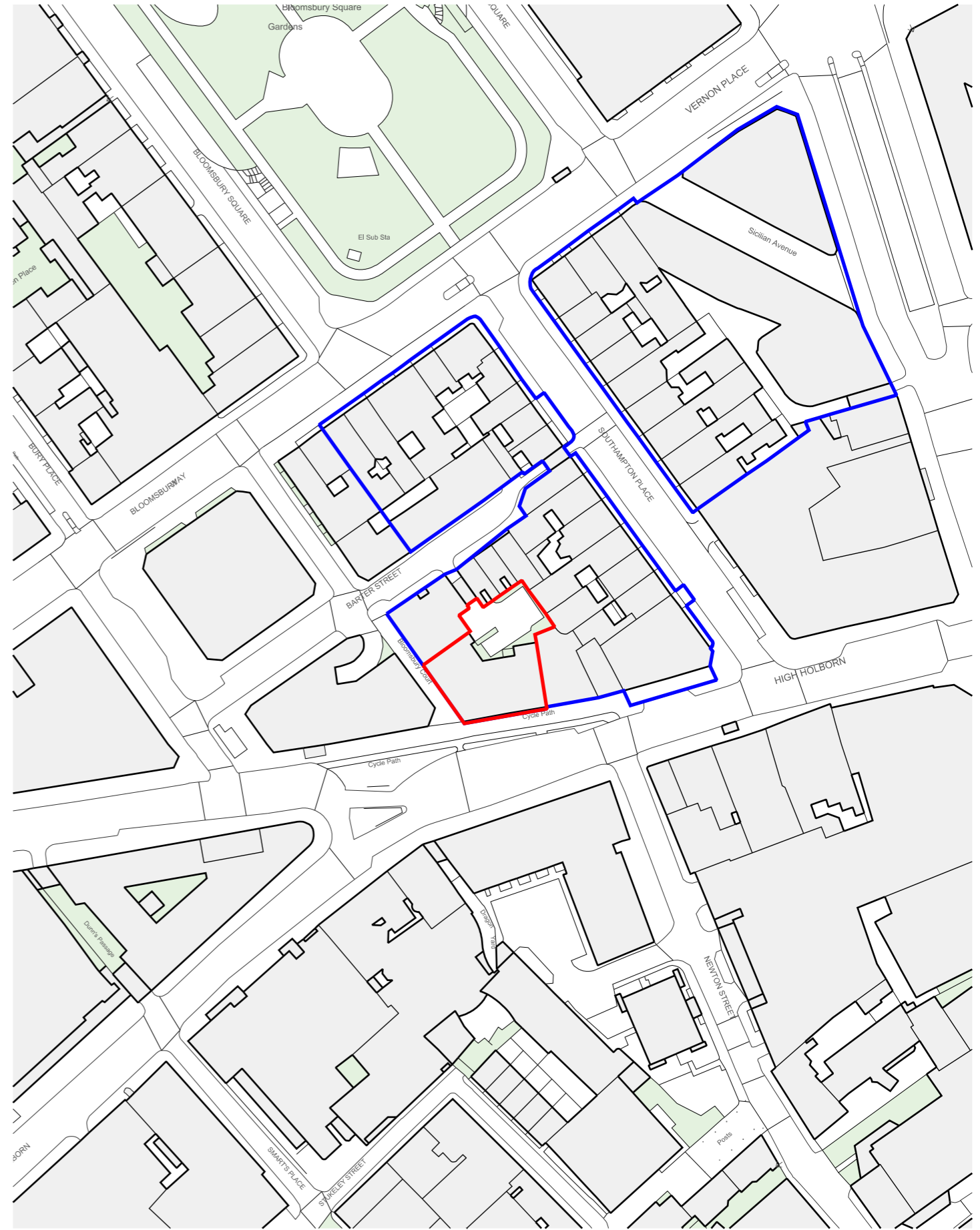
06.0

# APPENDIX

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**PLANNING**

REVISIONS	REV	DATE	DESCRIPTION	JOB	<b>HOGARTH HOUSE</b>		TITLE	<b>Existing</b>			
	PL119/07/16 FOR PLANNING				133-136 HIGH HOLBORN			Site Location Plan			
					RICK MATHER ARCHITECTS ©						
DRAWN	PW	JOB #	625	DRG #	19100	REV	PL1				
CHECKED	GM	SCALE@A3	1:1250	SIZE	A4	DATE	JULY 16	REV DATE	19/07/16		
				123 Camden High Street London NW1 7JR T: 020 7284 1727 F: 020 7267 7826 Info@rickmather.com www.rickmather.com							

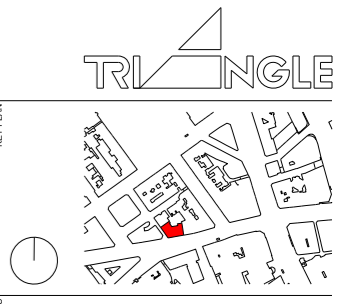


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 Text



REVISIONS

PL1	19/07/16	ISSUED FOR PLANNING
REV	DATE	DESCRIPTION



STATUS  
**PRELIMINARY**

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JOB  
**HOGARTH HOUSE**  
 133-136 HIGH HOLBORN  
 LONDON, WC1V 6PX

TITLE  
**EXISTING SOUTH ELEVATION**

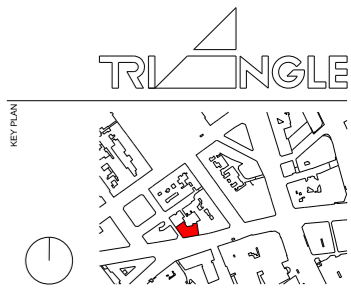
DRAWN	JOB #	DRG #	REV
PW	625	19020	PL1
CHECKED	SCALE	SIZE	DATE
GM	1:100 1:200	A1 A3	JULY 16 19/07/16



Metal cladding entrance canopy. Refer to drg 025 - 19520 for further info.  
 Saint Gobain 'Diamond' shapfront glazing system. Frames recessed to be flush with metal cladding.  
 Existing cladding to be removed and replaced with metal cladding system. Extent of supporting structure to be determined by intrusive investigations during construction.  
 Saint Gobain 'Diamond' double-swing glazed door.  
 New dry riser inlet powder coated colour to match new cladding.

REVISIONS

REV	DATE	DESCRIPTION
PL1	19/07/16	ISSUED FOR PLANNING



**PRELIMINARY**

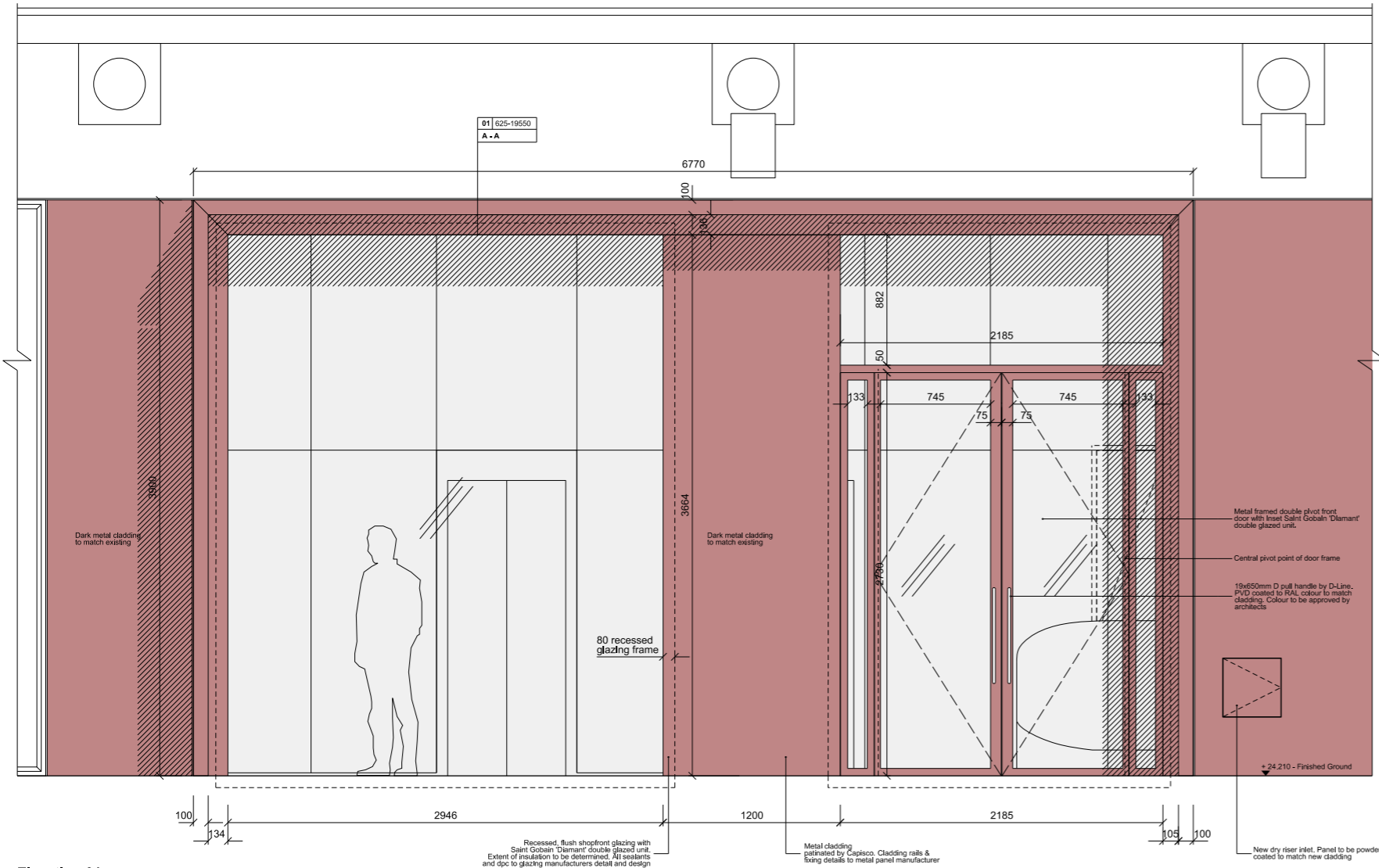
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**JOB**  
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 133-136 HIGH HOLBORN  
 LONDON, WC1V 6PX

**TITLE**  
 PROPOSED SOUTH ELEVATION

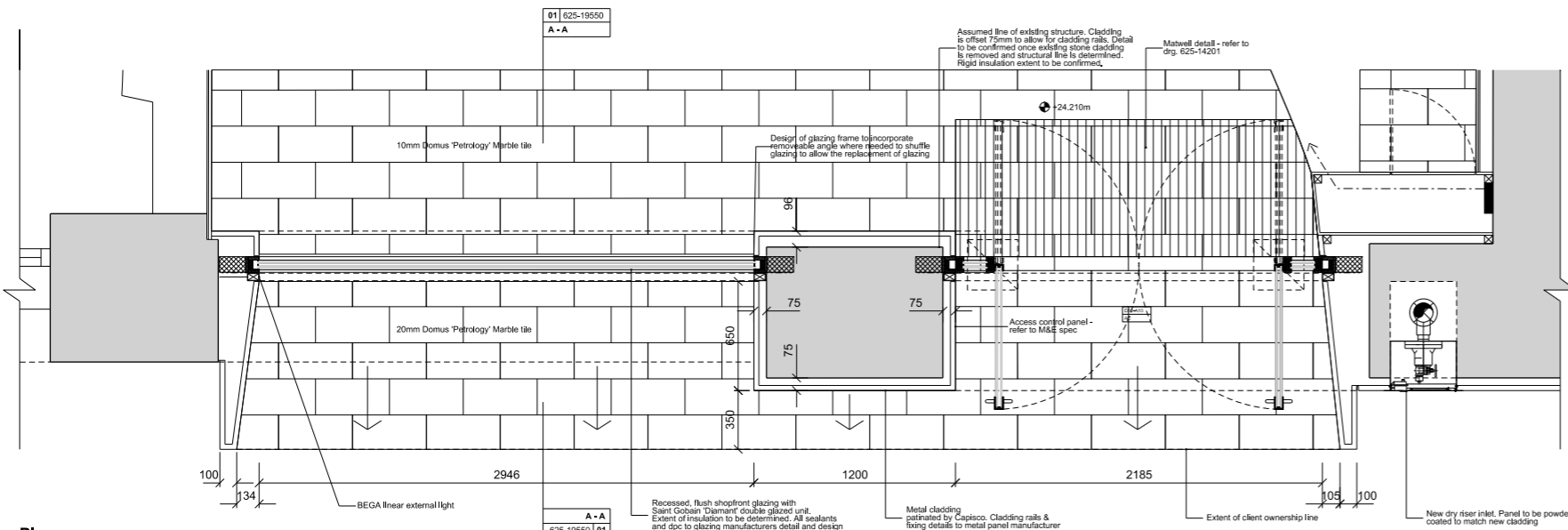
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PW	625	19520	PL1
CHECKED	SCALE	SIZE	DATE
GM	1:100 1:200	A1 A3	JULY 16 19/07/16





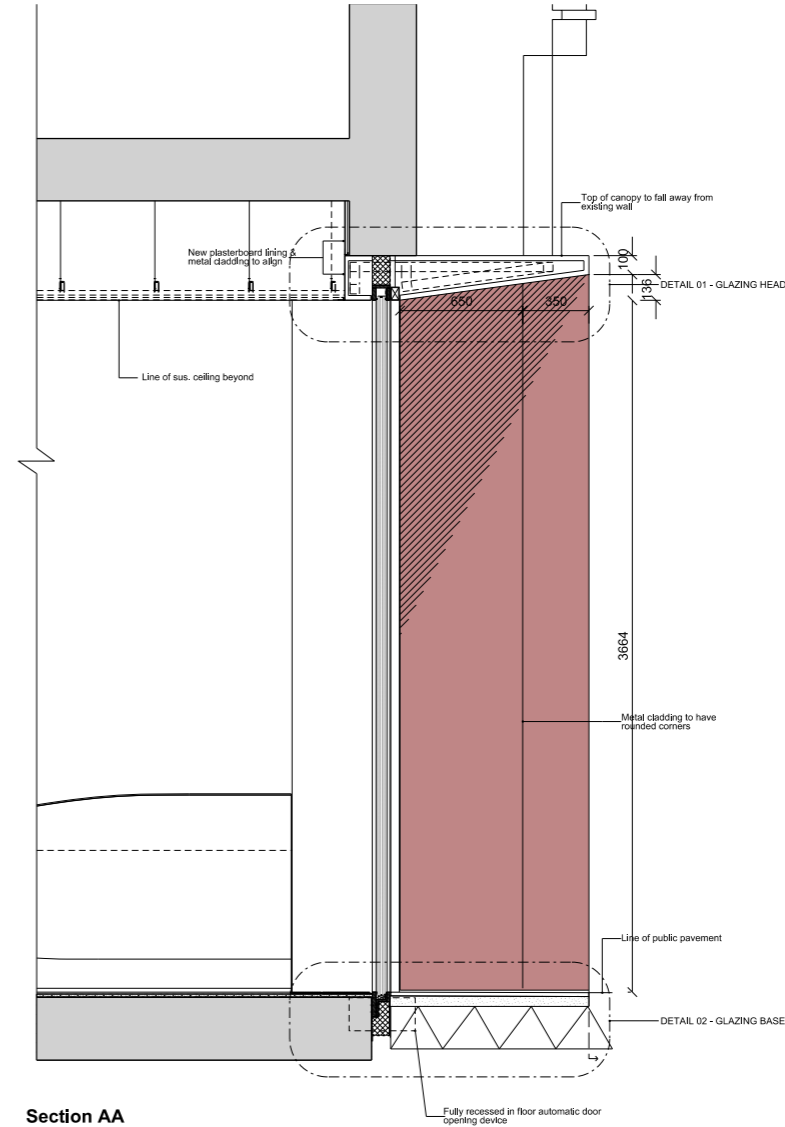
Elevation 01

01 625-19550



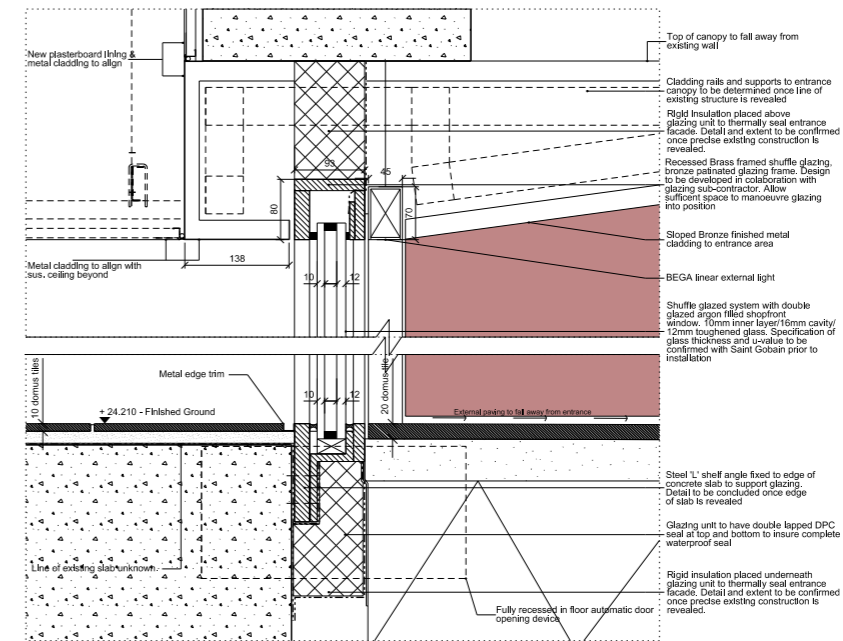
Plan

03 625-19550



Section AA

02 625-19550

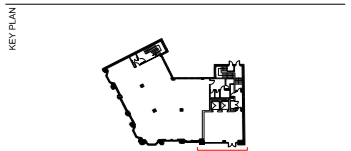


Detail 01 & 02 @ 1:5

04 625-19550

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N.B.  
EXTENT OF EXISTING STRUCTURE IS CURRENTLY UNKNOWN.  
PRICING TO ALLOW  
FOR FURTHER DESIGN DEVELOPMENT IN  
RELATION TO GLAZING/DOOR/CLADDING  
ONCE EXISTING STONE IS REMOVED AND  
STRUCTURE SHOWN THE FINAL DETAILING  
CAN BE DONE

REV	DATE	DESCRIPTION
PL1	19/07/16	ISSUED FOR PLANNING



STATUS  
**PLANNING**

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JOB  
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TITLE  
**EXTERNAL COMPONENT**  
RECEPTION GLAZING  
ELEVATION/PLAN/SECTION/DETAILS

DRAWN	JW	JOB #	625	DRG #	19550	REV	PL1
CHECKED	GM	SCALE@A1	1:25	SIZE	A1	DATE	JULY 16 19/07/16