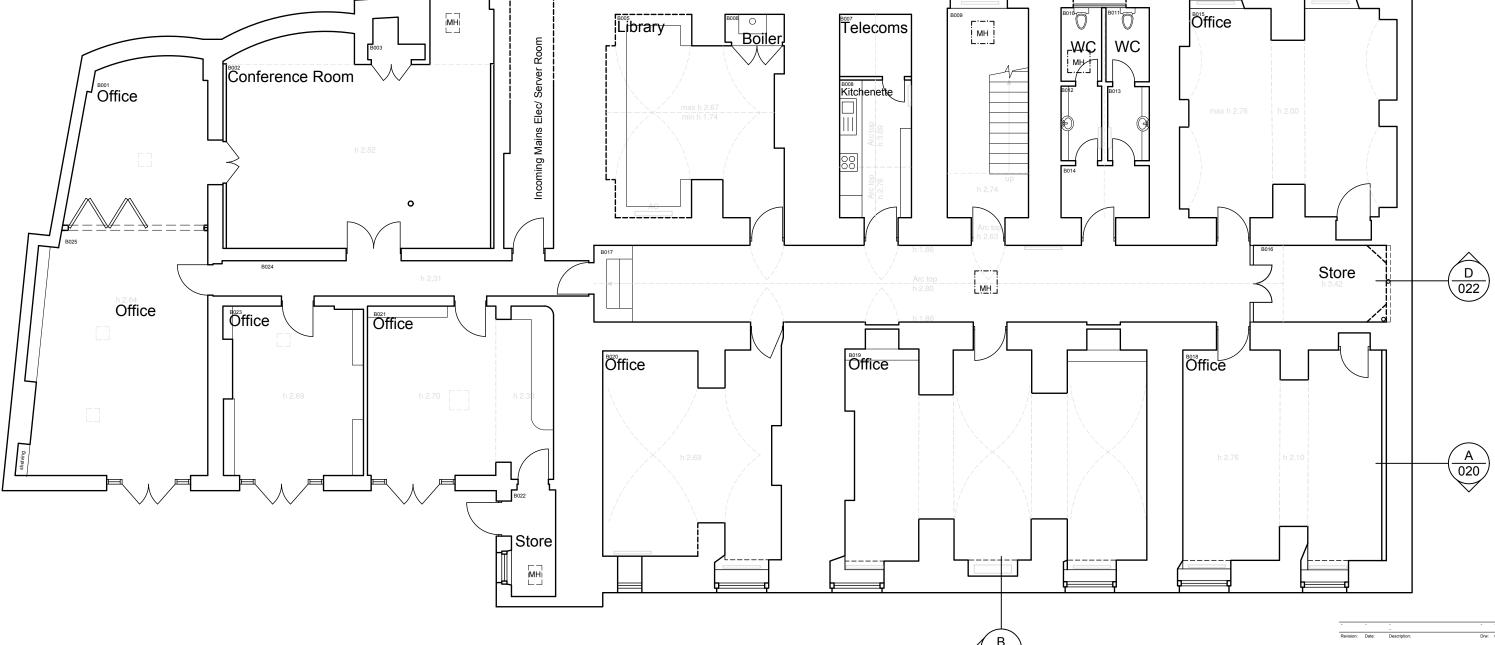


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Basement Floor Plan

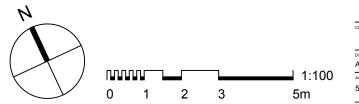
Project:

11 Stone Buildings
Lincoln's Inn
London Borough of Camden

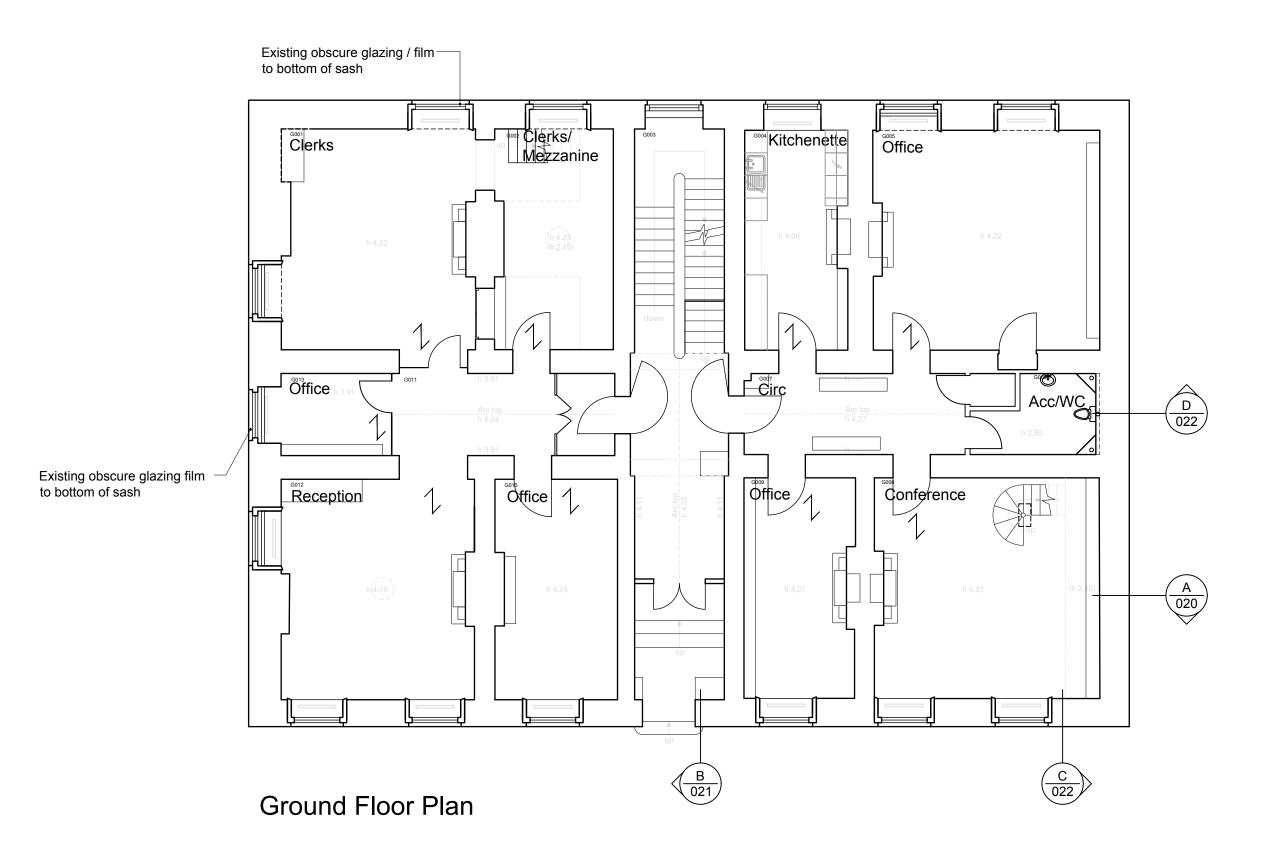
Existing Basement Floor Plan

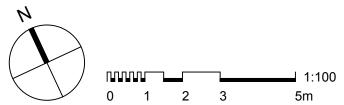
The Honourable Society of Lincoln's Inn

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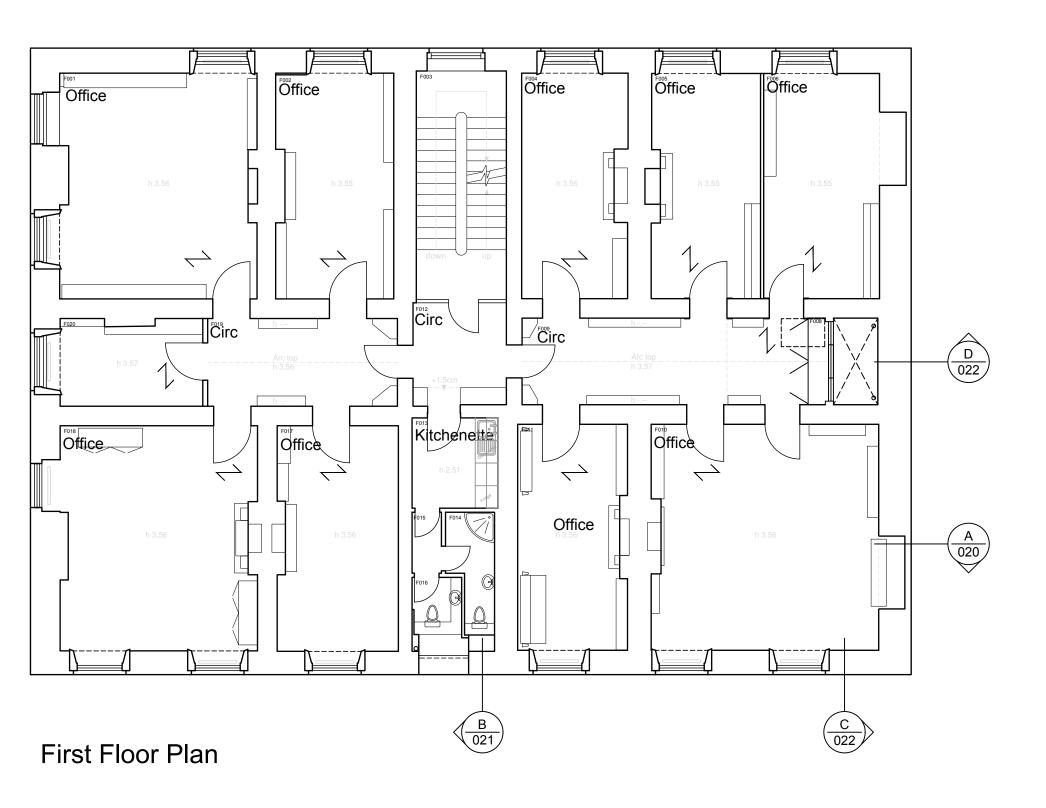
Vision, form and function

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Drawing Title:
Existing Ground Floor Plan

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1:100 0 1 2 3 5m All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that o

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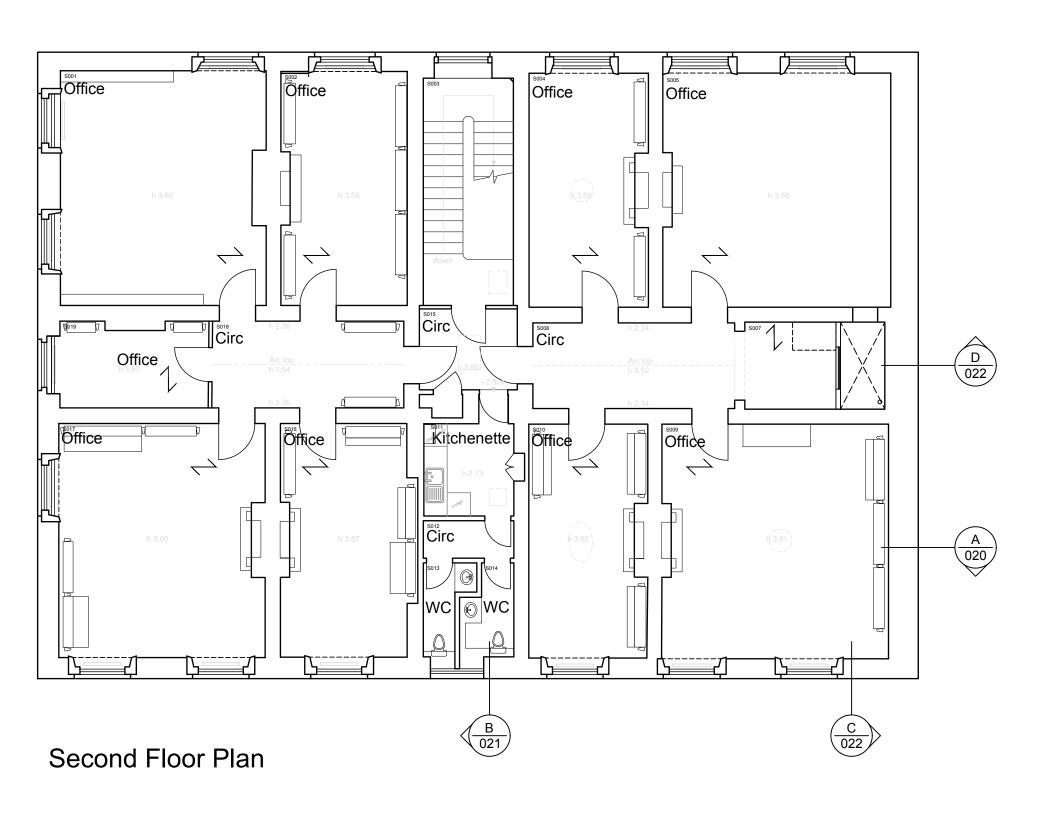
Vision, form and function

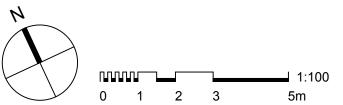
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11 Stone Buildings
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London Borough of Camden

Drawing Title:
Existing First Floor Plan

Client: The Honourable Society of Lincoln's Inn





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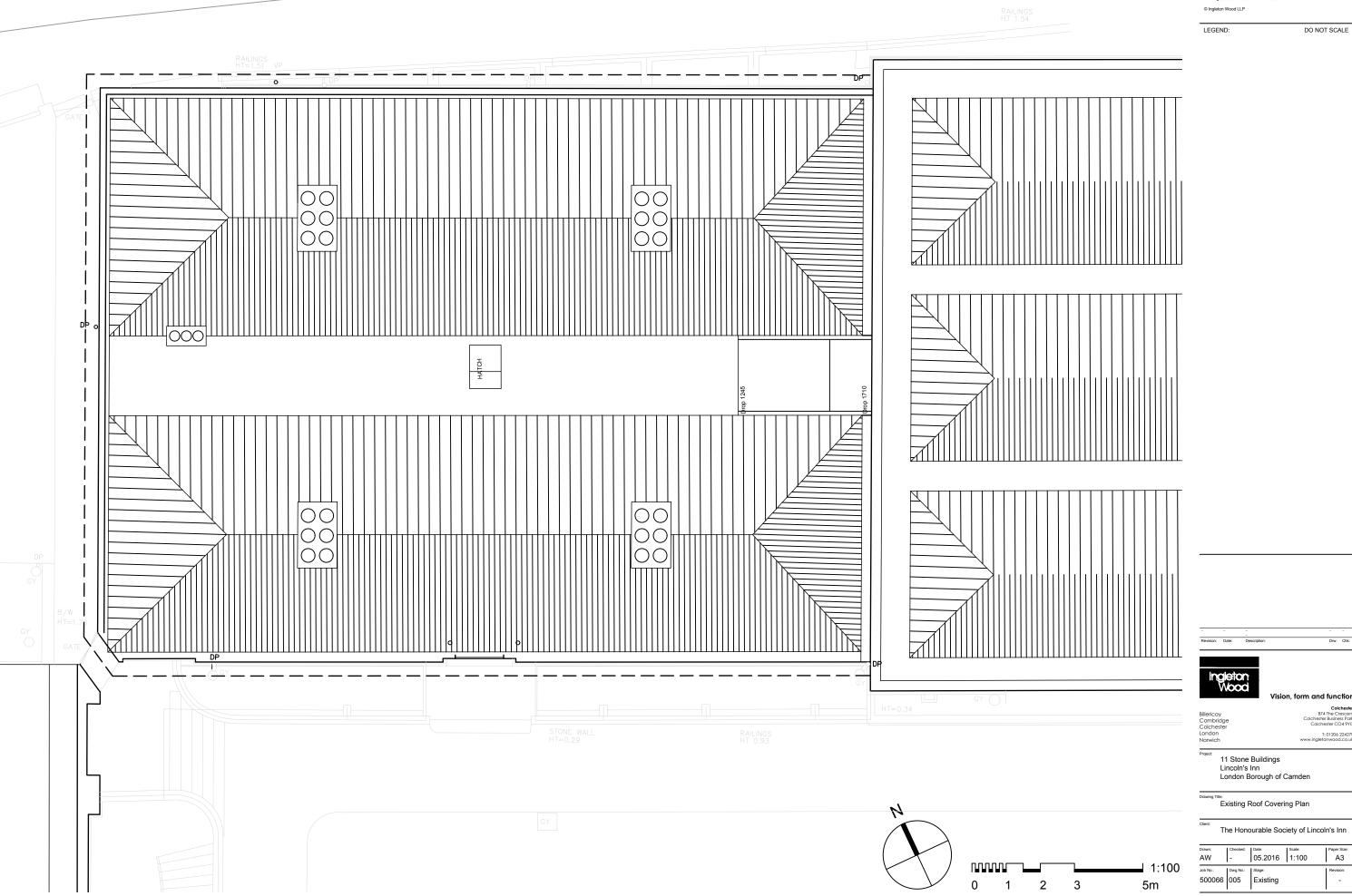
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11 Stone Buildings Lincoln's Inn London Borough of Camden

Drawing Title: Existing Second Floor Plan

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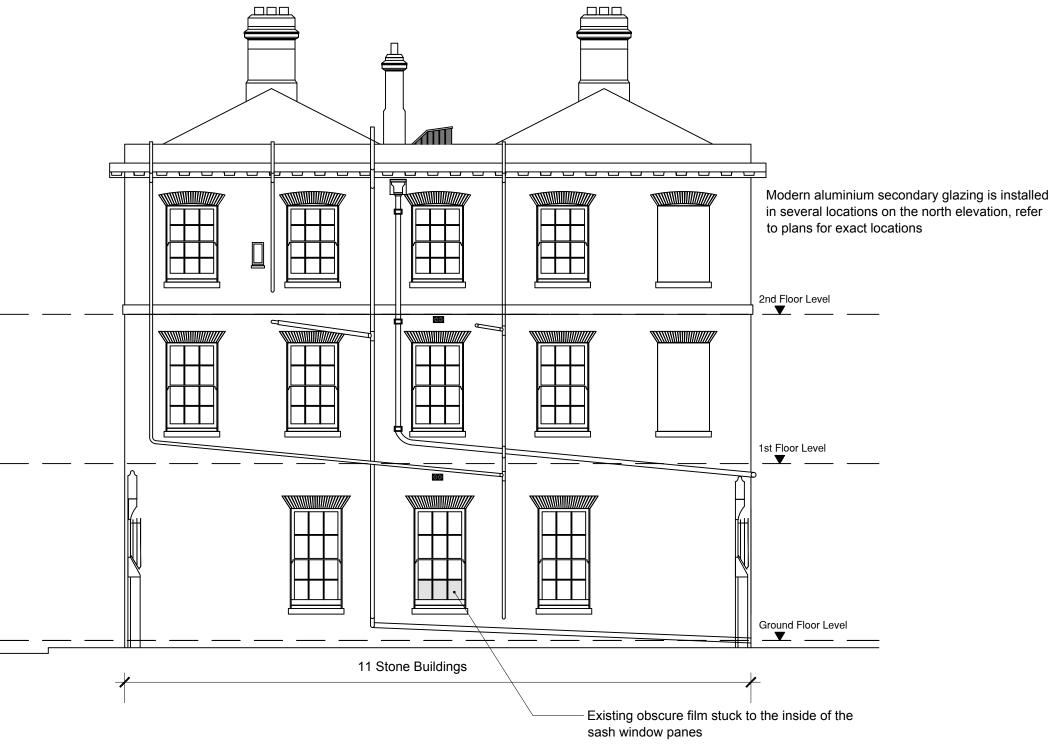


Western (front) Elevation

1:100 1 2 3 5m

Drawing Title: Existing Western Elevation

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Northern Elevation

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Project: 11

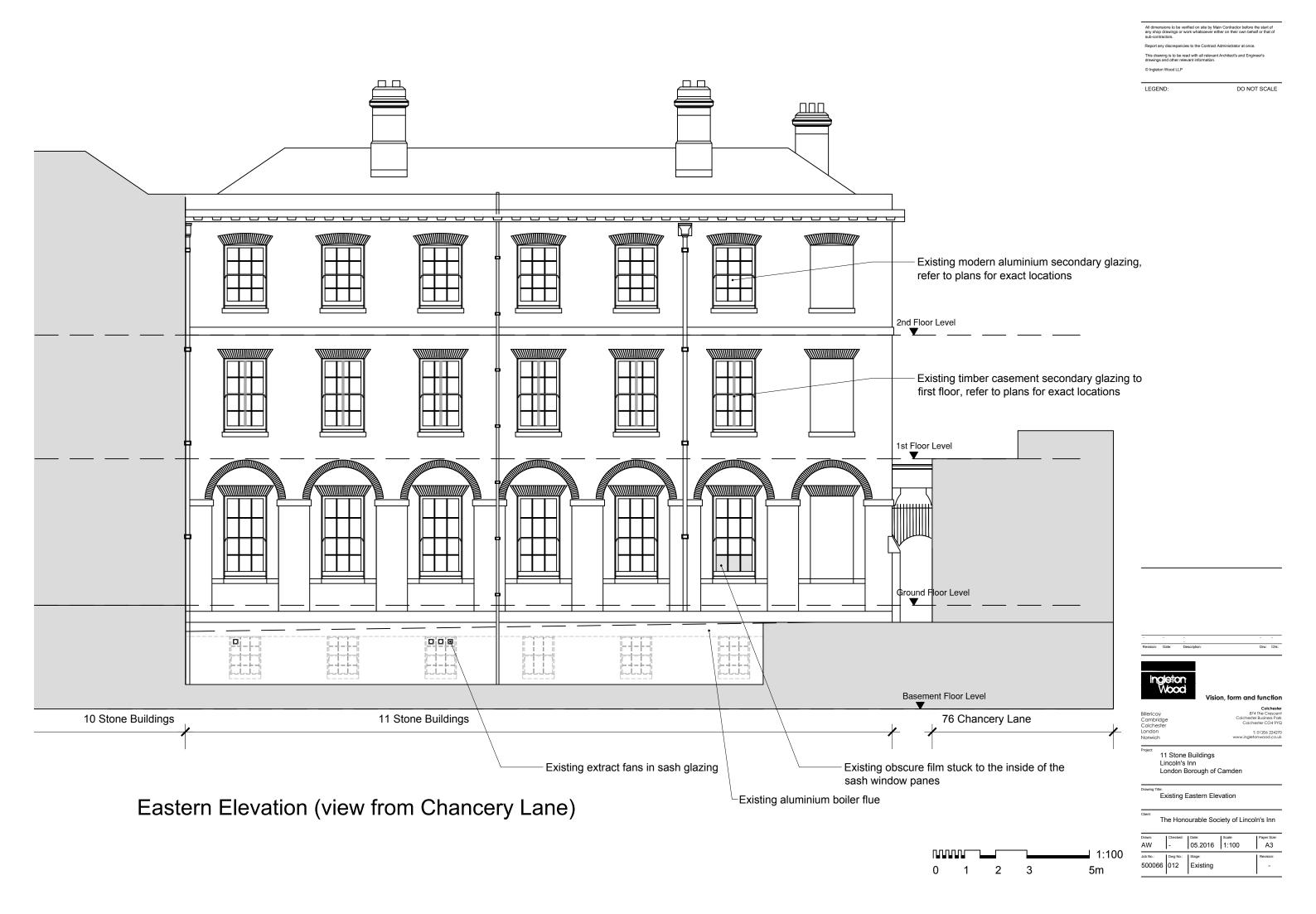
11 Stone Buildings Lincoln's Inn London Borough of Camden

Drawing Title: Existing Northern Elevation

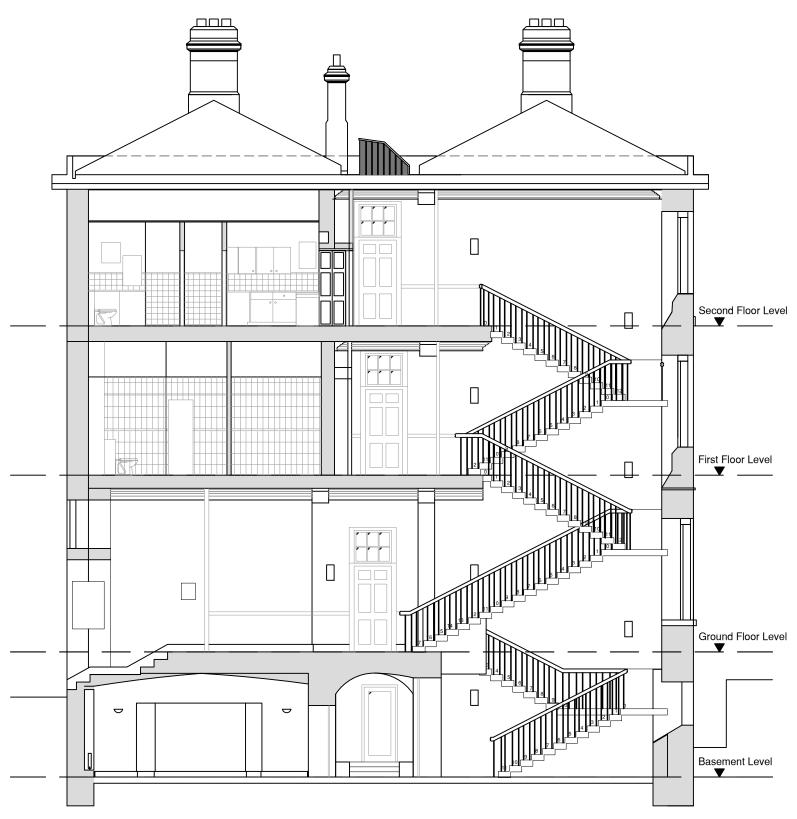
Client: The Honourable Society of Lincoln's Inn

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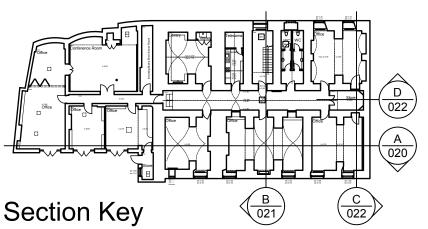
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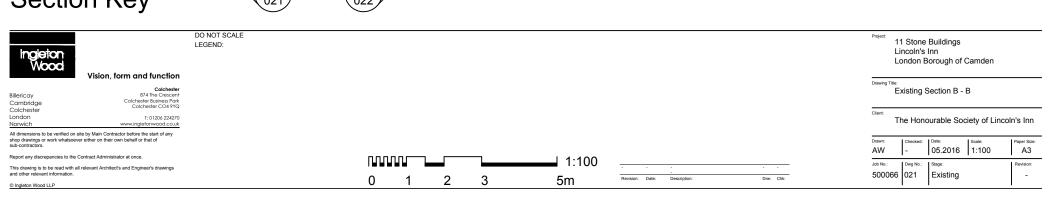


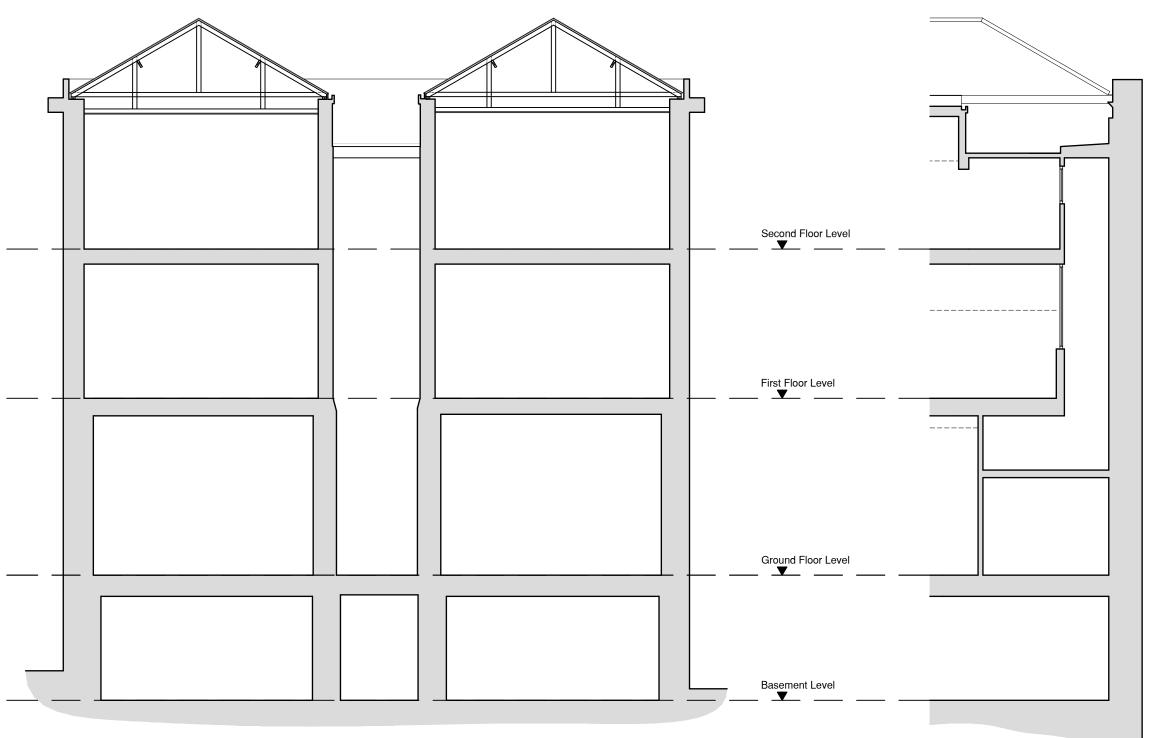




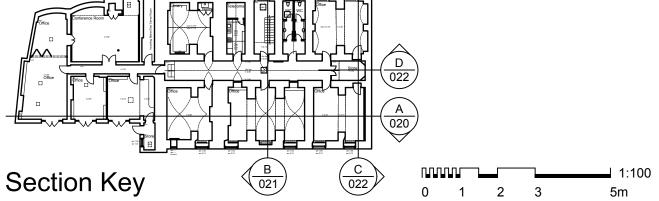
Section B - B







Section C - C Section D - D



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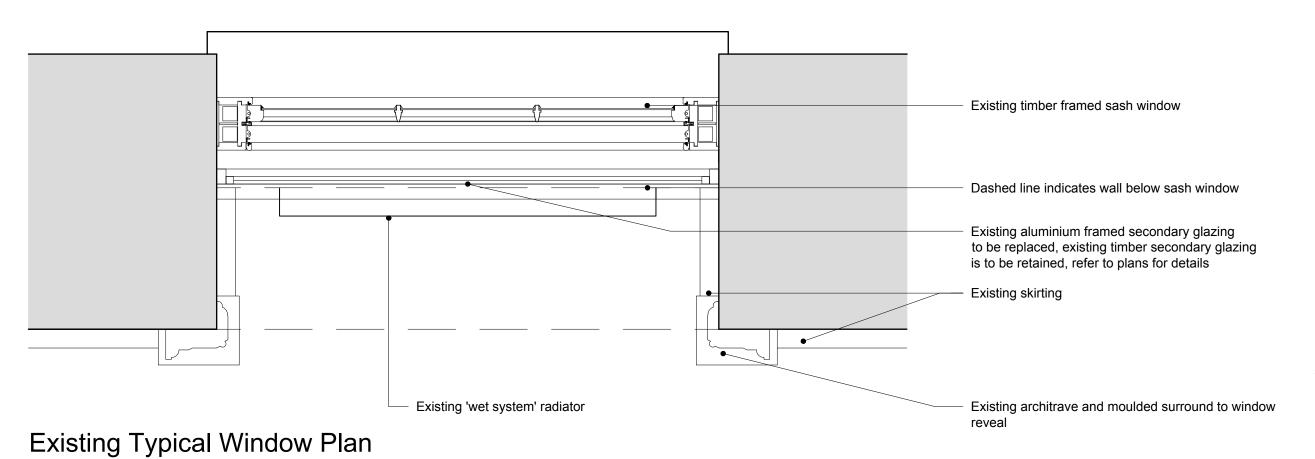
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London Borough of Camden

Drawing Title:
Existing Section C - C & D - D

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showing configuration of secondary glazing

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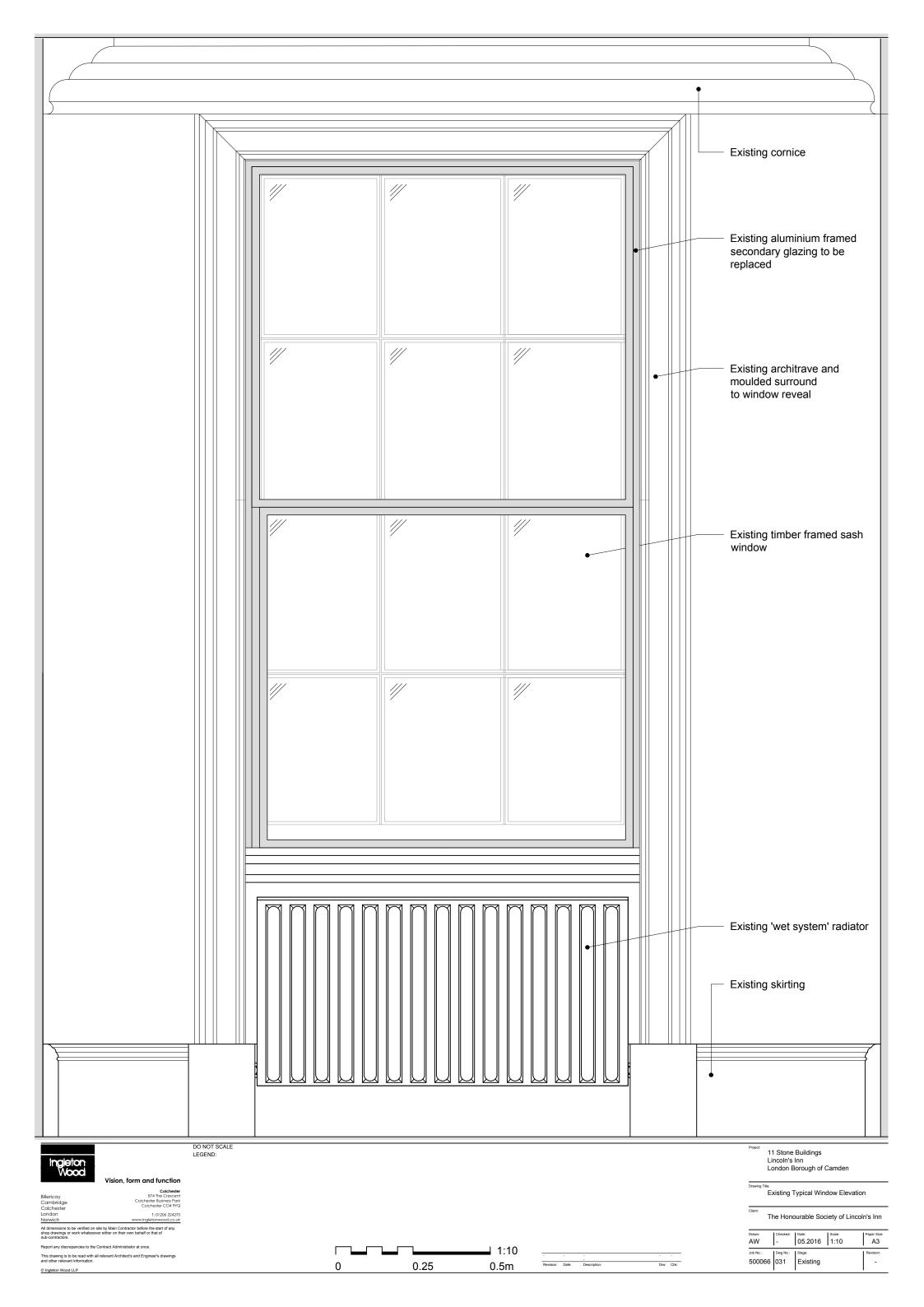
Project:

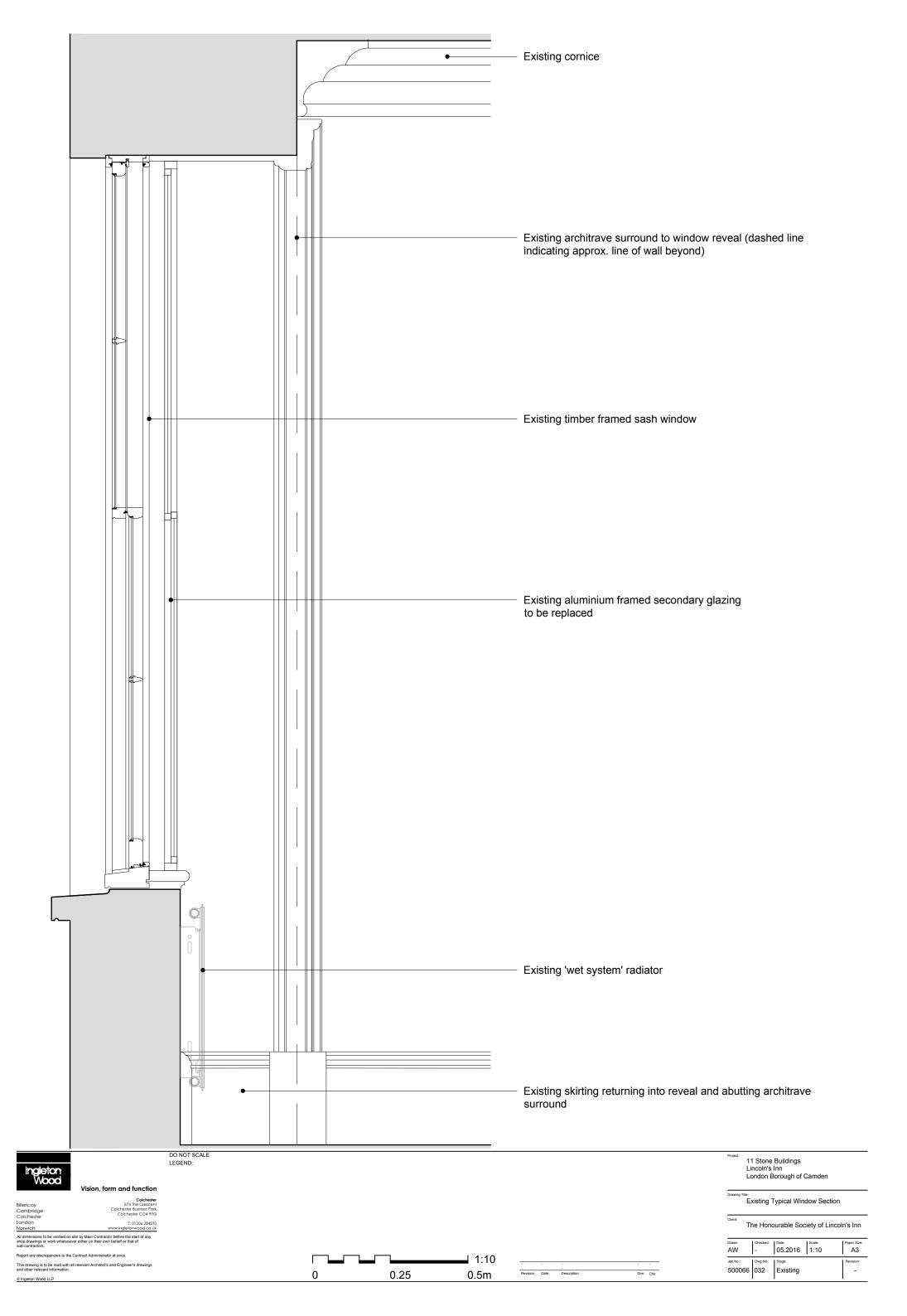
11 Stone Buildings Lincoln's Inn London Borough of Camden

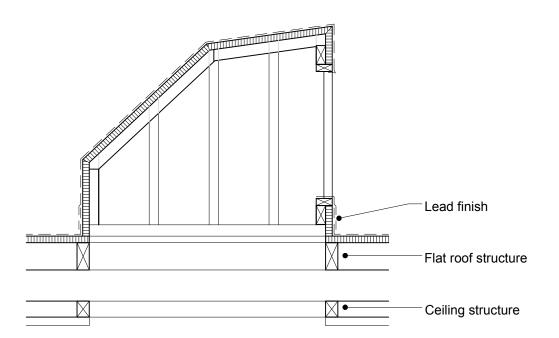
Existing Typical Window Plan

The Honourable Society of Lincoln's Inn

1:10 0 0.25 0.5m



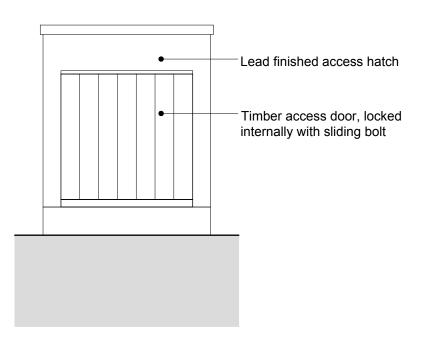




Existing Loft Access Hatch Section



Existing Loft Access Hatch Photo Facing South



Existing Loft Access Hatch Elevation



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Project: 11 Stone Buildings Lincoln's Inn London Borough of Camden

Drawing Title:
Existing Loft Access Hatch Details

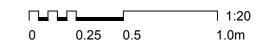
The Honourable Society of Lincoln's Inn

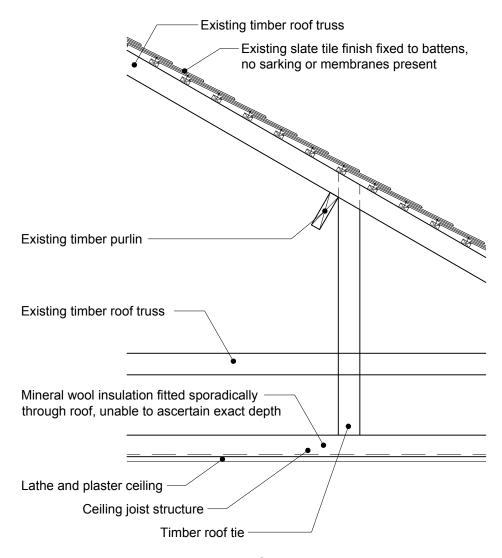
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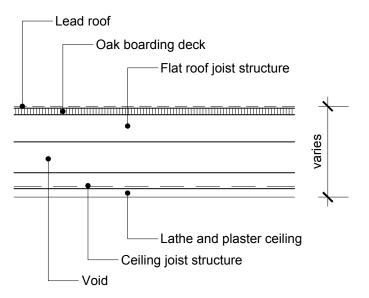
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Typical Pitched Roof Detail



Typical Flat Roof Detail





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Existing Typical Roofing Details

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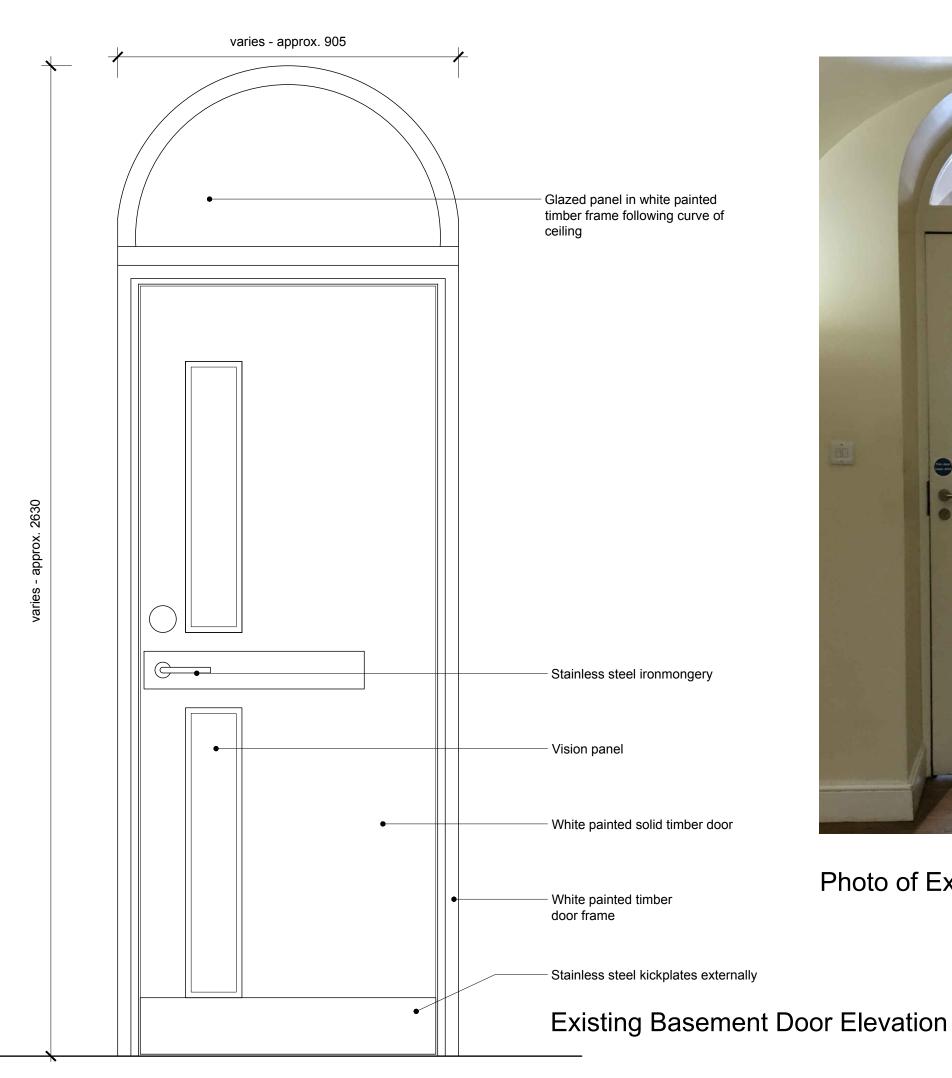




Photo of Existing Basement Door

1:10 0 0.25 0.5m All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of sub-contractors.

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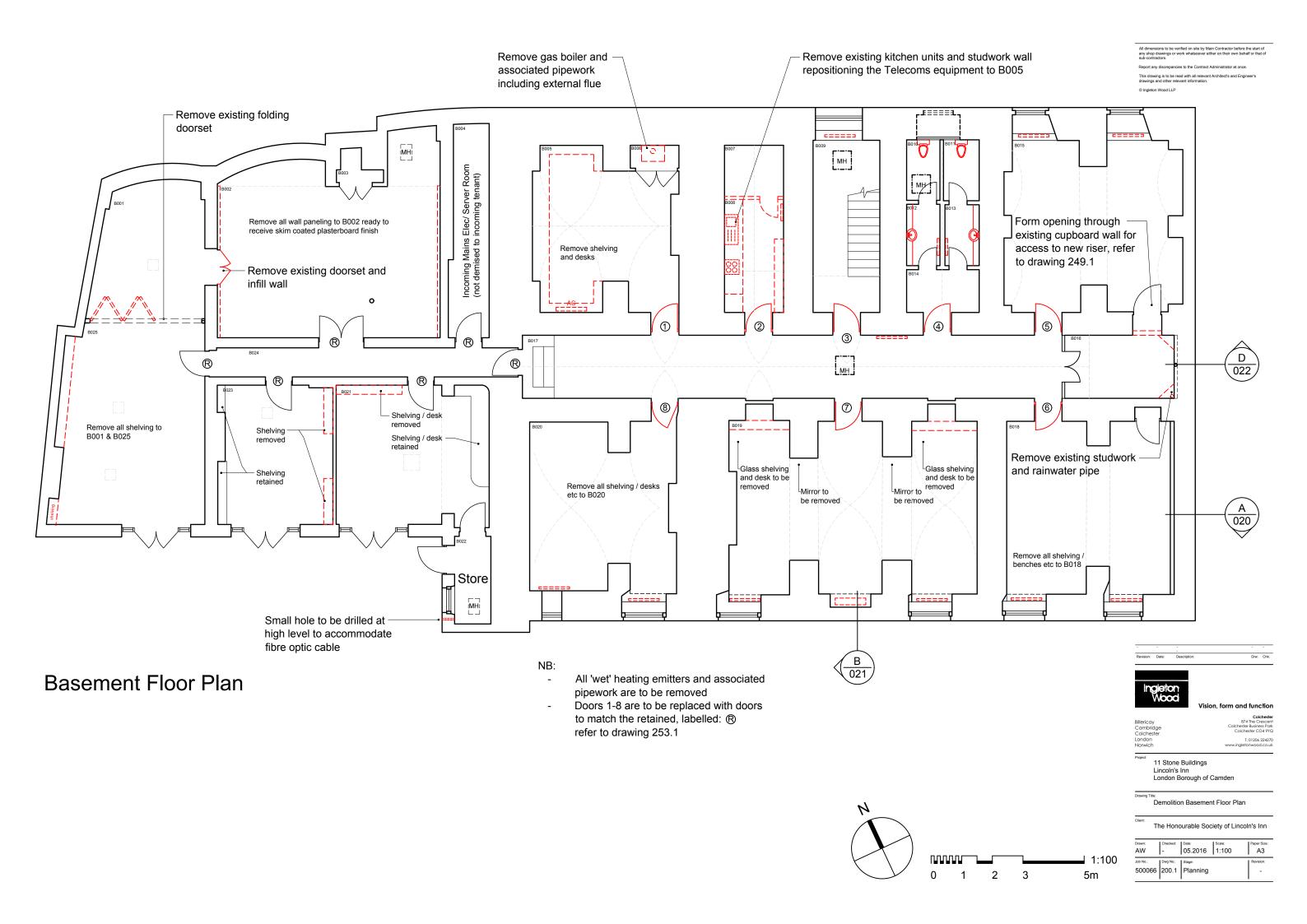
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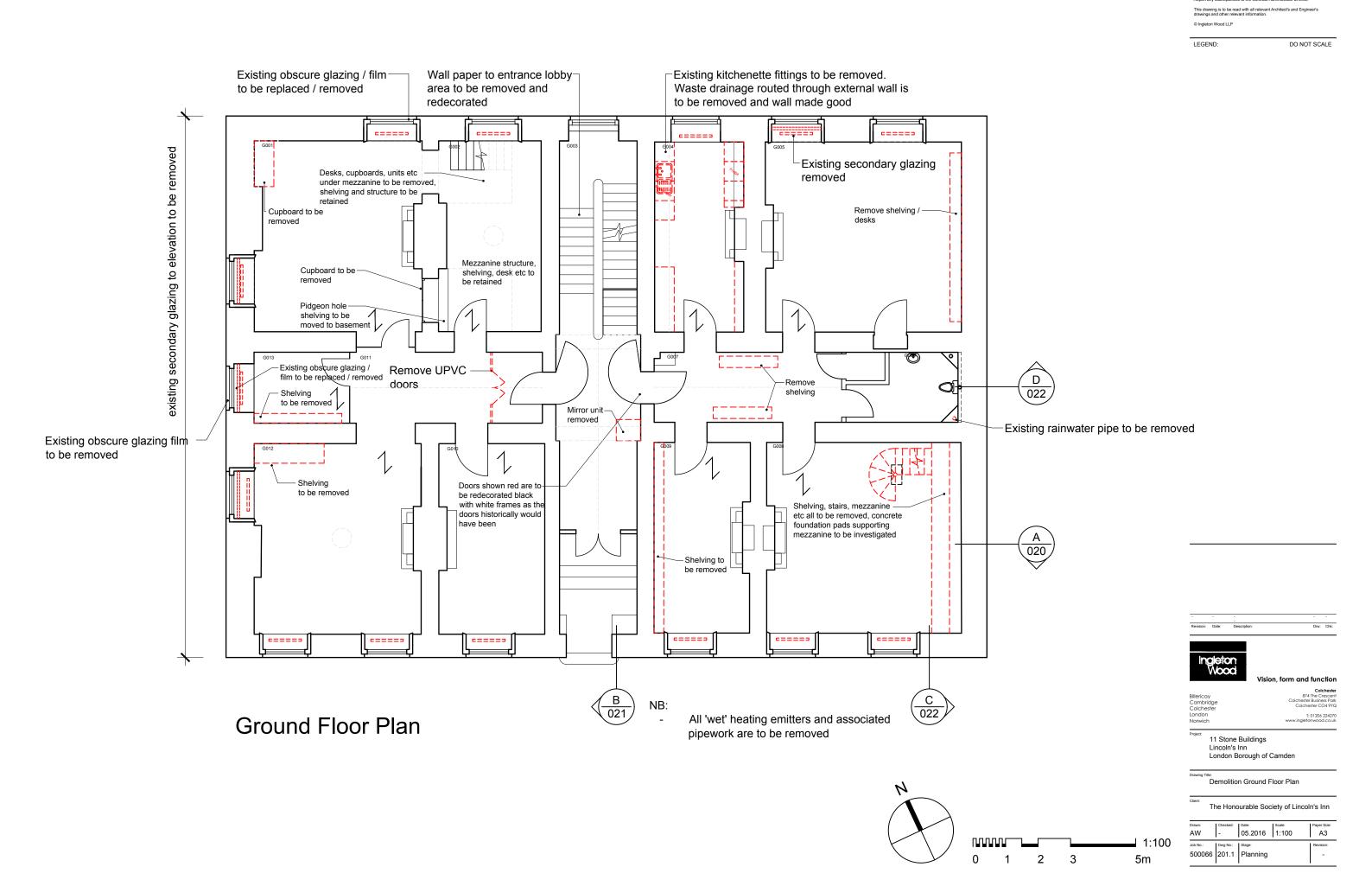
11 Stone Buildings Lincoln's Inn London Borough of Camden

Drawing Title:
Existing Typical Basement Door Details

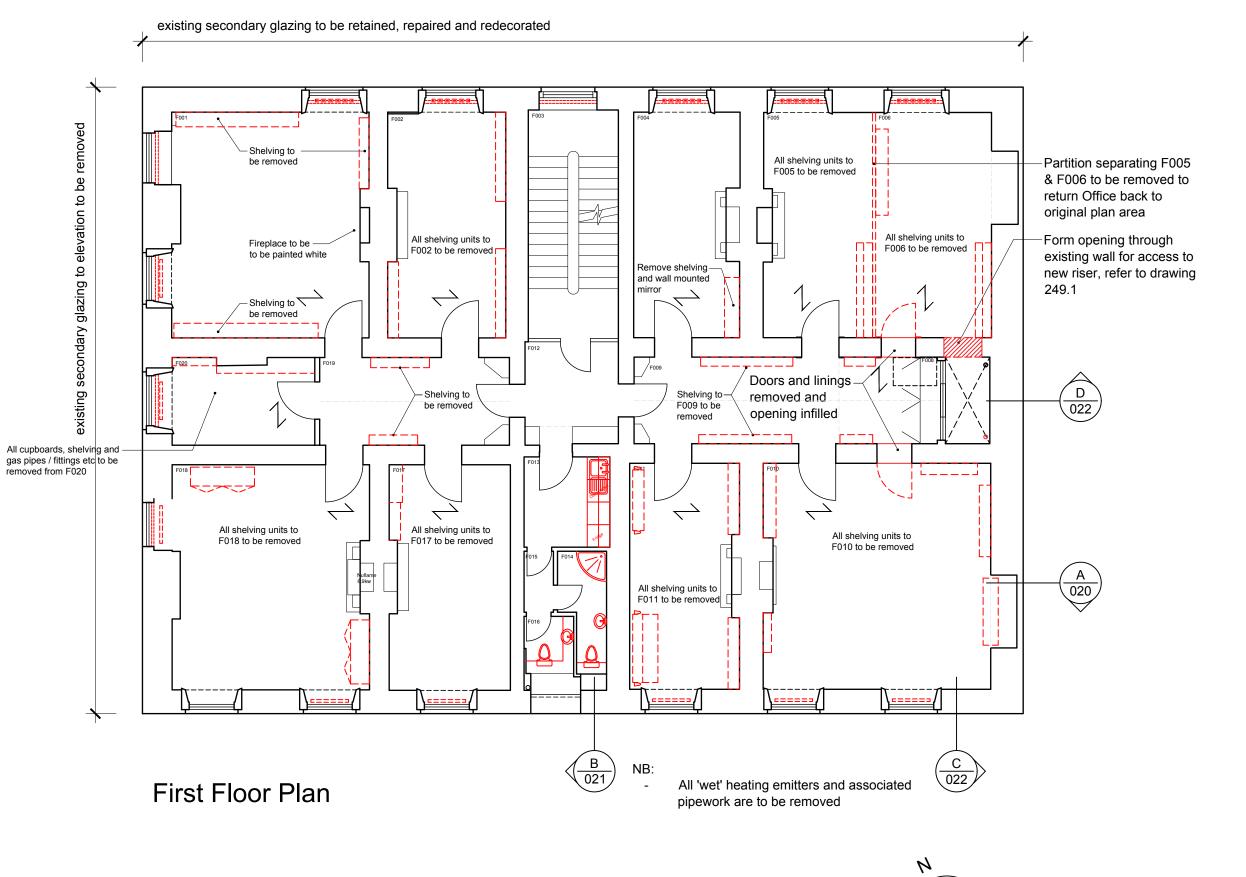
Existing Typical basement Door Details

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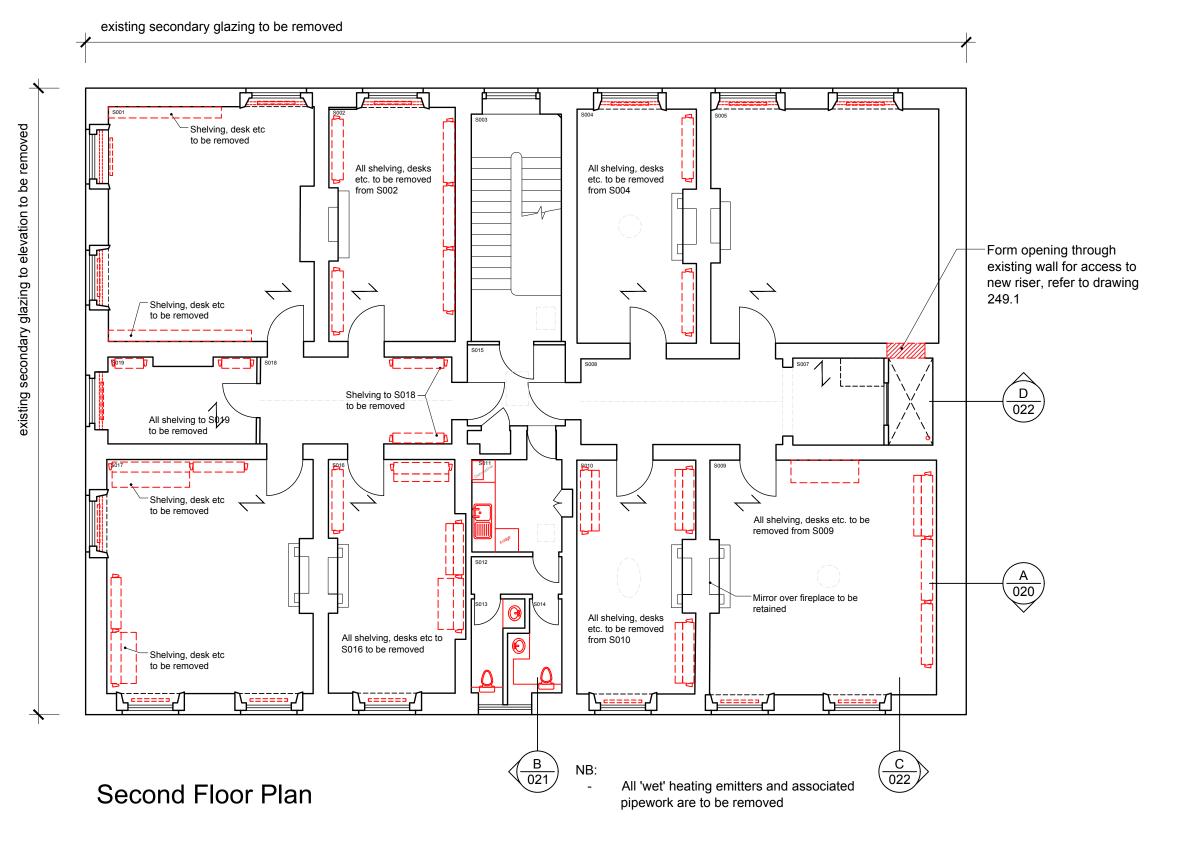
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Demolition First Floor Plan

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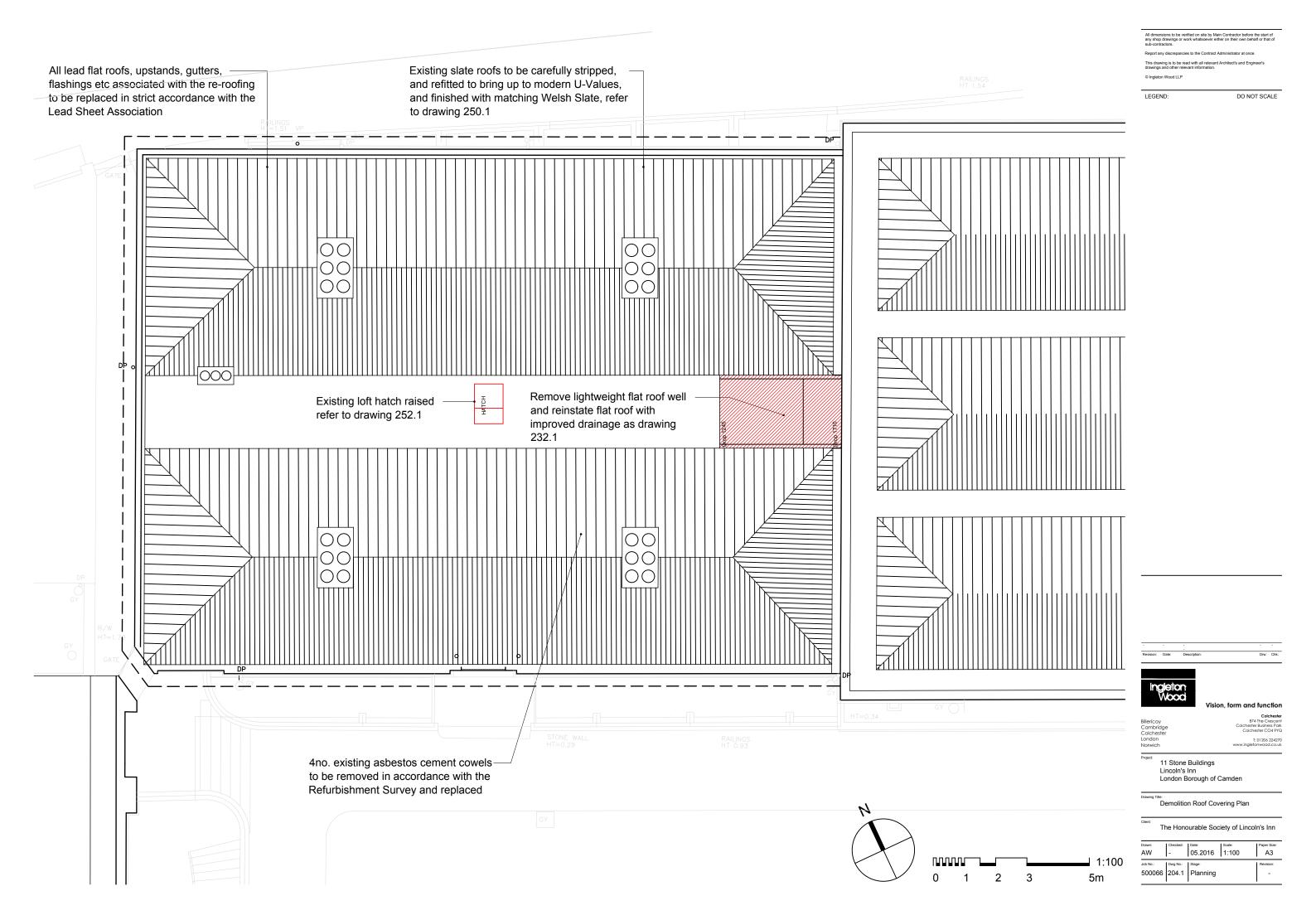
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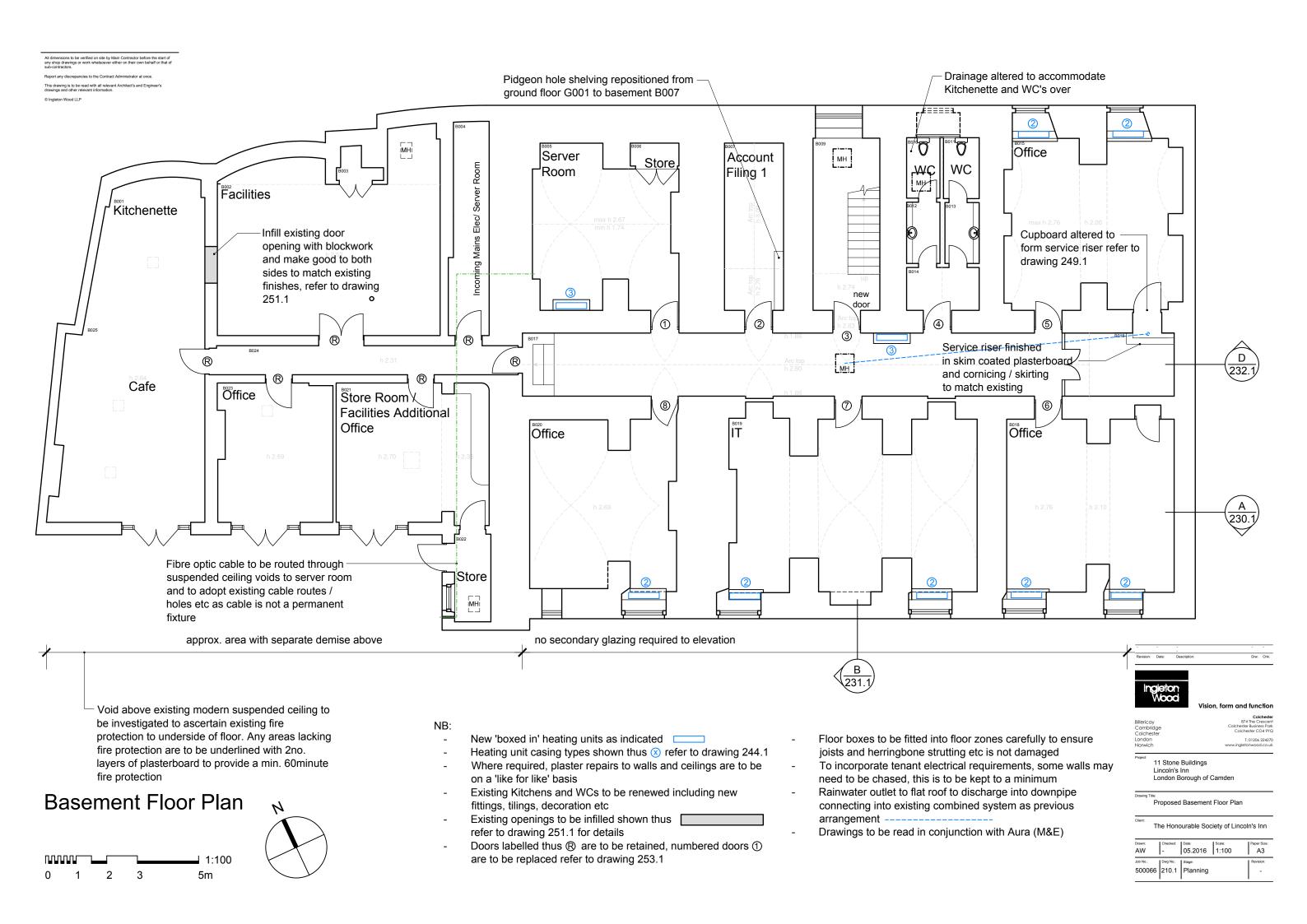
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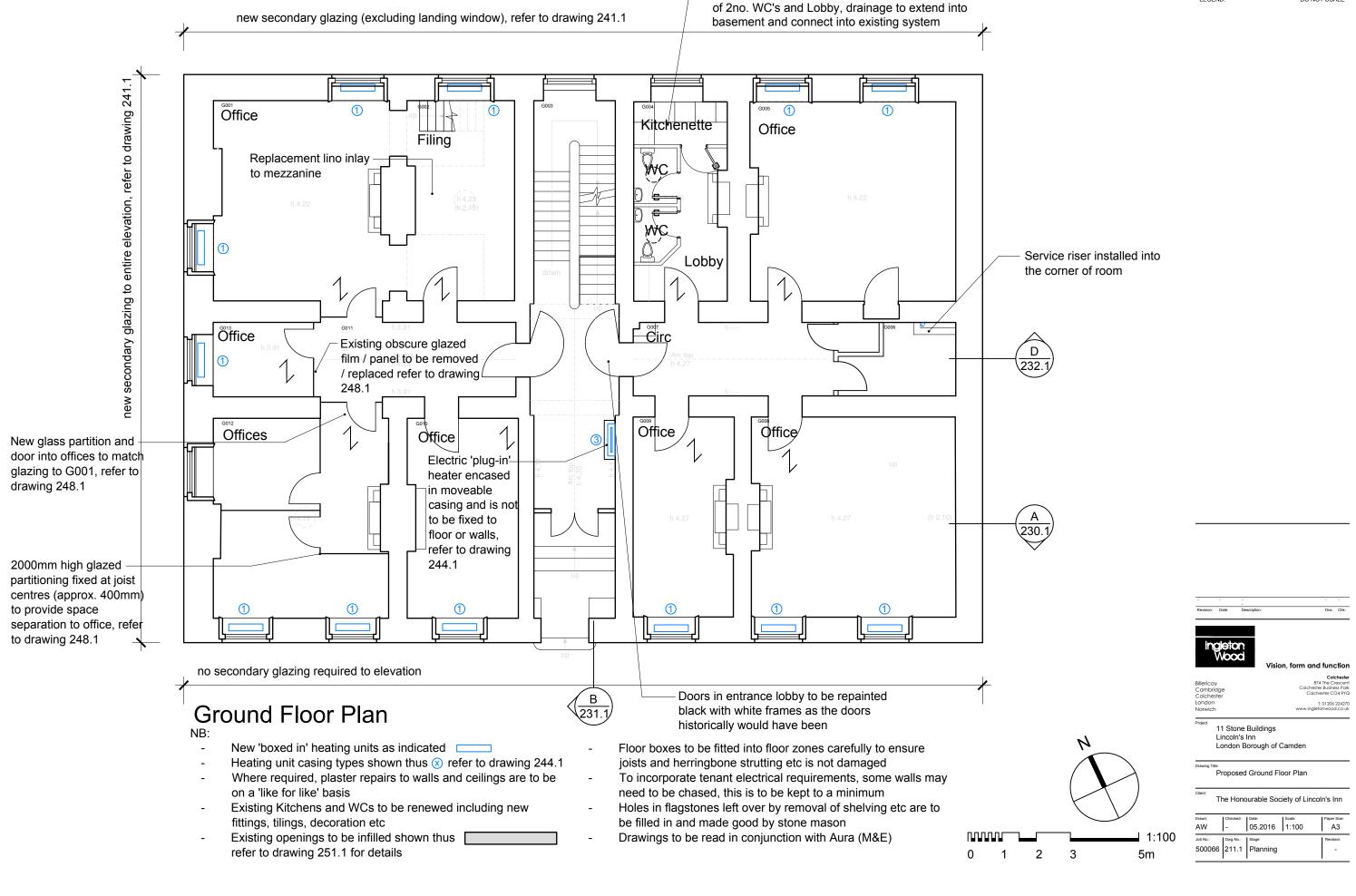
11 Stone Buildings Lincoln's Inn London Borough of Camden

Demolition Second Floor Plan

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Job No.:	Dwg No.:	Stage:		Revision:
500066	203.1	Planning		-







Kitchenette reconfigured to allow for provision

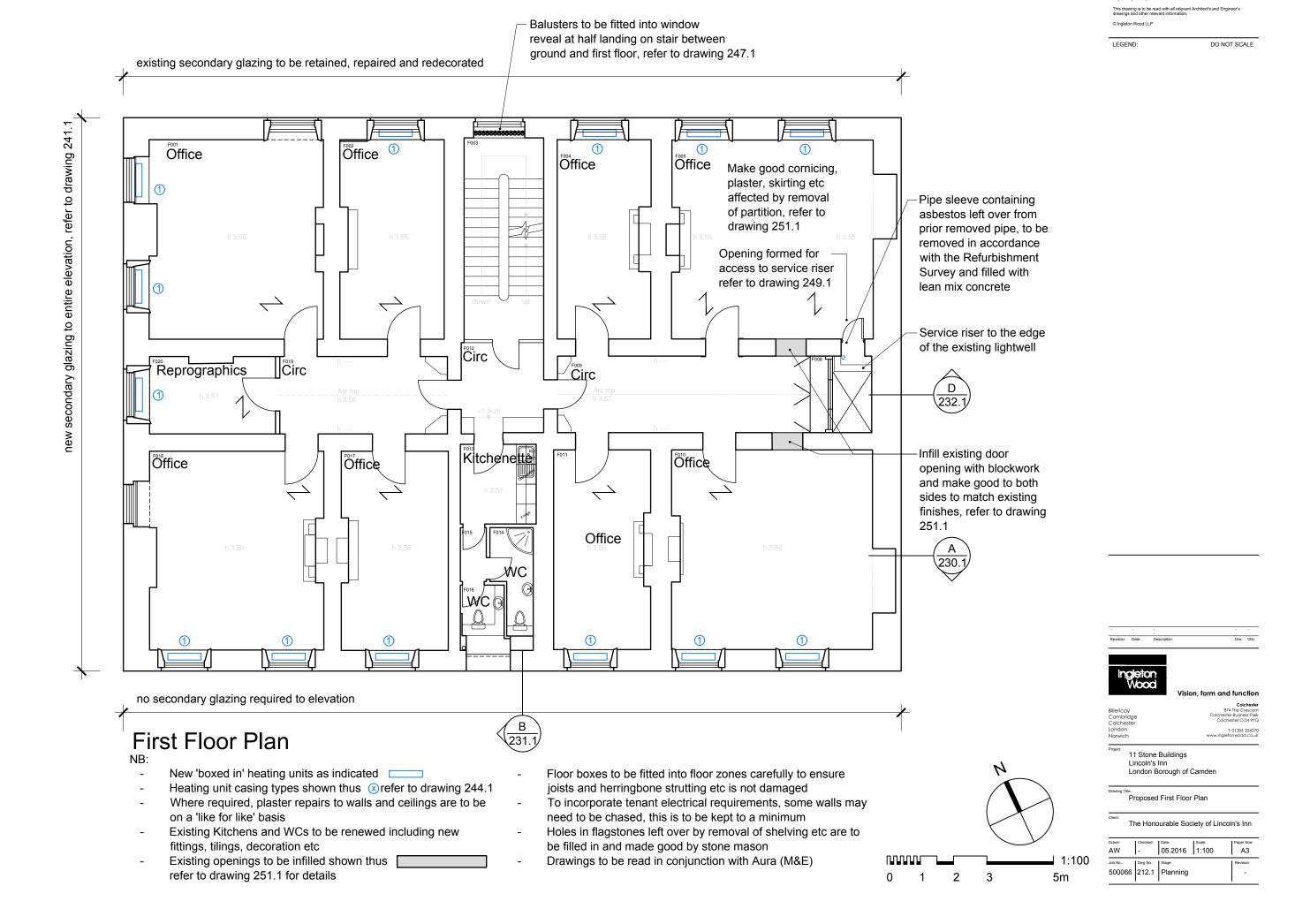
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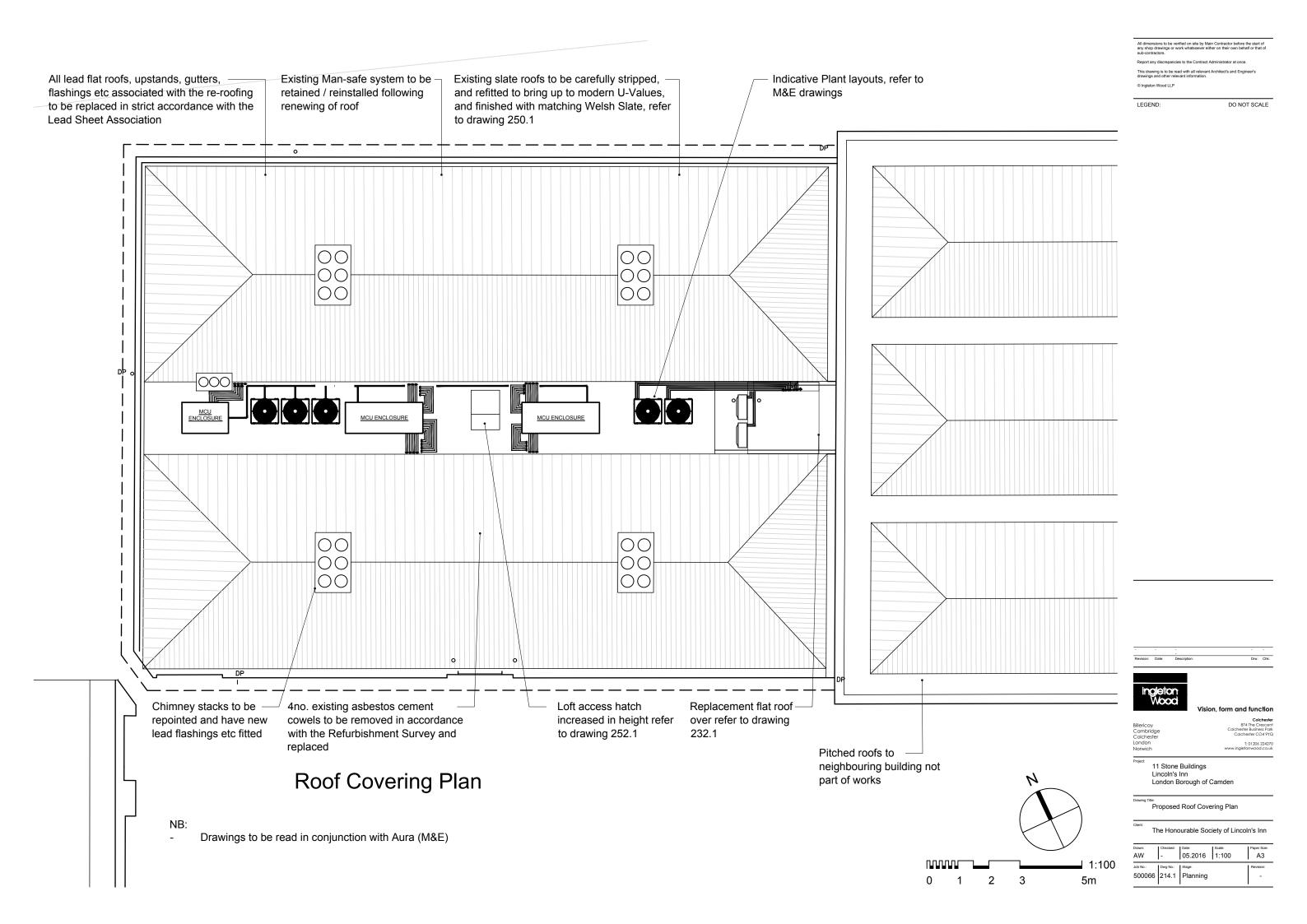


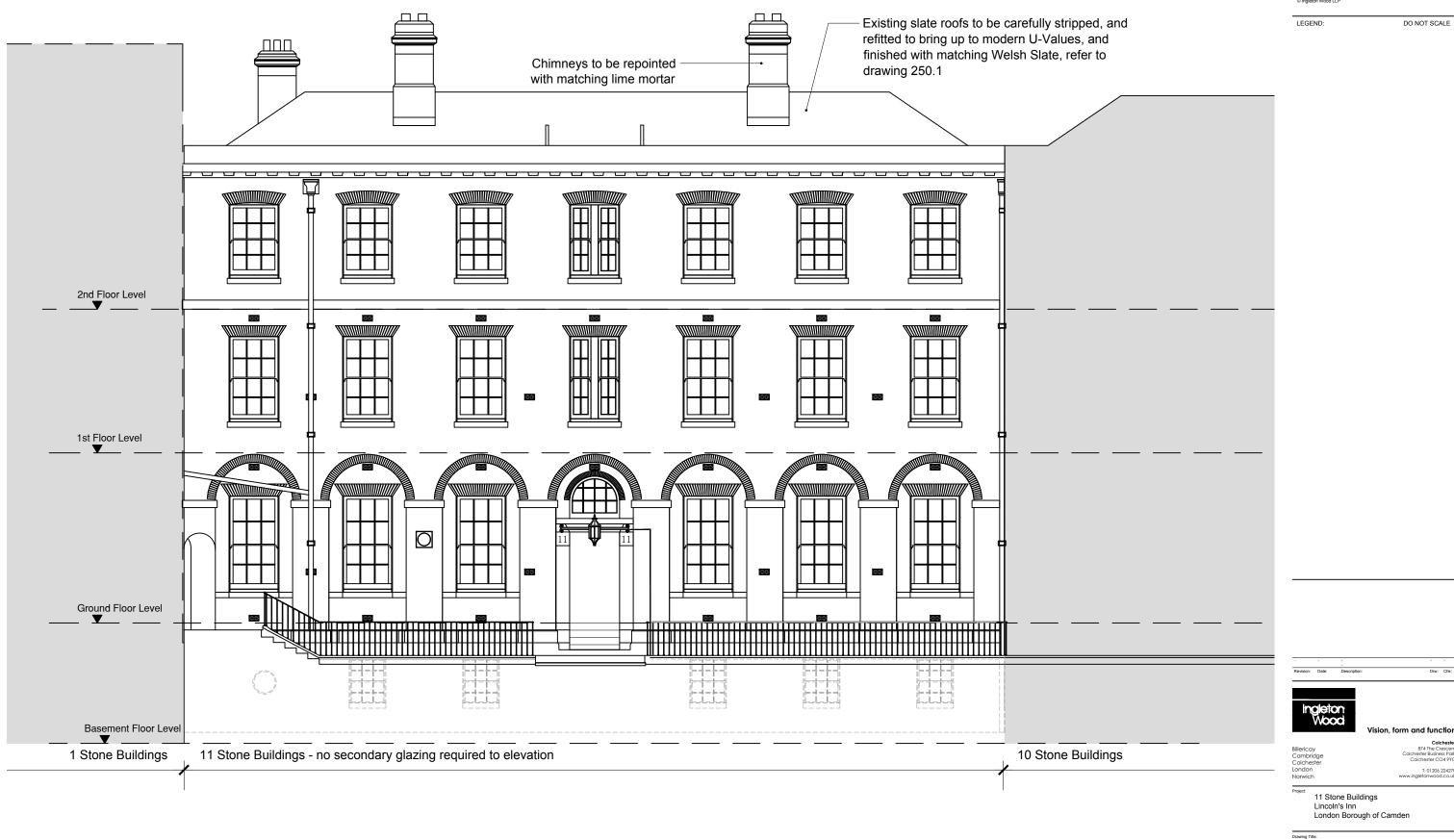
All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of

approx. 300mm to allow for easier serving of roof plant. This drawing is to be read with all relevant Architect's and Engin drawings and other relevant information New insulated 'drop down' ceiling level loft hatch. © Ingleton Wood I I P Remove flue pipe and debris in void between ceiling and roof structure in accordance with the Refurbishment Survey LEGEND DO NOT SCALE new secondary glazing (excluding landing window), refer to drawing 241.1 refer to drawing 241.1 Office Öffice (2) Office ² Office 2 Where existing partition has been removed, cornicing and skirtings are to be made good, refer to entire elevation, drawing 251.1 Existing loft Access to service riser formed by hatch replaced └ reopening window infilled (hatched) with insulated unit as part of the 2002 consent (ref: LSX0204559/R2) Refer to drawing 249.1 glazing to Service riser to the edge of the existing lightwell Circ secondary D Office 232.1 Rainwater outlet to flat roof to Kitchenette Öffice Office Office Öffice discarge into downpipe connecting into existing combined system as previous arrangement Circ 230.1 Existing loft **(** hatch replaced with insulated unit **®** WC WC ngleton Wood no secondary glazing required to elevation $\left(\begin{array}{c} B \\ \hline 231.1 \end{array}\right)$ Second Floor Plan 11 Stone Buildings Lincoln's Inn London Borough of Camden New 'boxed in' heating units as indicated ______ Floor boxes to be fitted into floor zones carefully to ensure Heating unit casing types shown thus 🛭 refer to drawing 244.1 joists and herringbone strutting etc is not damaged Proposed Second Floor Plan Where required, plaster repairs to walls and ceilings are to be To incorporate tenant electrical requirements, some walls may on a 'like for like' basis need to be chased, this is to be kept to a minimum The Honourable Society of Lincoln's Inn Existing Kitchens and WCs to be renewed including new Holes in flagstones left over by removal of shelving etc are to fittings, tilings, decoration etc be filled in and made good by stone mason 05.2016 | Scale: 1:100 Existing openings to be infilled shown thus Drawings to be read in conjunction with Aura (M&E) 500066 213.1 Planning refer to drawing 251.1 for details 2 3 5m

-Existing loft access hatch to be increased in height by

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Western (front) Elevation

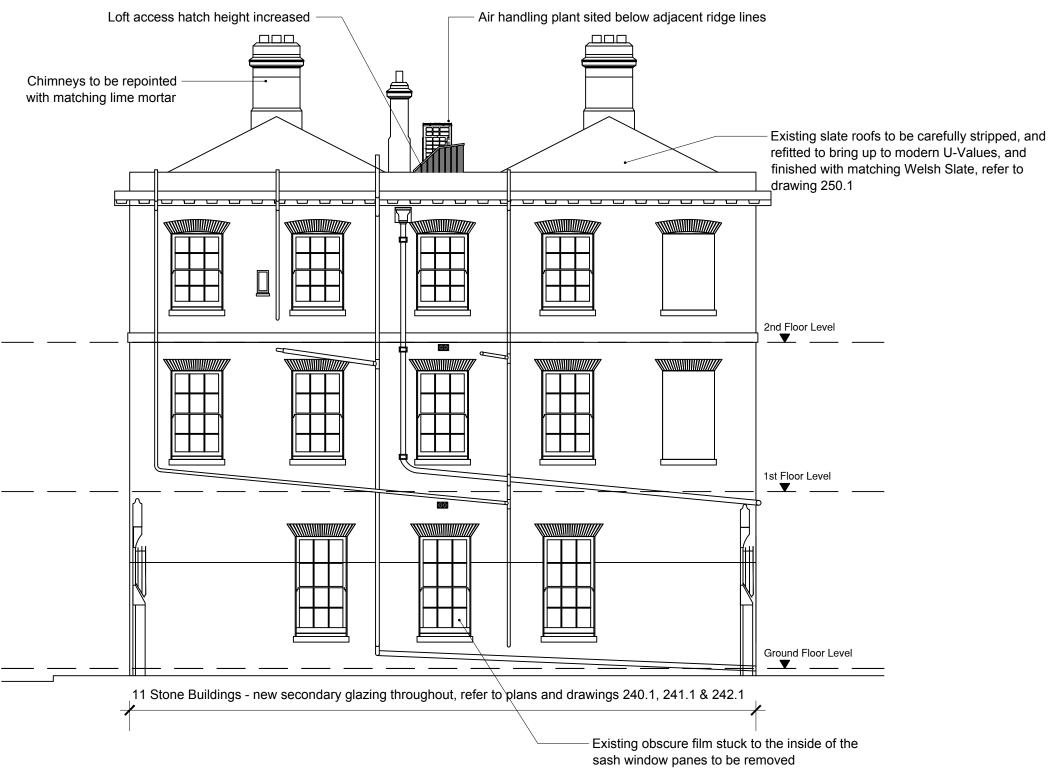
Proposed Western Elevation

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5m

1 2 3

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		- 05.2016 Dwg No.: Stage: 220.1 Planning	



Northern Elevation

1:100 0 1 2 3 5m All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of

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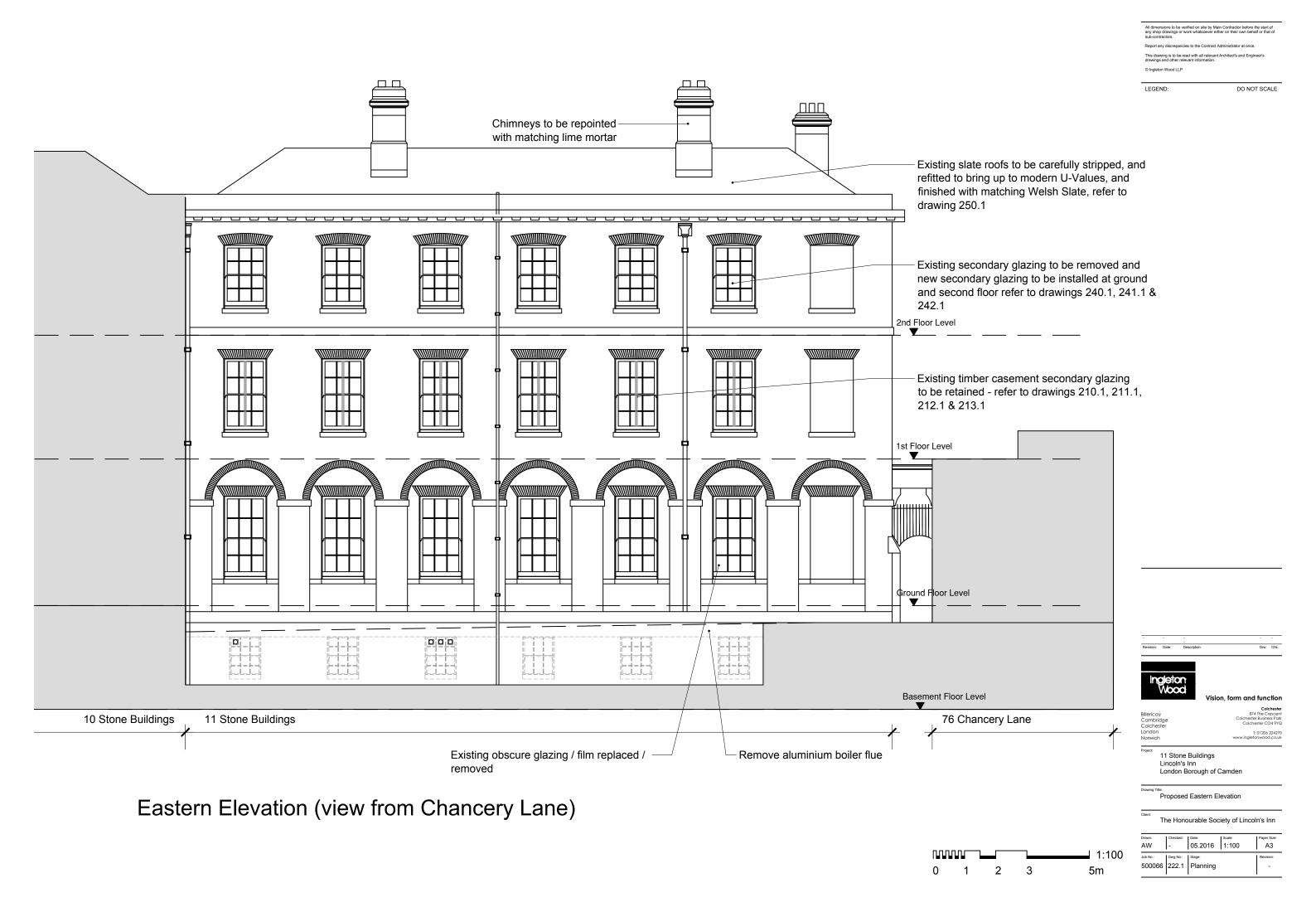
T: 01206 www.ingletonwoo

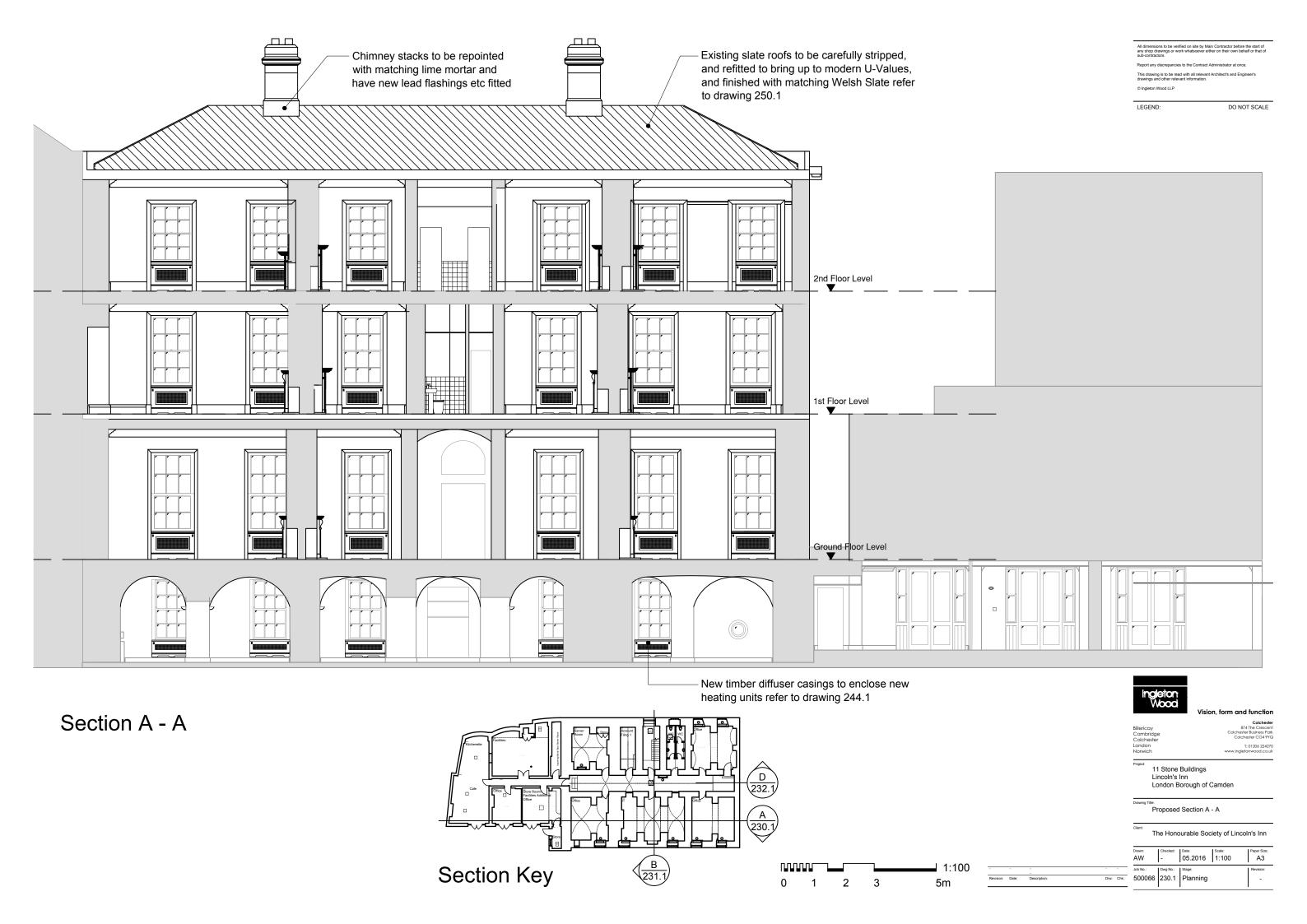
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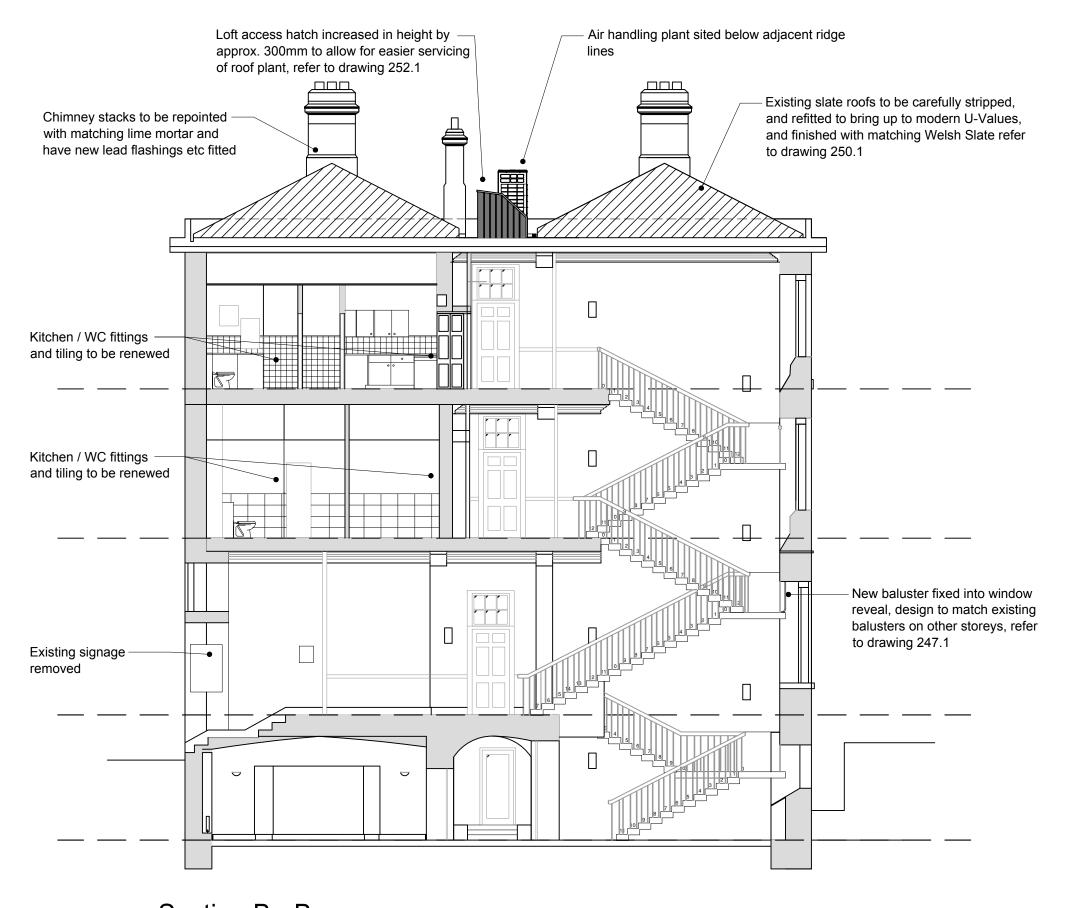
Proposed Northern Elevation

Client:

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	Stage: Planning	Revision:



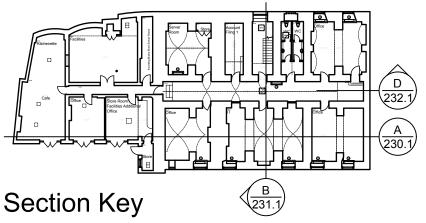


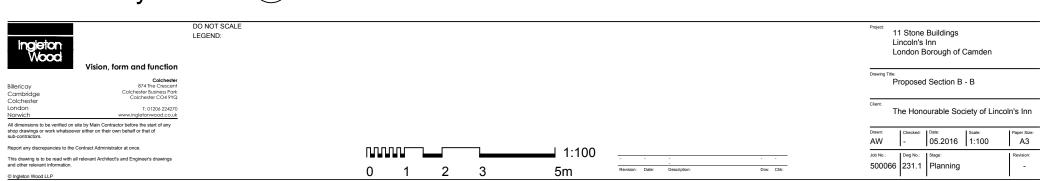


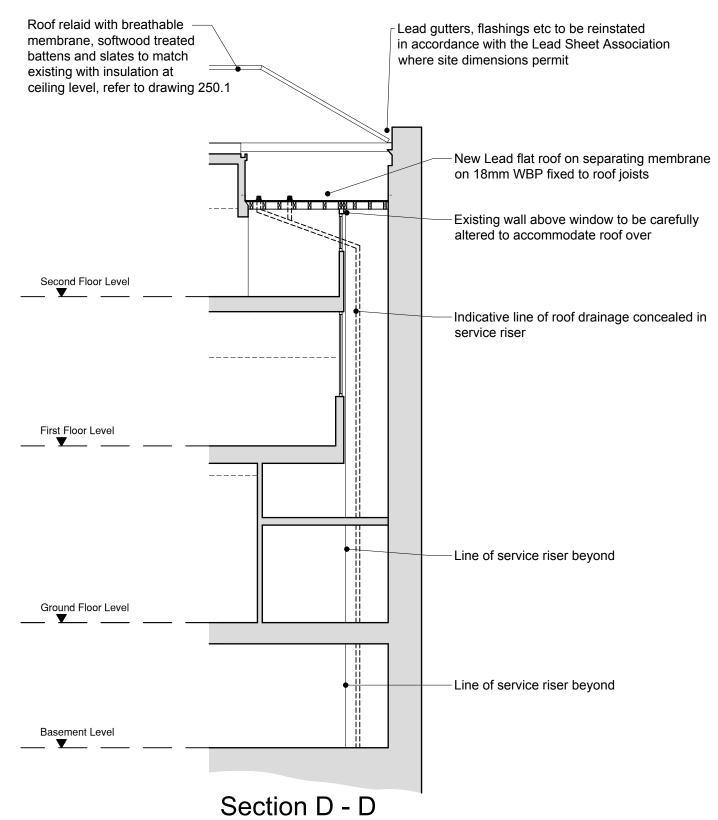
Section B - B

NB:

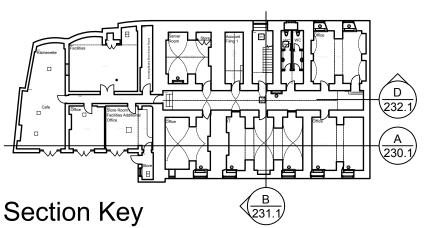
 All lead flat roofs, upstands, gutters, flashings etc associated with the re-roofing to be replaced in strict accordance with the Lead Sheet Association

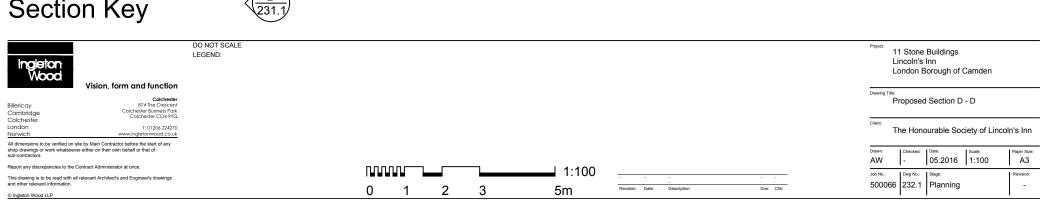






Section C - C omitted from drawing package





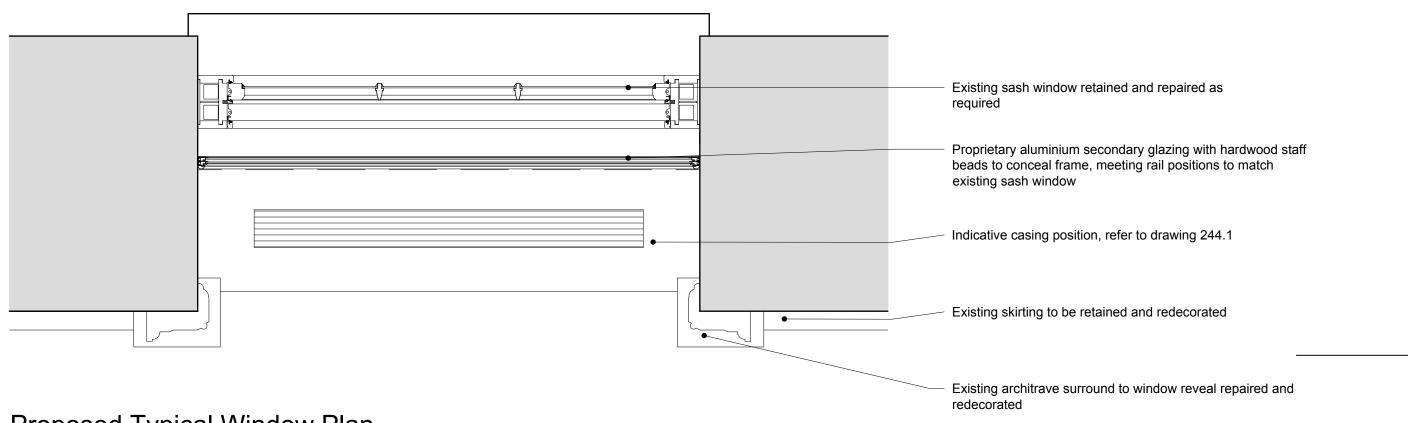
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Proposed Typical Window Plan

showing configuration of secondary glazing





Vision, form and function

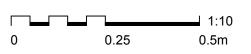
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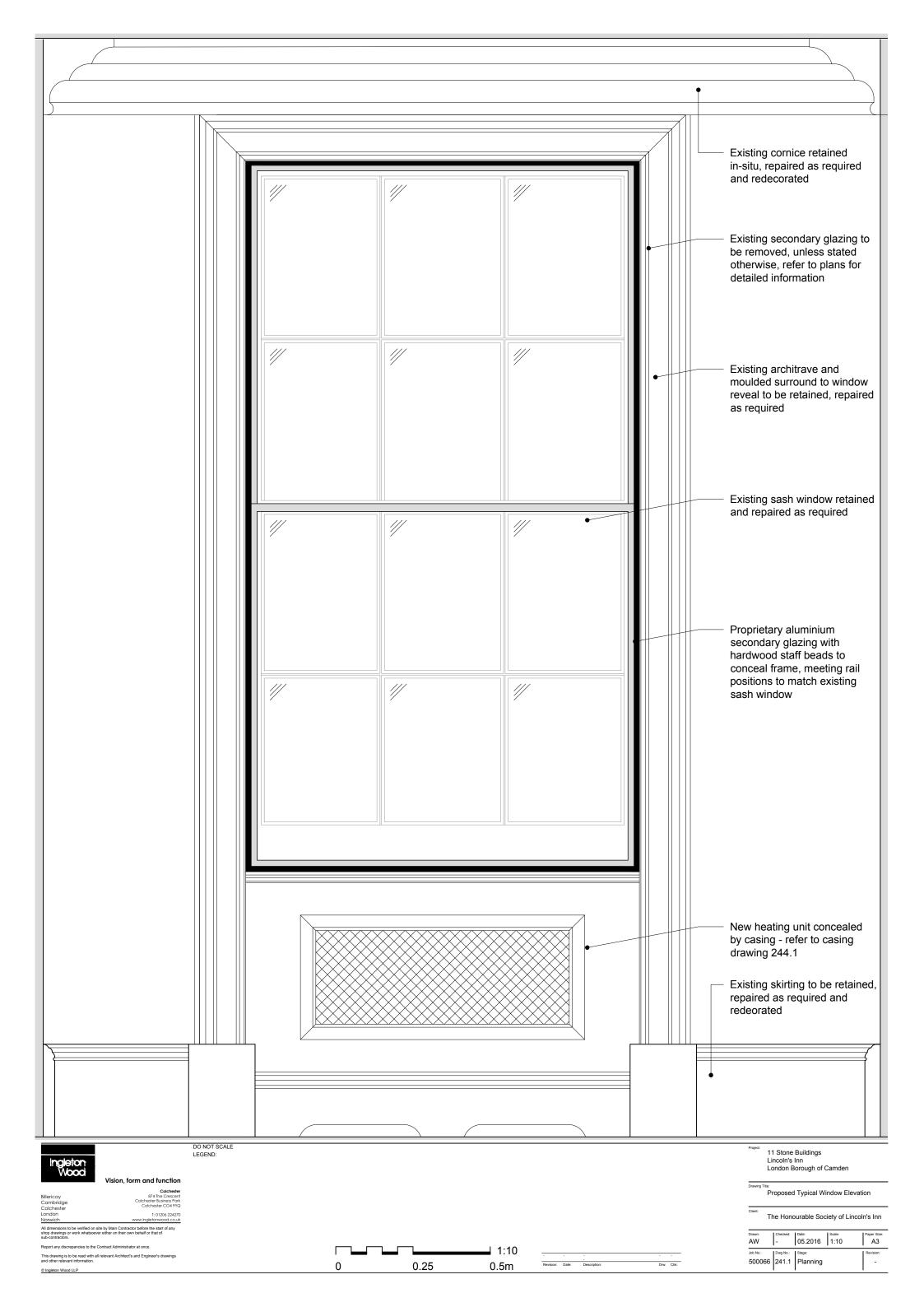
Project:

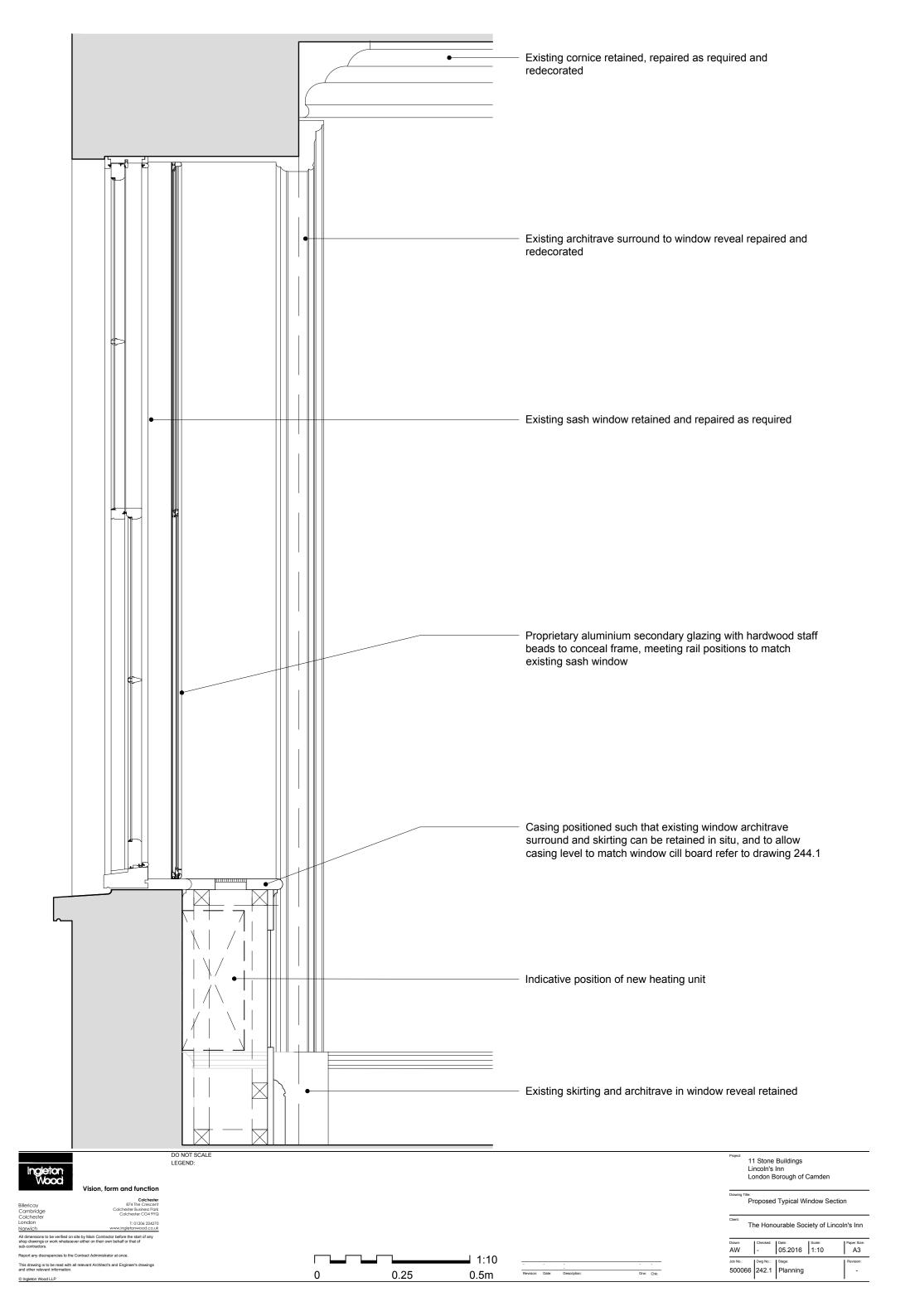
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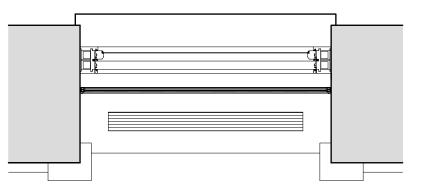
Proposed Typical Window Plan

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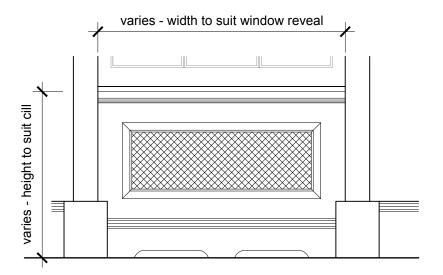






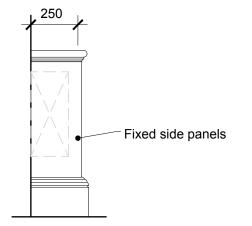
Casing Plan

recessed into reveal (type 1)

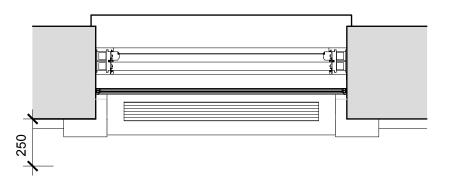


Casing Elevation

recessed into reveal (type 1)

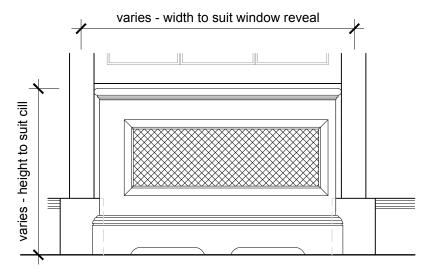


Typical Side Elevation



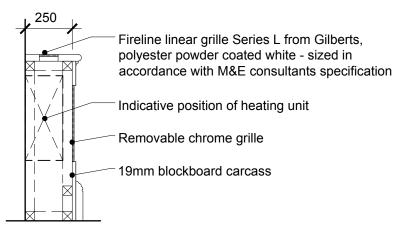
Casing Plan

projecting beyond reveal with side returns (type 2)

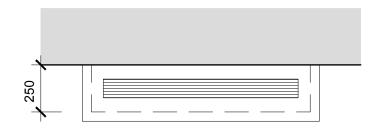


Casing Elevation

projecting beyond reveal with side returns back into wall below sash window (type 2)

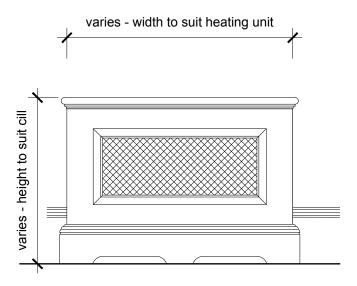


Typical Section



Casing Plan

free standing with full side returns (type 3)

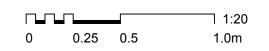


Casing Elevation

free standing with full side returns (type 3)

NB:

- casing detail drawing to be read in conjunction with floor plan drawings 210.1, 211.1, 212.1 & 213.1
- casing type 3 encasing electrical 'plug in' heater to be constructed to be moveable and is not to be fixed to the floor or walls







LEGEND:

DO NOT SCALE

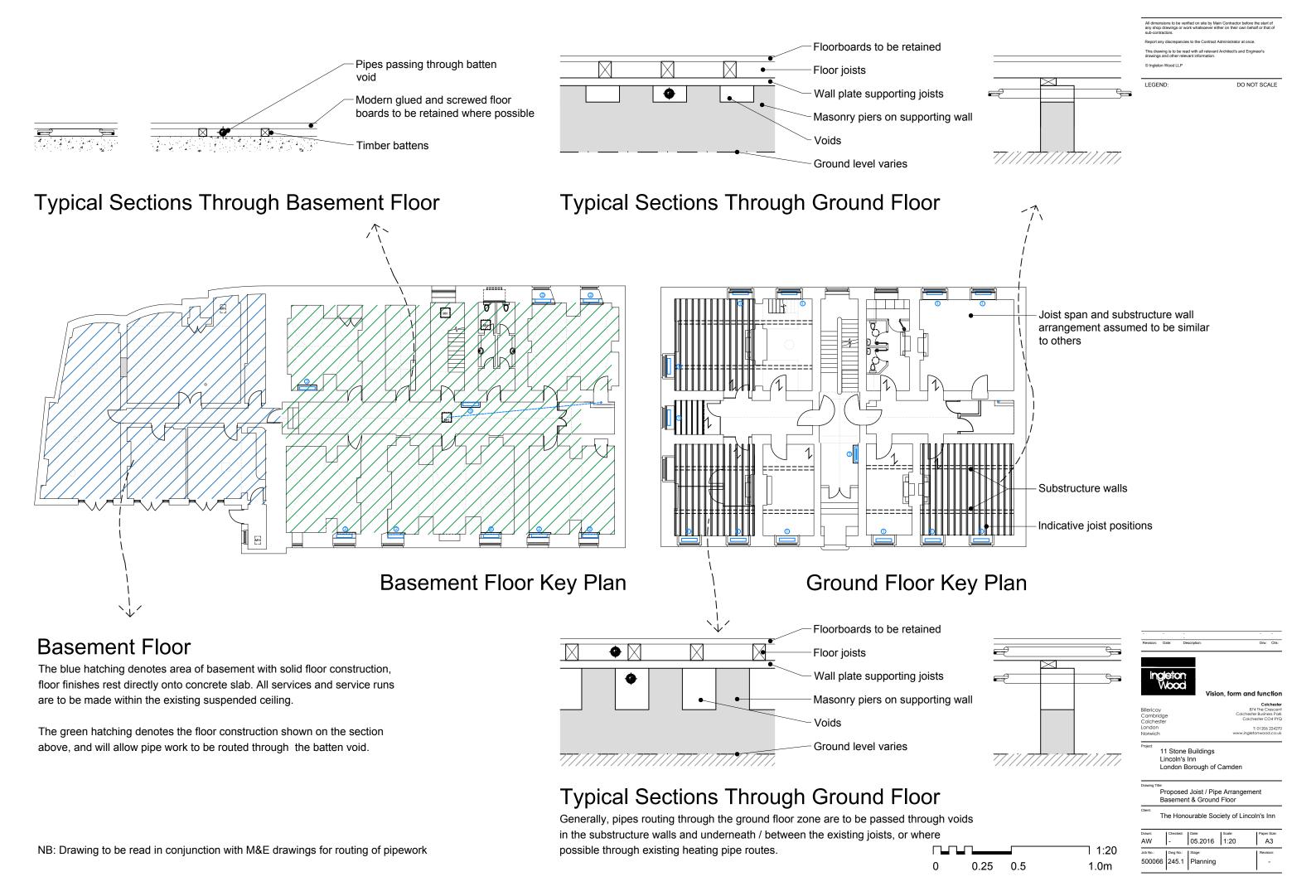
Vision, form and function

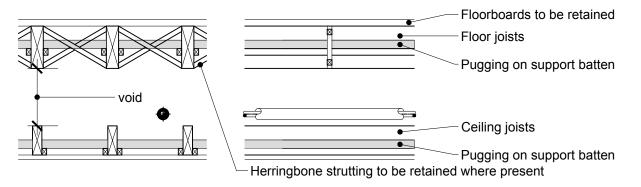
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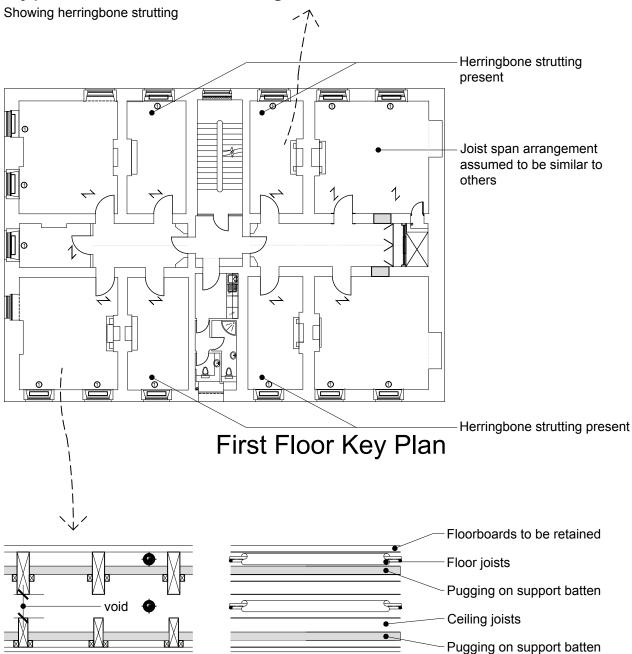
Proposed Casing Details

wg No.:	Stage:		Revision:
44.1	Planning		-
		wg No.: Stage: 44.1 Planning	I





Typical Sections Through First Floor



Typical Sections Through First Floor

Generally, pipes routing through the first floor zone are to be passed through the void between the floor and ceiling joists, or where possible through existing heating pipe routes. Herringbone strutting is to be retained, and in no circumstances to be notched or drilled. Where required, local areas of pugging can be removed to allow for routing of pipes.



All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of sub-contractors.

Report any discrepancies to the Contract Administrator at once.

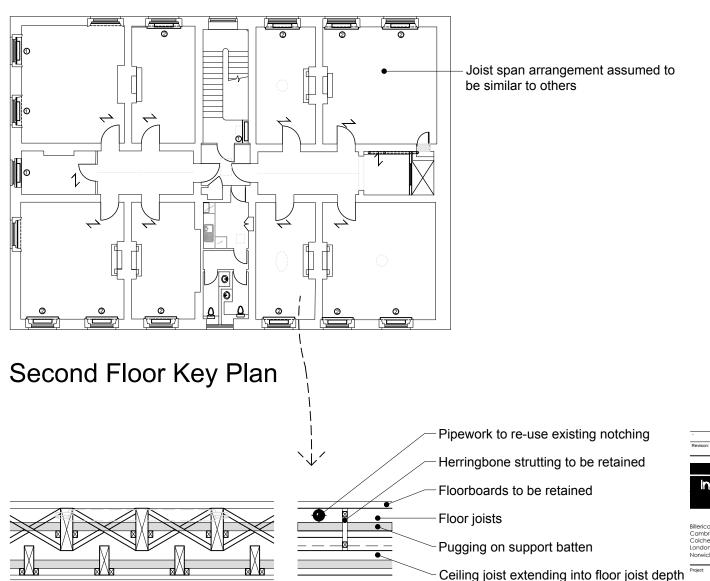
This drawing is to be read with all relevant Architect's and Engineer

nis drawing is to be read with all relevant Architect's and Engine awings and other relevant information.

NB: Drawing to be read in conjunction with M&E drawings for routing of pipework

LEGEND:

DO NOT SCALE



Typical Sections Through Second Floor

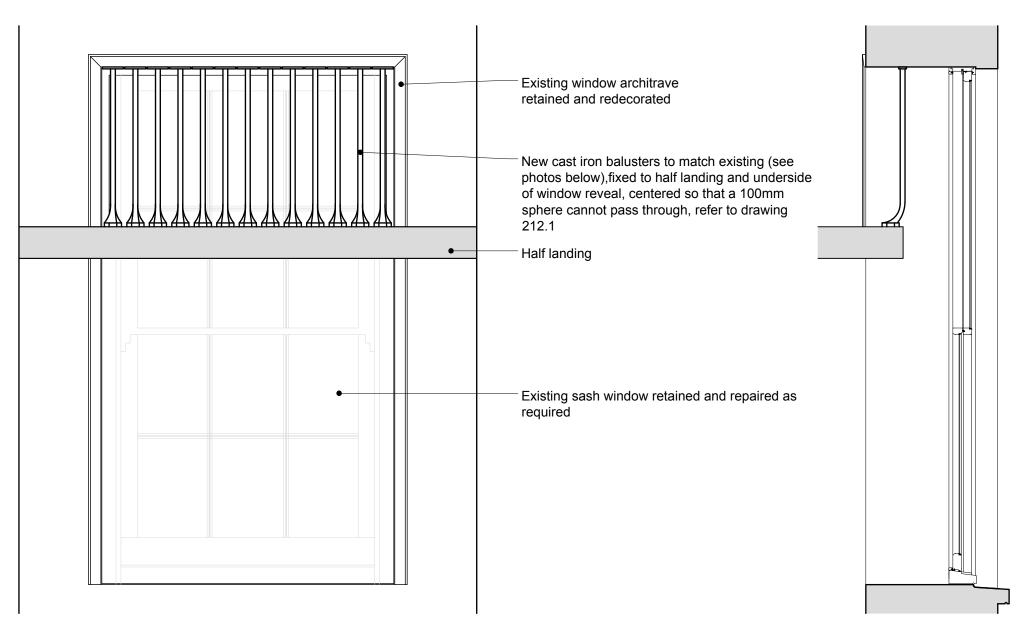
Generally, new pipework is to follow route of existing heating pipes where possible, or between joists, notching of joists for new pipe routes is to be kept to a minimum. The herringbone strutting is to remain with no notching or holes drilled. Where required, pugging can be locally removed to aid the routing of the pipes.



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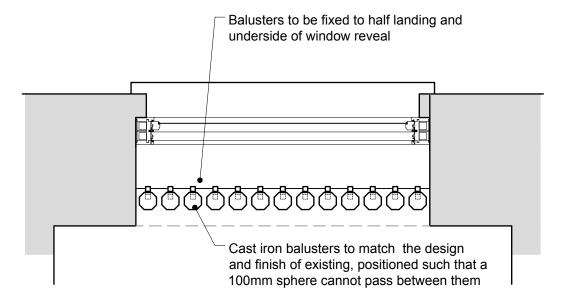
Proposed Joist / Pipe Arrangement
First & Second Floor

Drawn:	Checked:	Date:	Scale:	Paper Size
AW	-	05.2016	1:20	A3
Job No.:	Dwg No.:	Stage:		Revision:
500066	246.1	Planning		-



Baluster / Window Elevation

Baluster / Window Section



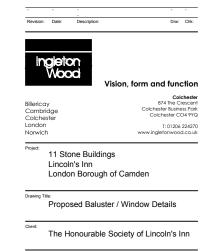
Baluster / Window Plan



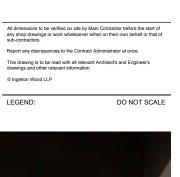
Photos of Existing Balusters

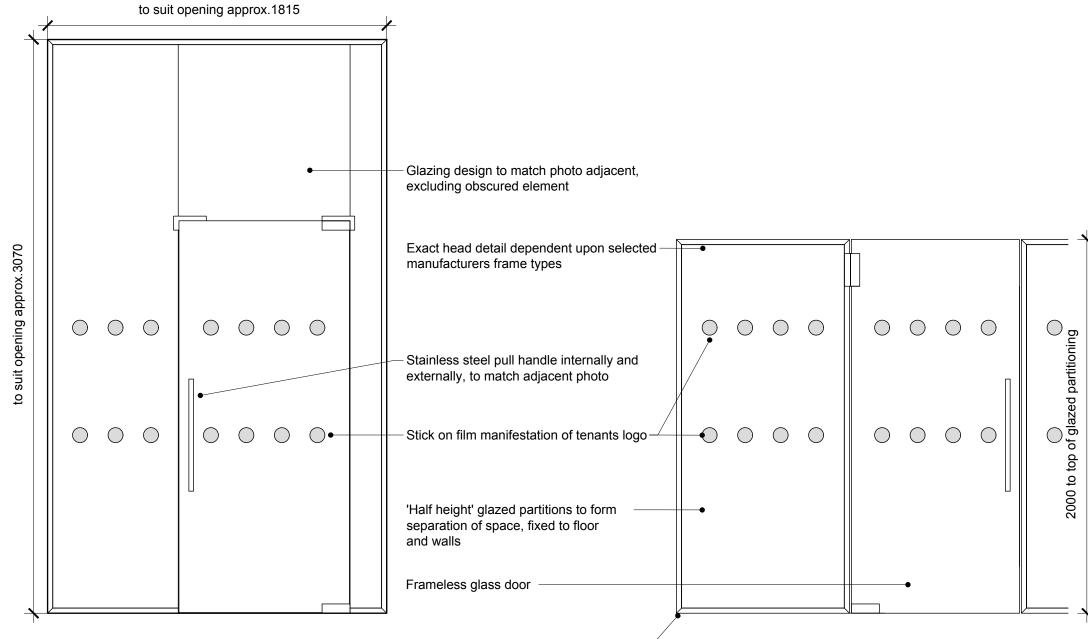






Date: Scale: 1:20



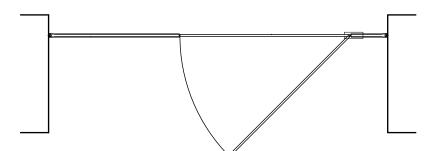




Elevation of new Glazed Door & Partition

(to room G012)

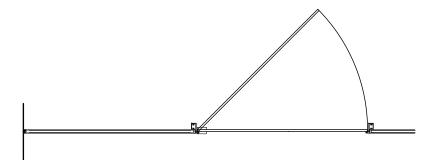
Floor channel to be fixed at joist centres (approx. 400mm)



Plan of new Glazed Door & Partition

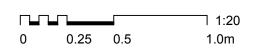
(to room G012)

Typical Elevation of Glazed Partitioning Photo of Existing Glazed Door (for space separation to room G012)



Typical Plan of Glazed Partitioning

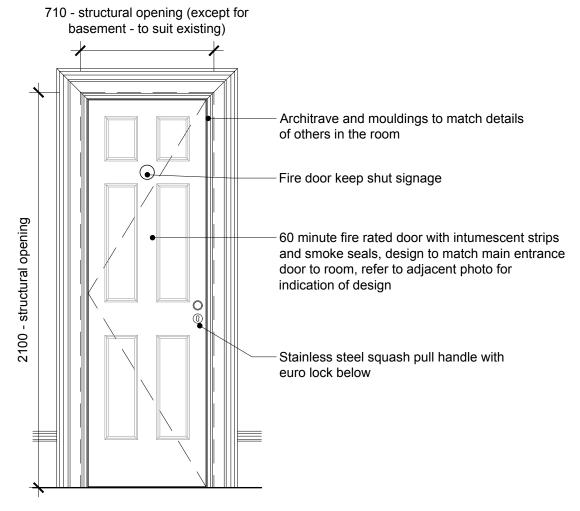
(for space separation to room G012)



& Partition



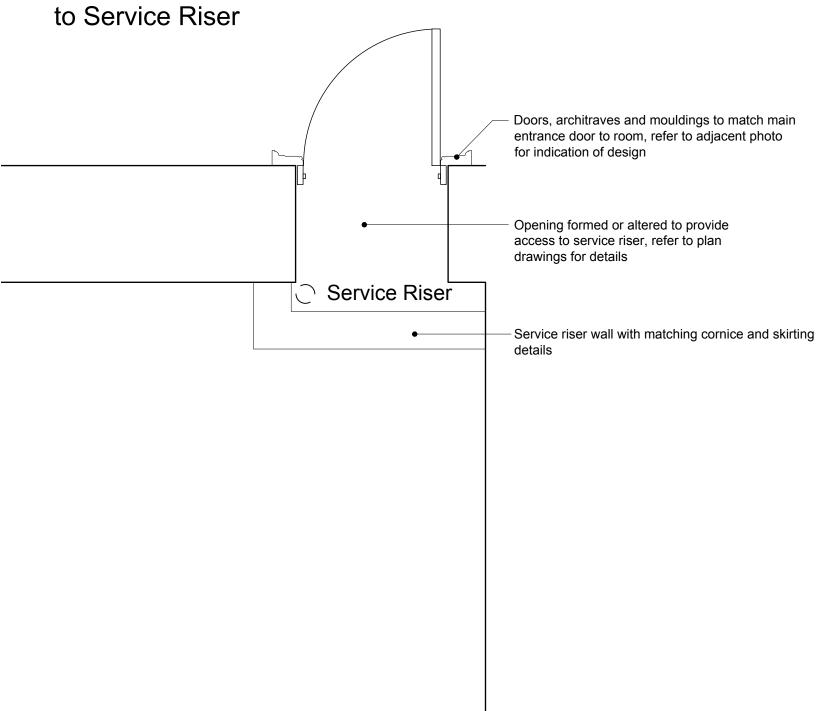
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500066	248.1	Planning		-
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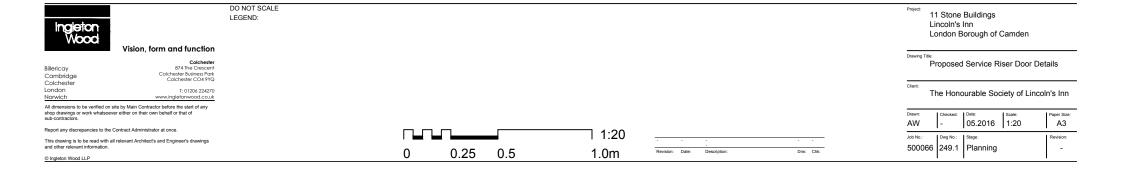


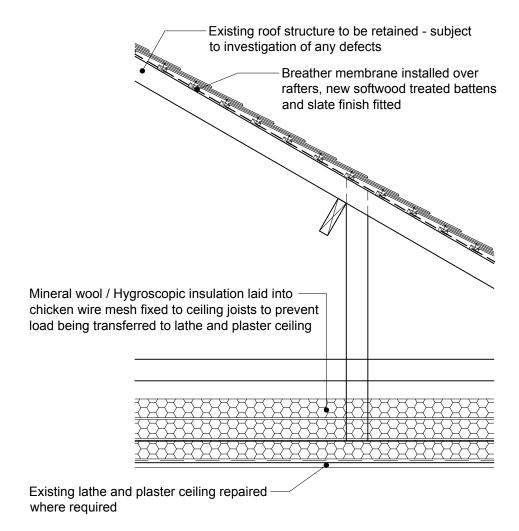
Typical Elevation of Door

Photo of Internal Door



Typical Plan Service Riser





Typical Pitched Roof Replacement Detail

Code 5 (minimum) Lead roof

Existing oak boarded deck to be carefully removed for access to lay insulation below, and relaid replacing any defective oak boards

Existing flat roof joist structure to be retained - subject to investigation of any defects

Mineral wool / Hygroscopic insulation laid into chicken wire mesh fixed to ceiling joists

Existing ceiling joist structure to be investigated and retained if clear of defects

Ensure void is maintained over insulation for cross ventilation

Typical Flat Roof Replacement Detail





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LEGEND:

Vision, form and function

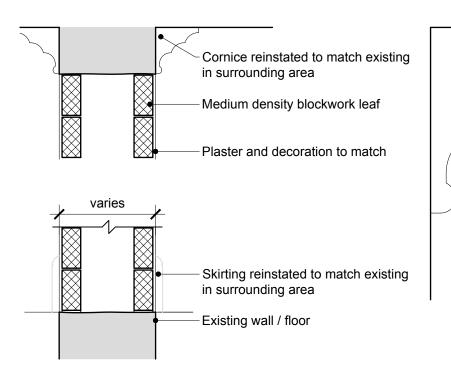
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Typical Re-Roofing Details

AW		Date: 05.2016	Scale: 1:20	Paper Size:
		Stage:		Revision:
500066	250.1	Planning		-





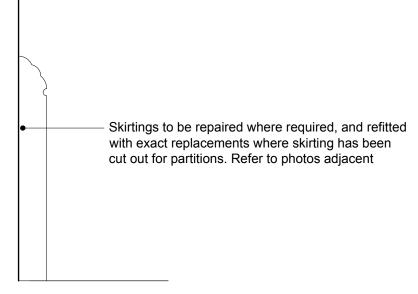
Typical Infill Wall Section

Cornices to be repaired where required, and refitted with exact replacements where cornicing has been cut out for partitions - refer to drawing 212.1. Generally cornice design appears to be floor specific, as such care is to be taken to ensure replicas match the locality they are being fitted. Refer to photos adjacent

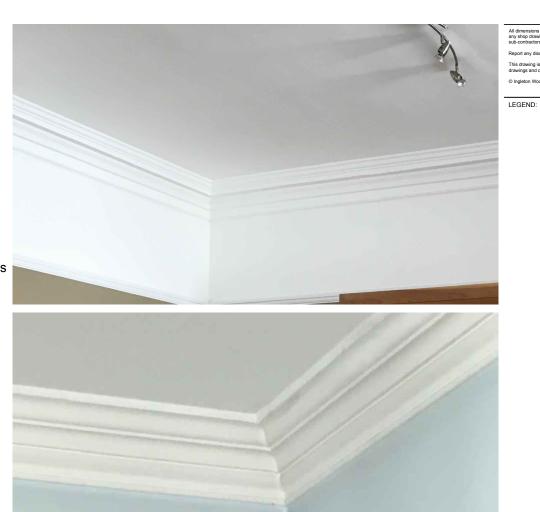
Indicative Cornice Detail

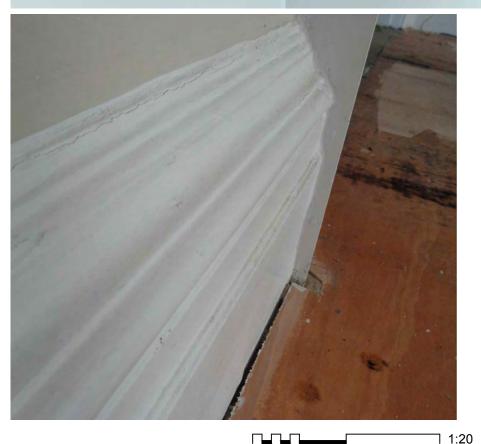
Expanded metal lathe to reduce cracking varies

Typical Infill Wall Plan



Indicative Skirting Detail





0.25 0.5

Revision: Date: Description: Drw: Chic



Vision form and function

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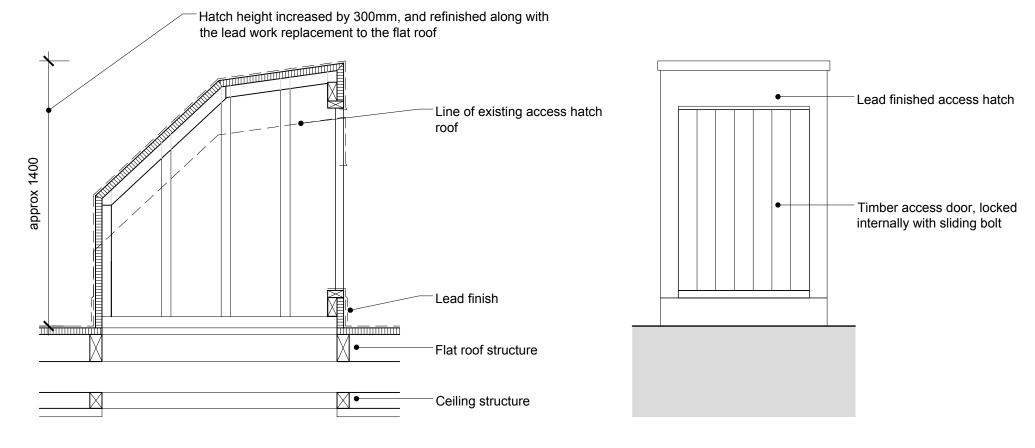
1.0m

Colches 874 The Cresce Colchester Business P Colchester CO4 9° T: 01206 2242 www.ingletonwood.co.

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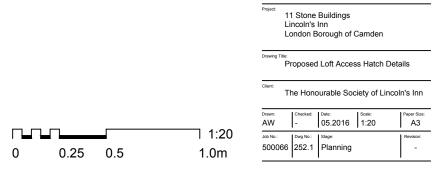
Drawing Title:
Typical Skirting / Cornice Details

AW		Date: 05.2016	1:20 / 1:5	Paper Size A3
Job No.:		Stage:		Revision:
500066	251.1	Planning		-
900000	251.1	Planning		



Proposed Loft Access Hatch Section

Proposed Loft Access Hatch Elevation



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LEGEND:

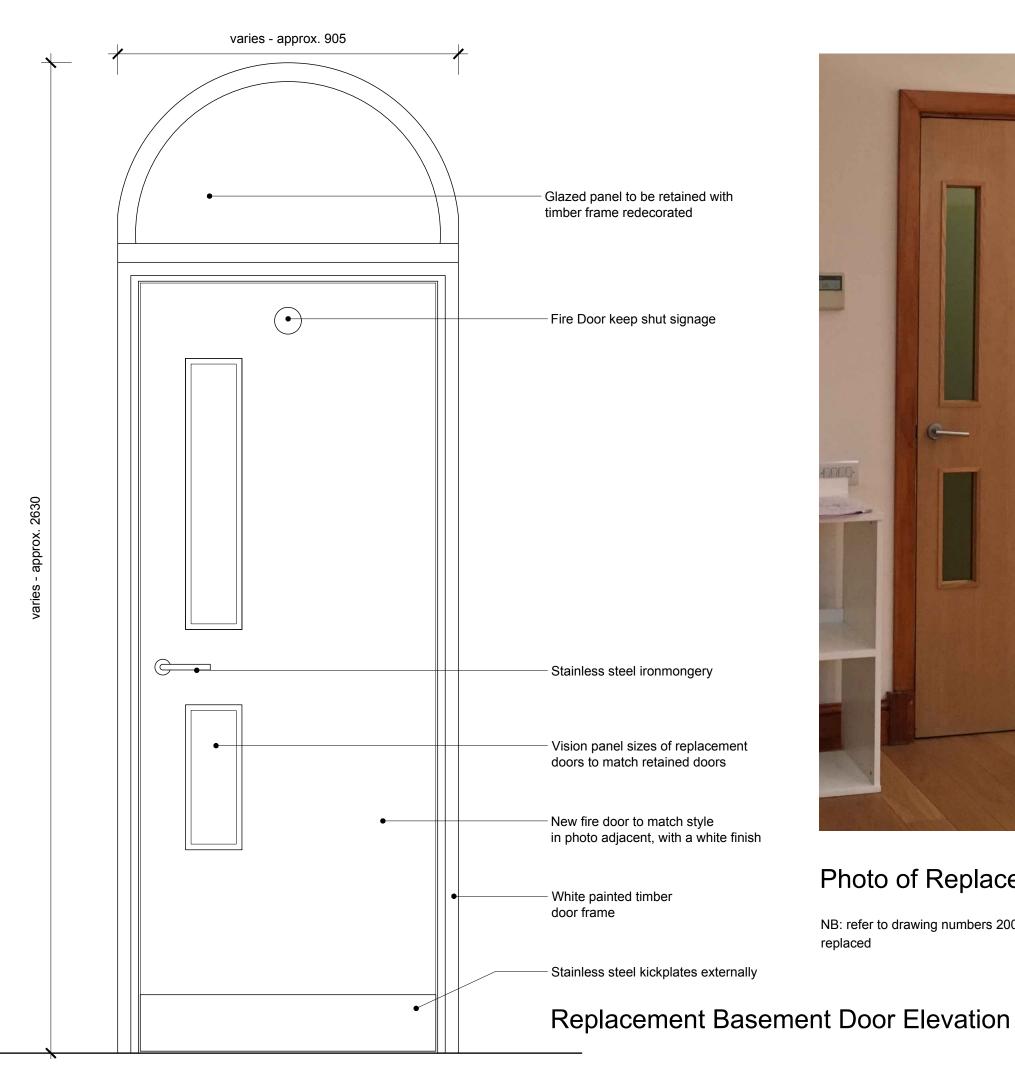




Photo of Replacement Door Design

NB: refer to drawing numbers 200.1 & 210.1 indicating doors 1 - 8 being replaced

> 0.25 0.5m

LEGEND:



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Proposed Typical Basement Door

The Honourable Society of Lincoln's Inn

Date: | Scale: | 1:10 Job No.: Dwg No.: Stage: 500066 253.1 Planning