

Planning and Heritage Statement June 2016



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INTRODUCTION 1.0

- Montagu Evans has been instructed by the Honourable Society of Lincoln's Inn (the 'Applicant') to 1.1 prepare and submit two applications for works at 11 Stone Buildings, Lincoln's Inn, WC2A 3TG (the 'Building'). The Building is located in the London Borough of Camden (the 'Council'). Separate applications are submitted for the following works:
 - 1. Full planning permission and listed building consent for:

Installation of external plant and internal works in association with continued office use, including installation of secondary glazing and AC units

2. Full planning permission and listed building consent for:

Installation of lift and associated works

- While two pairs of applications have been prepared, the works have been devised as a comprehensive 1.2 scheme to enable the refurbishment of the existing vacant offices in order to secure a new tenant. The offices require a degree of refurbishment and the installation of refreshed services in order to enhance their attractiveness and secure a tenant.
- The Building was Grade I listed on 24 October 1951 as a group with Nos.8-11 (consec). The terrace 1.3 was constructed between 1775 and 1780 to the designs of Sir Robert Taylor. The list description for the building is located at Appendix 1. The Building is located within Bloomsbury Conservation Area, designated in 1968 by the London Borough of Camden. The application site includes the basement of No. 76 Chancery Lane, which is unlisted and connected to Stone Buildings at basement level. The works within No. 76 require neither listed building consent nor planning permission but are shown in the application material due to the degree of interconnectivity between the buildings and the proposed external plant serves both areas.
- A site location plan is provided at Figure 1 and the application site boundary is also identified within 1.4 the aerial photograph provided at Figure 2.
- It should be noted that the works to install a lift replicate a previous consent granted for the property in 1.5 2002 (Section 3.0). Many other works relating to the 2002 consent, with the exception of the lift, have been implemented. We therefore believe the consent has been implemented and could therefore be completed at any time. The extant lift is therefore a significant material consideration in the assessment of the proposals for the lift.
- 1.6 The current proposals are intended to improve the functionality and performance of the Building. They are also intended to make the Building fit for purpose for prospective tenants seeking to rent the property from the Applicant for office use towards the end of 2016.
- The Applicant entered into pre-application discussions with the Council. 1.7

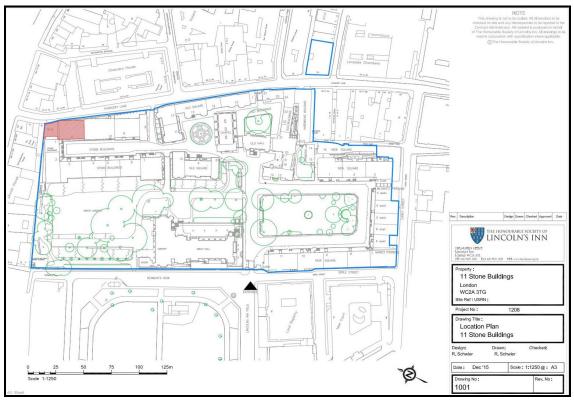


Figure 1 Site Location Plan

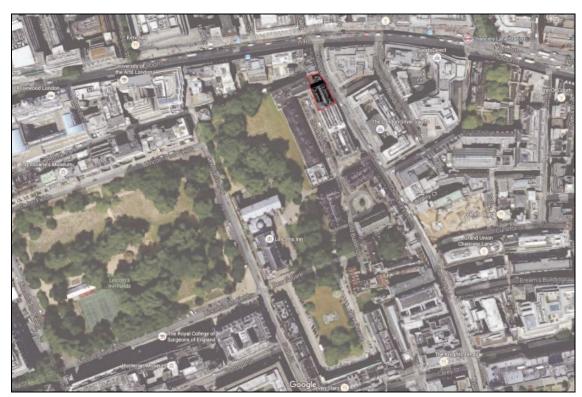


Figure 2 Aerial View of Site

11 STONE BUILDINGS, LINCOLN'S INN, WC2A 3TG PLANNING AND DESIGN AND ACCESS STATEMENT

MONTAGU EVANS

SITE CONTEXT 2.0

2.1 This section considers the listed status of the Grade I listed 11 Stone Buildings. Nos.8-11 Stone Buildings were statutorily listed at Grade I on 24 October 1951. The list description is provided at Appendix 1.

Lincoln's Inn

- 2.2 Lincoln's Inn is located to the east of Lincoln's Inn Fields. The Inn is bound by Newman's Row to the west and Chancery Lane to the east. The rear of buildings located at High Holborn form the northern boundary. Carey Street borders the site to the south.
- The Building, including the entire Lincoln's Inn, is located within the Camden Bloomsbury Conservation 2.3 Area. Westminster's Strand Conservation Area borders Lincoln's Inn to the south. To the east of Lincoln's Inn is the City of London's Chancery Lane Conservation Area.
- The Honourable Society of Lincoln's Inn has been evolving and expanding since its foundation in 1422. 2.4
- The four Inns of Court Lincoln's Inn, Inner Temple, Middle Temple and Gray's Inn are professional 2.5 societies of barristers. All barristers who practise in England and Wales, and all students intending to becoming barristers must belong to one.
- 2.6 The Inns also provide professional accommodation for their members, dining and meeting facilities and places of worship. There is of course also office space associated with the administration and management of the Inn itself. The Inn is a self-contained collegiate-type precinct. Many of the buildings are of historic interest - indeed the Inns collectively are the custodians of a significant number of nationally significant buildings. The heritage and architecture of the Inns attract many visitors, both tourists and those who live or work in the vicinity. Lincoln's Inn is open for public enjoyment every day. It is a quiet, pleasant green refuge.
- A layout of the buildings comprising Lincoln's Inn is provided at Figure 3. 2.7

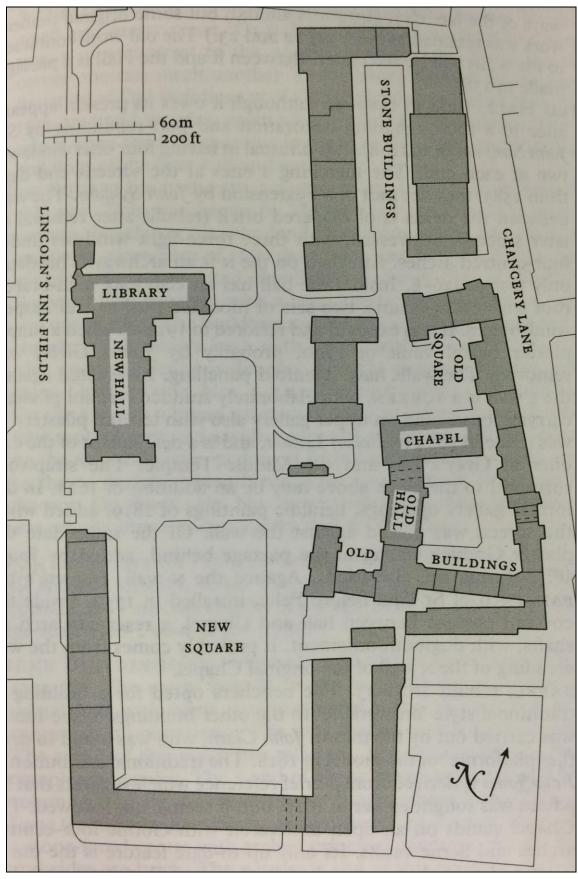


Figure 3 Lincoln's Inn plan. Source: Pevsner, 1998.

Stone Buildings

- 2.8 The terraces referred to as Stone Buildings were constructed between 1775 and 1780 to the designs of Sir Robert Taylor. The Stone Buildings were designed and constructed as chambers and to provide a new space for the library and offices for the Court of Chancery.
- The Black Books of Lincoln's Inn (Vol. 5: 1846 to 1914) states: 2.9

The Stone Buildings were the joint enterprise of the Society and the Officers of the King's Court of Chancery, with the approbation of the Lord Chancellor. Those Officers were the Six Clerks and the Sworn Clerks, and also the Registers, the Clerks of Enrolments and the Accountants General, and their deputies, whose function was to keep the records, decrees, orders and books of account relating to the business of the Court.

By an Act of 1774 provision was made for rebuilding the office of the Six Clerks and erecting offices for the Register and Accountant General, and by August of that year Sir Robert Taylor's ground plan and drawing of the elevation of the building had been approved by the Council, the Accountant General, the Registers of the Court of Chancery and the Lord Chancellor. Thomas Clarke, the Society's bricklayer, was directed to proceed with the construction of a 'basement storey' for seven sets of chambers on the garden side, beginning at the South end, but leaving space for a hall then intended to be built on the site of what is now No. 7 Stone Buildings. The sites for the offices of the Accountant General at the North end on the Chancery Lane side, and of the Registers of the Court at the South end (now numbered 11, 9 and 8) were purchase out of public funds, and the buildings were not put up by the Society. This also happened to the Office of the Six Clerks, who negotiated independently, and bought the site in the middle (now No. 10).

- 2.10 The variation in procuring the sites would explain the slight variation in external appearance. Nos. 8, 9 and 11 are yellow stock brick with stone basements and dressings, which contrast with No. 10 which has a rusticated stone ground floor, ashlar first floor and attic.
- 2.11 The Black Books of Lincoln's Inn confirms that "all the new buildings appear to have been finished before 1780 except Nos. 1 and 2". No. 7 was completed by P Hardwick in 1845 as accommodation for the Masters of the Court of the Exchequer.
- 2.12 The Building remained in use by the Accountant General and/or the Registers of the Court, until:

In 1880 the business of the offices of the Accountant General, the Registrars in Chancery, the Clerks of the Records and Writs and the Clerk of the Enrolments was transferred to the Royal Courts of Justice, and the site of those offices was vested in the Trustees of the Real Estate of the Society on December 20th, 1881.

2.13 The Pevsner (1998) guide refers to Nos.1-11 as a whole and states:

The main front is to the W, stone-faced (hence the name) and with angle pavilions emphasised by attached giant columns and pediments. The long middle part is entirely plain. The S end of

this range has pilasters. The oblong back court is completely regular. The S end of the W range again has attached columns, to make a point-de-vue for those coming from Chancery Lane through the gate facing this pavilion. The shorter E range has a stone-faced centre with arched principal windows, but the ends and sides are brick. The narrow N end of this court or close is a part of the composition of the W range; at its E end, one bay flanked by pilasters. Obviously some change of plan was made here. The S end of the W range was added by Philip Hardwick in 1842-5 to Taylor's original design.

- The design of the Building would have come late in Taylor's career, who died in 1788. Taylor is an 2.14 architect of particular note, having designed several public buildings of special architectural and historic interest, including London Bridge (1758-62); The Bank of England (1766-88); and, The Guildhall, Salisbury (1788-95, built with some alterations after death).
- 2.15 He had been appointed surveyor to the Bank of England in 1764; in March 1769 he joined the office of works, succeeding William Chambers in the post of one of the two architects of the works; in 1777 he became a member of the board of works with the title of master carpenter; in 1780 he was promoted master mason and deputy surveyor, again to Chambers; in 1788 he became surveyor to Greenwich Hospital, and he was also surveyor to Lincoln's Inn and the Foundling Hospital.

Statement of Significance

- Section 16 (for listed building consent) of the 1990 Act states that, when determining applications, the 2.16 local planning authority or the Secretary of State, 'shall have special regard to the desirability of preserving the building or its setting of any features of special architectural or historic interest which it possesses.'
- 2.17 By virtue of paragraph 128 of the National Planning Policy Framework (2012), applicants for development proposals which have an effect upon the historic environment are required to describe the significance of the identified assets so that the impact of the proposals may be understood.
- In April 2008, English Heritage published 'Conservation Principles', which sets out policies and 2.18 guidance for the sustainable management of the historic environment. The document seeks to understand the values of a place, how to assess heritage significance, and how to manage change to significant places. According to the document, the value of an asset should be assessed according to four values. These are not discrete, self-contained concepts but overlap and interact to some extent. These values have been adopted for the purpose of assessment as best practice and are:
 - Evidential
 - Historical (Illustrative and Associative)
 - Aesthetic (Design value)
 - Communal (Commemorative & Symbolic and Social)
- Stone Buildings as a whole have particular aesthetic value. The principal elevations, fronting Lincoln's 2.19 Inn Fields, form a collective grand palace addressing the green space.

- 2.20 The application Building itself forms a further composite to the north, in conjunction with Nos. 8, 9 and 10. One elevation is presented to Stone Buildings street within Lincoln's Inn and a further to Chancery Lane. The composition of each is not symmetrical as with the grand palace, although a balance is achieved by virtue of repetition of detail and, in particular, the yellow stock brick Nos, 8, 9 and 11 framing the central No.10 formed of rusticated stone and ashlar. The Building exterior itself is detailed to a high standard, including a central square-headed door to the Stone Buildings frontage with elaborate Nico lantern bracketed over and round-headed fanlight, in shallow round-headed recess.
- 2.21 The interior fixtures and fittings of the Building have been altered in some areas where changes are proposed. The plan form appears, however, to follow what may have been the Sir Robert Taylor designs, although it is noted that the original plans have not been located in the archives searched to date.
- 2.22 The Building has historic value as a notable design of a public building by Sir Robert Taylor. The classical design is an excellent example of Taylor's work, although it is noted that the original plans may have been drafted by John Leach whilst a clerk in Taylor's office, who afterwards became a student of Lincoln's Inn.
- 2.23 As a whole Stone Buildings formed an important part in the historic development of Lincoln's Inn, comprising chambers and a new space for the library and offices for the Court of Chancery. It is noted that, amongst those to use the chambers, was William Pitt the Younger, although Pitt's chambers were at No. 4.
- 2.24 The interrelationship between the buildings of Lincoln's Inn, including the application Building, provide evidential value of the development of the Inns of Court and the overarching development of the legal system within the UK.
- 2.25 In addition to the above, the Inn as a whole has communal value by virtue of the meaning of the place to its barristers and its status as an institution within the wider community.

Other Heritage Considerations

- We note that the Building is located in the Bloomsbury Conservation Area and is also within the 2.26 immediate vicinity of Nos.1-7 Stone Buildings opposite, also statutorily listed Grade I.
- 2.27 The Conservation Area was designated in 1968 by the London Borough of Camden. The Bloomsbury Conservation Area Audit and Management Strategy was adopted on the 18 April 2011 and identifies both Nos. 1-7 and 8-11 in sub-area 9: Lincoln's Inn Fields/Inns of Court/High Holborn. With reference to the Building the Audit states:

The lawyers' chamber buildings vary in date from the 16th to 20th centuries. They have relatively plain classically-influenced elevations, relieved by horizontal banding, and punctured by regular rows of sash windows and pedimented doorcases. The finest examples include the grade I listed, late 18th century Stone Buildings, and the grade I listed 15th century Old Hall and gateway and the 16th century chambers of Old Buildings which are the earliest surviving

buildings on the site. There are 19th century chambers in Old Square which adhere to a neo-Tudor architectural idiom, and the grade II* listed New Hall, which dates from the 1840s.

- 2.28 Section 66 (for planning permission when required) of the 1990 Act, when determining applications, the local planning authority or the Secretary of State, 'shall have special regard to the desirability of preserving the building or its setting of any features of special architectural or historic interest which it possesses.'
- 2.29 Section 72 (General duty as respects conservation areas in exercise of planning functions) of the 1990 Act requires that, in the exercise of all planning functions, special attention be paid to the desirability of preserving or enhancing the character or appearance of the area.
- 2.30 The statutory requirements set out above have been considered where proposing changes which affect the external appearance of the Building.

PLANNING HISTORY 3.0

 Table 1 provides a summary of the planning history for the Building. Montagu Evans have collected and reviewed all planning applications listed on the Council website and stored at the Council archive.

 3.1

		Planning History	
Application Ref	Date of application	Description	Permission
1408	16/01/1968	Drainage Plans	Granted 26/02/1968
1681	19/08/1968	Drainage Plans	Granted 30/09/1968
HB/2790/R1	n/a	Internal works of alteration to comply with the fire Precaution Act 1971 including works to doors and interior fan lights. as described in the schedule to the application dated January 1982, reference 80/4217, and amended by letter dated 15th February 1982.	Granted 30/03/1982
P14/43/1/2812	n/a	The retention of a partition in the northern most 1st floor room facing Stone Buildings.	Granted 09/07/1982
9070197	n/a	Internal alterations to fanlight doors and fireplaces as shown on drawing number 509/14 18 and 19.	Granted 07/11/1990
9070205	n/a	The formation of door openings and works of refurbishment as shown on drawing numbers 509/20C 509/15C 509/20D	Granted 19/04/1991
9200482 / 9270093	n/a	Refurbishment and works of conversion of basement to form barristers` chambers as shown on drawing numbers 509/100A 509/105 509/106 509/107A 509/108 509/109 and 509/112.	Granted 27/08/1992
9270082	n/a	Internal refurbishment of second floor including removal of later bath shower kitchen additions and partitions and making good as shown on drawing numbers 509/111 (Proposal) and 509/114 (Survey) and photographic sheets numbered 34 - 45 (inclusive).	Granted 18/06/1992
9070198 9000539	n/a	Change of use from residential flats to Barristers Chambers at 9 Old Square (second floor south wing) and 11 Stone Buildings (second floor north and south) and change of use from barristers chambers to 5 residential flats at 1 Old Buildings. as shown on drawing numbers 89/5581-5/1 & 2A and 3 x sketch plans numbered 68/438/R.	Granted 05/06/1991
LS9804275		Approval of details of windows, new window joinery, and window heads pursuant to additional condition (iv) of planning permission/listed building consent (Reg No.PL9200482 & HB/9270093), as directed by the secretary of state dated 7th June 1993 (DOE ref LRP270/ X5210/037 & LRP219/X5210/026), as shown by drawing numbers 509/105 Rev E, 108 Rev E, 109 Rev E, 112 Rev A, 151 Rev F and 509/218.	Granted 05/06/1998
2003/3523/P 2003/3538/L		Extension at roof level to provide additional office accommodation between external roof slopes and introduction of roof lights to west and east elevations [revision to previously planning permission ref. PSX0204557 allowed on appeal on 11 November 2003 relating to roof pitch at northern end of the building]	Granted 11/02/2004
2005/5269/P 2005/5270/L		The erection of a lift overrun above roof level as an amendment to planning permission reference 2003/3523/P, dated 11/02/2004 for a roof extension.	Granted 03/03/2006
2015/0005/P 2015/0175/L		External installation of high level access equipment and external repairs and decorations to Grade I listed buildings.	Granted 19/05/2015

Table 1 11 Stone Buildings: Planning Histo

POLICY CONTEXT 4.0

4.1 At Section 2.0 we identified the relevant legislative framework within which the forthcoming application must be determined. This comprised sections 16, 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Development Plan

4.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 stipulates that where in making any determination under the Planning Acts, regard is to be had to the development plan, and the determination must be made in accordance with that plan unless material considerations indicate otherwise. Relevant policy of the statutory development plan is identified for this assessment as follows:

London Plan: Consolidated with Alterations since 2011 (2015)

- 4.3 Policy 5.2: Minimising Carbon Dioxide Emissions states "development proposals should make the fullest contribution to minimising carbon dioxide emissions". In conjunction, Policy 5.3: Sustainable Design and Construction states "development proposals should demonstrate that sustainable design standards are integral to the proposal".
- 4.4 Policy 7.8: Heritage Assets and Archaeology states "development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail".

Camden Core Strategy (2010)

- 4.5 Policy CS13 sets out the Council's broad policies in terms of tackling climate change. The policy states that the Council will require all development to take measures to minimise the effects of, and adapt to, climate change and encourage all development to meet the highest feasible environmental standards that are financially viable during construction and occupation.
- 4.6 **Policy CS14** relates to the conservation of heritage in the borough. The policy states that Camden, inter alia, will:
 - "Require development of the highest standard of design that respects local context and character: and
 - preserve and enhance Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens...
 - seek the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible"

Camden Development Policies (2010)

- 4.7 Policy DP22: Promoting Sustainable Design and Construction seeks sustainable development measures and should be read in conjunction with Policy CS13 of the Core Strategy.
- 4.8 Policy DP24: Securing High Quality Design requires all development to consider:

a) character, setting, context and the form and scale of neighbouring buildings; b) the character and proportions of the existing building, where alterations and extensions are proposed:

c) the quality of materials to be used;

d) the provision of visually interesting frontages at street level; e) the appropriate location for building services equipment; f) existing natural features, such as topography and trees; g) the provision of appropriate hard and soft landscaping including boundary treatments; h) the provision of appropriate amenity space; and i) accessibility.

- 4.9 Policy DP25: Conserving Camden's Heritage states the Council will "only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the building". In accordance with Section 66 and 72 of the Act, the proposals will also need to consider the impact on the Conservation Area and the setting of nearby listed buildings.
- 4.10 Pursuant to the proposals, which include the provision of plant at roof level, **Policy DP26**: Managing the Impact of Development on Occupiers and Neighbours should be read in conjunction with policy DP28 below.
- Policy DP28: Noise and Vibration states that "the Council will only grant permission for plant or 4.11 machinery if it can be operated without cause harm to amenity and does not exceed our noise thresholds"

National Policy

National Planning Policy Framework (2012)

National Planning Practise Guidance (online)

Supplementary Planning Guidance

Camden Planning Guidance 1: Design (2014)

Camden Planning Guidance 3: Sustainability (2013)

Camden Planning Guidance 6: Amenity (2011)

PROPOSED DEVELOPMENT 5.0

- 5.1 Two pairs of applications for planning permission and listed building consent are submitted, comprising:
 - 1. Full planning permission and listed building consent for:

Installation of external plant and internal works in association with continued office use, including installation of secondary glazing and AC units

2. Full planning permission and listed building consent for:

Installation of lift and associated works

5.2 The works proposed under each application are discussed below.

> Application 1 - Installation of external plant and internal works, including installation of secondary glazing and AC units

External Plant

- It is proposed to install plant at roof level. 5.3
- The plant will be located between an existing roof access shaft and the main body of the building to the 5.4 south, aiding to conceal the plant from view (Figure 4). The plant is proposed to sit below the ridge line of the roof valley, which will conceal it from view at ground level and, in part, from the upper levels of surrounding development.
- No noise attenuation is required, as set out within the Acoustic Report that accompanies Application 1. 5.5
- It is noted that applications 2003/3523/P and 2003/3538/L incorporated a third floor extension, formed 5.6 by infilling the existing roof valley. The extension concealed the external plant; the principle of changes to the servicing to the building has been previously accepted by the Council.



Figure 4 Roof valley, proposed location of plant.

Installation of Internal AC Units

- It is proposed to install AC units in the window bays across all floors. The new units are proposed to 5.7 replace existing radiators (Figure 5). The affected locations are shown on the submitted drawings.
- The plant units would sit beneath the window sill and would be encased by a traditionally designed 5.8 enclosure which would be removable e.g. considered a fitting. The enclosure on its own would not require planning permission or listed building consent.
- 5.9 The installation of the plant would require listed building consent. The enclosures mitigate the visual impact of the plant and provide a demonstrable improvement over the existing condition where the radiators are fully visible.
- 5.10 The new internal units will require appropriate service runs. Where possible, existing service runs are utilised. Drawings accompanying the application show the location of the service runs.
- 5.11 The vertical service risers serving the southern end of the building are located within a service riser located within the existing lightwell at the southern end of the building at second and first floor level. At ground floor level, the service riser is located in space currently occupied by a WC, and at basement level within space occupied by a store room. The store room and WC are in place of a stair that has now been removed and the floor level infilled. Other vertical service runs are located within existing cupboard space and will not therefore impact upon the spaces within which they are located.
- 5.12 Therefore, the service risers have minimal impact on any important historic fabric within the building. It should be noted that with the implementation of the lift, applied for separately, the service risers will be located within the lift shaft to be created.
- 5.13 Horizontal service runs will be located wherever possible within existing service runs (e.g. those serving existing radiators). New service runs are located within floor voids between joists as shown on the section drawings submitted with the application. The need to alter existing fabric to accommodate service runs has been minimised.



Figure 5 Typical radiator to be replaced

Secondary glazing

- 5.14 It is also proposed as part of Application 1 to install a second skin of glazing on the inner face of the existing sash windows on the north-east face of the property to improve the thermal and acoustic properties of the Building.
- 5.15 Currently there is an existing secondary glazing to each window at first floor, comprising a timber framed casement window. The central vertical frame of each window visually dissects the middle glazing panes of the 6-over-6 sash windows. These are to be retained on the advice of the Council following pre-application discussions.
- 5.16 There are some isolated aluminium secondary glazing throughout the building which is to be remove and replaced with secondary glazing. Windows facing Chancery Lane which do not currently have secondary glazing will have secondary glazing installed.
- 5.17 The secondary glazing installed is a slim aluminium system clad in hardwood beading. The meeting rail of the proposed secondary glazing sits behind the meeting rail of the sash window.
- 5.18 Secondary glazing is advocated in historic buildings for reducing heat loss and U-values, subject to extent of intervention and detailed design.

Other Internal and Minor External Works

- 5.19 The proposals also incorporate the reconfiguration of ground floor existing partitions to regularise the floor plan to the northern part of the building. This involves, for example, the removal of the UPVC partitions currently dividing the corridor running perpendicular to the entrance hall (Error! Reference source not found.7).
- 5.20 Modern fixtures such as shelves, kitchen units etc, that are of no historic interest are also to be removed.
- Externally, the existing vault doors at lower ground floor are to be replaced with painted black steel 5.21 doors for security reasons. At roof level, chimney stacks will be repointed with lime mortar. Existing roof slates will be removed and refitted and finished where necessary with new Welsh slate in order to improve the thermal efficiency of the building.



Figure 6 Existing secondary glazing



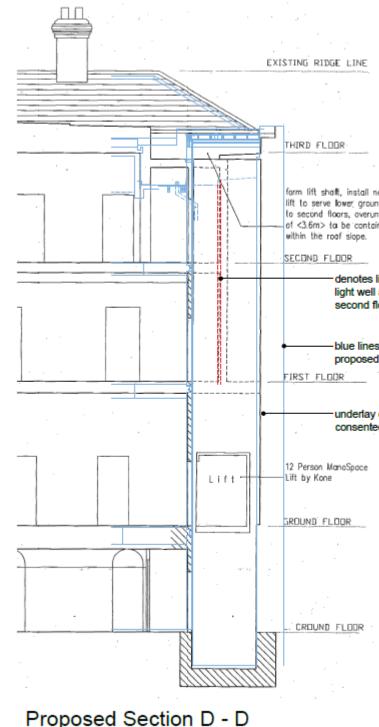
Figure 7 0 Existing uPVC partitions to be removed

Application 2 - Installation of lift

- 5.22 It is proposed to install a lift running through basement to second floor at the southern end of the building (Figure 7).
- 5.23 An identical lift was consented in the same location under applications 2003/3523/P and 2003/3538/L. Those proposals also incorporated the construction of a third floor, incorporated by infilling the existing roof valley. The construction of a third floor is omitted from this application.
- 5.24 The applications were later amended to include the erection of a lift overrun above the existing roof level under applications 2005/5269/P and 2005/5270/L. This was to facilitate lift access to the newly consented third floor. The overrun was to be concealed within a new faux chimney stack.
- The proposed lift overrun for this application may be contained within the building envelope (save for a 5.25 modest raising of the later section of flat roof at the southern end of the building) and will not require invasive works to any important existing roof fabric.
- The extant lift consent is capable of implementation. Figure 9 shows and overlay of the consented lift 5.26 and the proposed lift.
- 5.27 The current proposals incorporate the knocking through of existing closets and forming of new openings to adjacent rooms on the northern side of the corridor to facilitate maintenance access. Where possible, these openings utilise existing cupboard space (by removing the rear of the cupboard), or re-open areas that have already been infilled in the past (and therefore affect areas of disturbed fabric) The new openings would be discrete and will be used for maintenance access.



Figure 7 Cavity forming part of proposed lift installation area



(with previous consented scheme LSX0204559/R2 overlay)

Figure 9 – Overlay of already permitted lift (capable of implementation) and currently proposed lift.

11 STONE BUILDINGS, LINCOLN'S INN, WC2A 3TG PLANNING AND DESIGN AND ACCESS STATEMENT

form lift shaft, install new lift to serve lower ground of <3.6m> to be contained

denotes line of existing light well at first and second floor

blue lines denote current proposed scheme

underlay denoting previous consented scheme

ASSESSMENT OF APPLICATION 6.0

- 6.1 The proposals set out changes that are considered a necessary step for the Applicant to ensure the sustainable use of the Building and, in turn, aiding the long-term conservation of the asset. They improve the functionality and performance of the Building and will ensure it is fit for purpose for prospective tenants seeking to rent the property from the Applicant for office use towards the end of 2016.
- 6.2 The proposals develop upon previous consents for the Building, notably applications 2003/3523/P and 2005/5269/P, and their associated listed building consents.
- 6.3 The current proposals incorporate beneficial works such as the removal and replacement of existing wet radiators, together with the rationalising of the existing secondary glazing.
- Taken as a whole, we consider the proposals satisfy the statutory requirements set out in sections 16, 6.4 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990. They also meet the relevant development plan policies in accordance with section 38(6) of the Planning and Compulsory Purchase Act 2004.

The Proposed Lift

- In terms of the lift, it is highly material that the Council has permitted a near identical proposal in the 6.5 past.
- 6.6 On 30th September 2002 the Council approved listed building consent application LSX0204559/R2 for:

"Internal alterations including the installation of new lift and staircase"

6.7 The application was determined in isolation, having been decoupled from a larger application for planning permission (PSX0105098) and listed building consent (LSX0105099), comprising:

"Extension at roof level to provide additional office accommodation and the introduction of an internal passenger lift"

- The larger application was refused by the Council. The reason for refusal related only to the infill of the 6.8 M- shaped roof form. The Council did not contest the proposals to install a lift.
- The larger application was later revised (PSX0204557 and LSX0204558). The application was refused 6.9 by the Council, but an appeal of the decision was upheld by the Planning Inspectorate in September 2003 (APP/X5210/E/03/1108097 and APP/X5210/A/03/1108096). The appeal application was for

"The creation of office space between external roof slopes, the extension of the internal staircase and the introduction of conservation roof lights to the west and east elevations"

6.10 The appeal decision was upheld by the Secretary of State in a letter dated 30th November 2003. In clarifying the appeal proposals, paragraph 1 of the Planning Inspectorate appeal decision states:

Internal works to the appeal building, including the installation of a lift and alterations to the staircase within the present building envelope, have now been granted listed building consent. They are being implemented as part of a general refurbishment of the building.

- The approved drawings for application LSX0204559/R2 are enclosed at Appendix 2. The following 6.11 items contained within application reference LSX0204559 have been implemented:
 - Lower Ground Floor
 - Removal of steel staircase in 'Area 1'
 - Removal of glass partition in 'Area 1' 0
 - Installation of stairs in 'Area 2'
 - Ground Floor
 - Removal of steel staircase in 'Area 1'
 - Installation of stairs in 'Area 2'
 - Second Floor
 - Infill of window in 'Area 1'
 - Installation of stairs in 'Area 2'
- 6.12 Notwithstanding the implementation of the 2002 consent, we consider the current proposals for a lift are very similar, almost identical, to those consented and not contested by the Council in 2002. An overlay of the 2002 consent and the current proposals shows no additional fabric lost and no difference to partition walls and the circulation sequence (Appendix 3).
- 6.13 The permitted scheme in 2002 included a greater degree of change that is now proposed (i.e. it also allowed the addition of a third storey to the building, which is no longer proposed). There is no material change in circumstances that should lead to the Council coming to a different view regarding the acceptability of the lift.
- Subsequent to submitting our pre-application package, further design development has also negated 6.14 the requirement for a toilet in the north end of the ground floor corridor. This area will remain in use as an office, and the view through to the end window retained.
- 6.15 In addition, the riser service hatch has been relocated from the west side of the lift to the east to utilise the existing openings in this location at each floor.
- We discuss below the proposals for the lift relative to each floor level, to facilitate the assessment of 6.16 the effect of the lift.
 - Lower Ground Floor
 - steel staircase evident on 2002 plans has been removed previously a void and currently existing floor structure not original
 - current proposed riser service hatch may be formed from existing opening on east side of corridor
 - 0 original
 - 0 side of corridor
 - First Floor
 - current proposed riser service hatch may be formed by moving existing opening on east side of corridor, which has previous consent for removal

11 STONE BUILDINGS, LINCOLN'S INN, WC2A 3TG PLANNING AND DESIGN AND ACCESS STATEMENT

Ground Floor steel staircase removed - previously a void and existing floor structure not

current proposed riser service hatch may be formed by moving existing opening on east

- Second Floor
 - o current proposed riser service hatch may be formed by reopening window infilled as part of the 2002 consent
 - Listed building consent 9270082, granted 18/06/1992 demonstrates that the plan form of the corridor was previously partitioned following the conversion from residential to office accommodation in June 1991 (9070198 and 9000539).
- 6.17 The lift overrun is incorporated within the existing prevailing roof height, created by a modest raising of a 'sunken' area at the northern end of the building.
- 6.18 On the basis of the above, any harm arising to the significance of the building is minimal, and certainly less than substantial. Every effort has been made with the design of the lift to minimise the effect on historic fabric. Similarly, the lift is positioned in a location that minimises the effect of the lift on the plan form of the building, and where it has previously been altered in the past. Where possible, service hatches utilise areas which have already been disturbed (e.g. infilled windows or wall cupboards), and where new servicing openings are required, these are discreet.
- 6.19 The proposals are necessary to make the building fit-for-purpose for new tenants. Taken as a whole across the two applications, the proposals upgrade the building's fabric and environmental performance and increase its attractiveness to potential tenants. The proposals help achieve a viable use that is likely to lead to the investment in their maintenance necessary for their long-term conservation. That use is consistent with the history of the building and its association as barrister chambers. Securing a tenant for this vacant building represents a public benefit that should be accorded weight in the determination of this application.
- 6.20 We emphasise again the materiality of the extant consent. A near identical lift has been approved in 2002 and this consent has been implemented. Therefore the lift shown on the extant consent could be installed at any time. This is the fallback position and is a significant material consideration in the determination of the application.

Secondary Glazing

- 6.21 Existing aluminium secondary glazing is to be removed and replaced with aluminium secondary glazing with hardwood beading. The appearance of the secondary glazing will therefore be enhanced and will improve the appearance of the rooms where secondary glazing is replaced.
- 6.22 The secondary glazing has been designed to be as unobtrusive as possible. The meeting rail will align with the sash meeting rail. The glazing is slim line and sits entirely within the window reveal, without impacting upon the existing architrave or other existing features.
- 6.23 The installation of secondary glazing to windows facing Chancery Lane will reduce noise ingress and improve the environmental performance of the rooms in which it is to be installed.
- 6.24 Retrofitting Planning Guidance (2011) is non-statutory guidance prepared by the London Borough of Camden. The document states installation of double glazing to "original/historic parts of a building [are] unlikely to be acceptable due to impact on appearance and fabric of the building". In addition, "secondary glazing is generally acceptable where it does not damage original window or shutters, if present and does not conflict with existing glazing patterns".

The proposed secondary glazing accords with this guidance and can be installed without harming the 6.25 significance of the Building.

External Plant

- 6.26 The proposals include provision for the installation of rooftop plant to service the Building's interior. This is located on the roof within the valley between the two roof pitches. The plant is positioned so that it sits below the ridge height of the roof pitches, and cannot be seen from street level or lower floor levels. The plant would be visible only glimpsed from some high level views from adjoining buildings.
- 6.27 The rooftop plant can therefore be accommodated without harming the significance of the building. There is no material adverse effect on the Conservation Area.
- 6.28 The Acoustic Report that accompanies this application demonstrates that no noise attenuation is required. Therefore, expansive attenuation structures are not required, and the amenity of neighbouring buildings will not be harmed.

Internal Plant

- 6.29 The internal AC units in each case replace existing radiators. The internal units have been designed to sit within traditionally designed radiator enclosures which will enhance the appearance of the rooms compared to the existing situation. The positioning of the plant and enclosures has taken care not to affect the existing window architraves or other decorative features and in each case sits within the window reveal. The internal heating/cooling units are therefore unobtrusive and do not harm the significance of any of the rooms' interiors.
- 6.30 In terms of servicing, where possible, the services will follow existing service runs. Vertical service risers are located within existing cupboard space, or where they serve the northern end of the building, within the space that will form the lift shaft. Horizontal service runs are located within voids within the floor wherever possible, utilising existing service runs. Where possible, runs are parallel to joists to minimise intervention in historic fabric.
- The plant proposed at basement level in No 76 (which is not listed) is shown because it is connected to 6.31 the wider system, but the internal works in this location require neither planning permission nor listed building consent.
- The renewed servicing to the building provides a much needed modernisation of the building to make it 6.32 suitable for an incoming tenant and to ensure its longer term occupation.

Other Miscellaneous alterations

6.33 A number of other miscellaneous alterations are proposed the building. These involve the removal of later additions to the building such as shelves, storage and a mezzanine, later partitions and stair at ground floor. The removal of these later accretions are in the main beneficial to the building by allowing a clearer understanding of the plan form, and the removal of non-original features.

- 6.34 Where necessary, works of making good will match surrounding existing features in terms of materials and appearance.
- 6.35 Externally, the proposals include the repointing of the chimney stacks and the refitting of existing slate roof (with replacements in Welsh slate where necessary). These are enhancements to the building.

Conclusion and Summary

- 6.36 The two pairs of application proposals together provide for the sensitive refurbishment of the currently vacant building. A new occupier will ensure continued investment in the building and therefore its continued preservation. The alterations themselves improve the attractiveness of the building to a future occupier by improving the environmental and acoustic performance of the building and by updating the existing aged services. The scope of works also includes items of generally beneficial refurbishment such as refitting the tiled roof, repointing the chimney stacks and the removal of superfluous modern fixtures and fittings throughout the Building.
- 6.37 The new and replacement secondary glazing has been carefully designed to respect existing historic detailing. Similarly, the replacement internal plant has been sensitively designed and is an improvement over the appearance of the existing services. Great care has been taken over the location of vertical and horizontal service runs within the building to utilise existing service runs, or to locate them in non-sensitive locations to minimise intervention in historic fabric.
- 6.38 The external plant is located so that it is invisible from the street and could be observed only from a very few high level positions. The Acoustic Report submitted demonstrates that there will be no amenity issues arising from the installation of the plant.
- 6.39 The proposed lift is identical to one permitted by the Council in 2002. That consent was implemented and could be completed at any time. Therefore this is a material consideration of considerable weight in the assessment of the proposals. Notwithstanding this, the lift has been located in a position that minimises the effect of the lift on the plan form of the building – at basement and lower ground floor the lift is positioned within areas that are currently a store room and WC. At upper levels, the lift makes use of an existing lightwell. The areas in question have been altered in the past and so the positon of the lift minimises the effect on historic fabric.
- The extant and implementable consent is a material consideration of significant weight. The extant 6.40 consent could be completed at any time. The principle of a near identical lift has been allowed by the Council and there is no change in circumstances that would suggest that a different conclusion should now be reached.
- 6.41 Notwithstanding that, if there is a perception of harm arising from the lift, this must be low and certainly less than substantial given its position and scope of fabric affected. The package of proposals as a whole represent an enhancement to the building and will ensure its renewed occupation and therefore preservation and longevity resulting from continued investment. The benefits to the building arising from its renewed occupation and sensitive refurbishment outweigh any perceived harm arising from the installation of the lift.

Appendix 1 Nos. 8-11 Stone Buildings (Grade I) list description



NUMBERS 8-11 AND ATTACHED RAILINGS AND GATES

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: NUMBERS 8-11 AND ATTACHED RAILINGS AND GATES

List entry Number: 1379319

Location

NUMBERS 8-11 AND ATTACHED RAILINGS AND GATES, 8-11, STONE BUILDINGS

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: I

Date first listed: 24-Oct-1951

Date of most recent amendment: Not applicable to this List entry.

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 478697

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ3081NE LINCOLN'S INN 798-1/101/1028 (North side) 24/10/51 Nos.8-11 (consec) Stone Buildings & attached railings & gates

GV I

Terraced chambers and Inns of Court Territorial HQ (No.10). 1775-1780. By Sir Robert Taylor. No.10, rusticated stone ground floor, ashlar 1st floor & attic. Nos 8, 9 & 11, yellow stock brick with stone basements and dressings. EXTERIOR: No.10: 2 storeys, basement and attic. 7 windows. Round-headed NUMBERS 8-11 AND ATTACHED BAILINGS AND GATES - 137 ws to ground this distinguished by the second states of the second sec ground floor being in shallow round-headed ashlar recesses. Recessed rectangular attic windows, horizontally pivoted. Plain impost bands to ground floor windows, plain band at 1st floor level and fluted springing bands to 1st floor windows which are flanked by shallow niches. Dentil cornice and blocking course. No.11: flanking No.10 to the left. 3 storeys and basement. 7 windows. Square-headed door with elaborate Nico lantern bracketed over and round-headed fanlight, in shallow round-headed recess. Gauged flat arches to recessed sash windows, those on the ground floor in shallow round-headed recesses with plain impost bands. Plain stone band at 2nd floor level. Stone mutule cornice and blocking course. No.9: flanking No.10 to the right. 3 storeys and basement. 7 windows. Similar to No.11 but the entrance door has a pilastered and pedimented case under a plain stone band with fanlight over. No.8: formed by a 1-window projection to No.9 with a right-hand return of 5 windows. Similar to Nos 9 & 11. East elevation to Chantry Lane is similar in character. Nos 8, 9 and 11 with good, original lead rainwater pipes and heads with lion masks and dated 1775. INTERIORS: not inspected. SUBSIDIARY FEATURES: cast-iron railings in front of Nos 9 and 11. Cast-iron railings with torch flambe finials along Chancery Lane frontage with cast-iron entrance gates at south end dating to 1845. No.10 was listed on 14/05/74.

Listing NGR: TQ3098781531

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 30987 81531

Мар

NUMBERS 8-11 AND ATTACHED RAILINGS AND GATES - 137...

https://historicengland.org.uk/listing/the-list/list-entry/1379319



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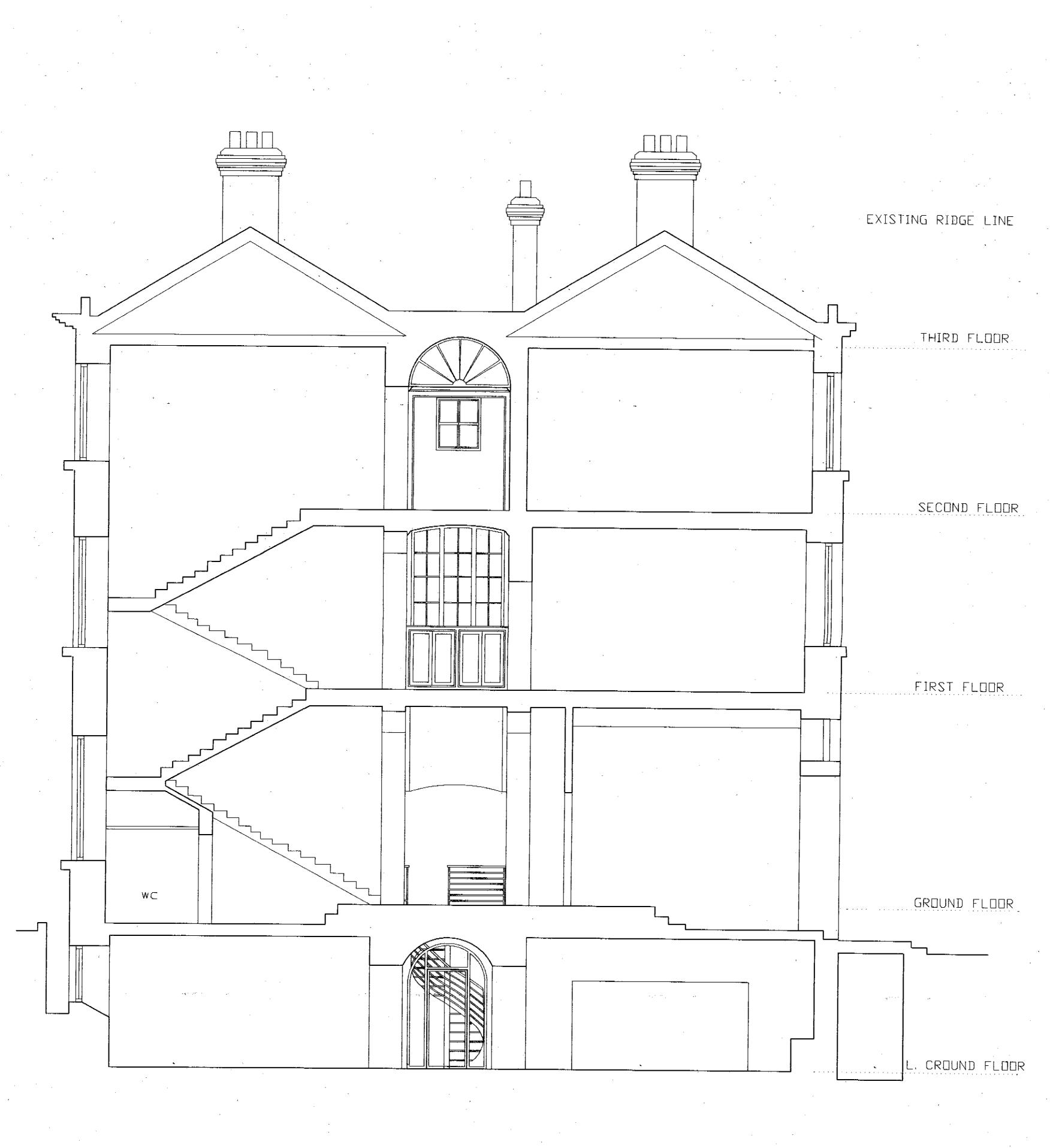
> The above map is for quick reference purposes only and may not be to scale. For a copy of the full scale map, please see the attached PDF - <u>1379319.pdf</u> (<u>http://mapservices.HistoricEngland.org.uk/printwebservicehle</u> /StatutoryPrint.svc/402315/HLE_A4L_Grade|HLE_A3L_Grade.pdf)

> The PDF will be generated from our live systems and may take a few minutes to download depending on how busy our servers are. We apologise for this delay.

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End of official listing

Appendix 2 Approved Drawings for LSX0204559/R2



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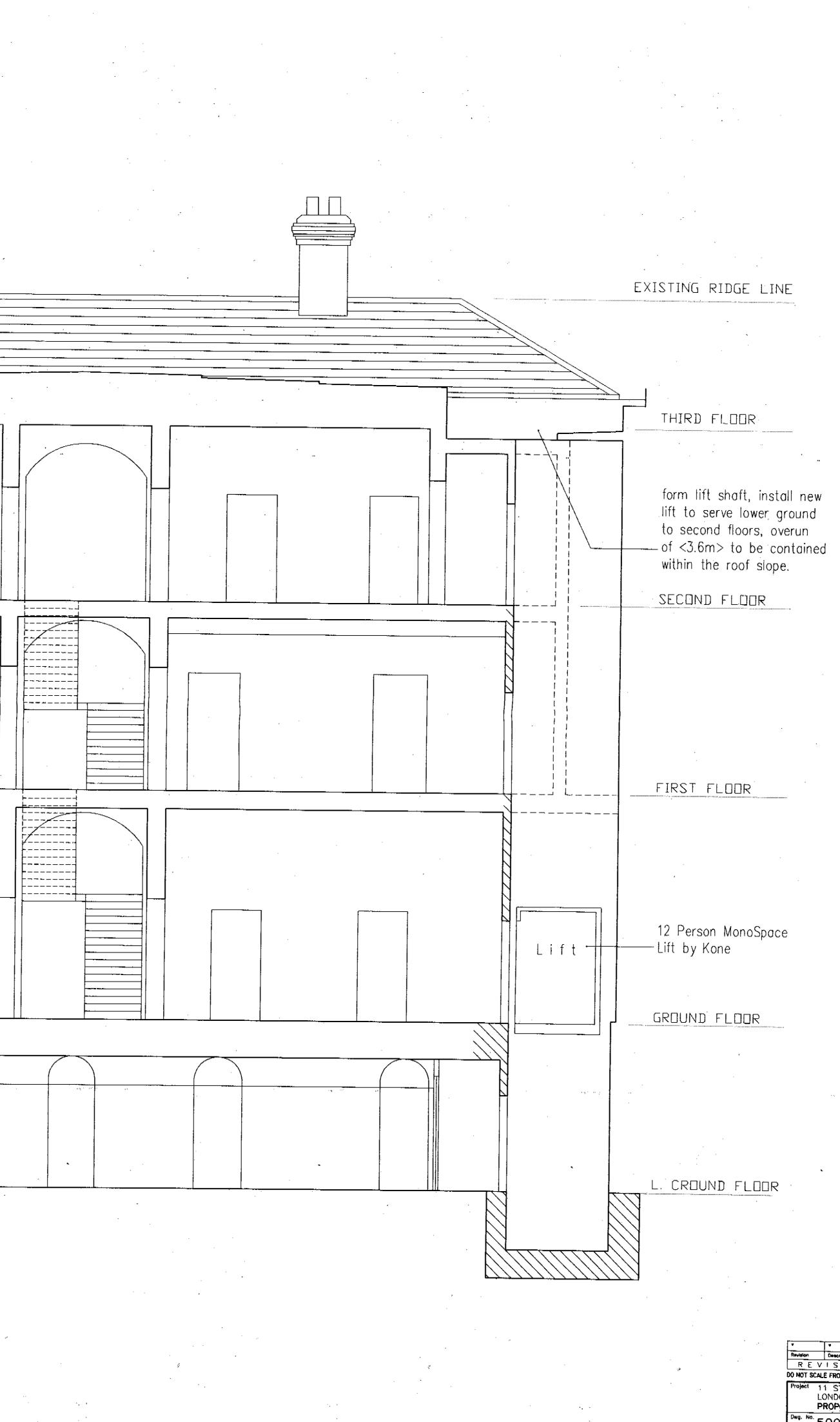
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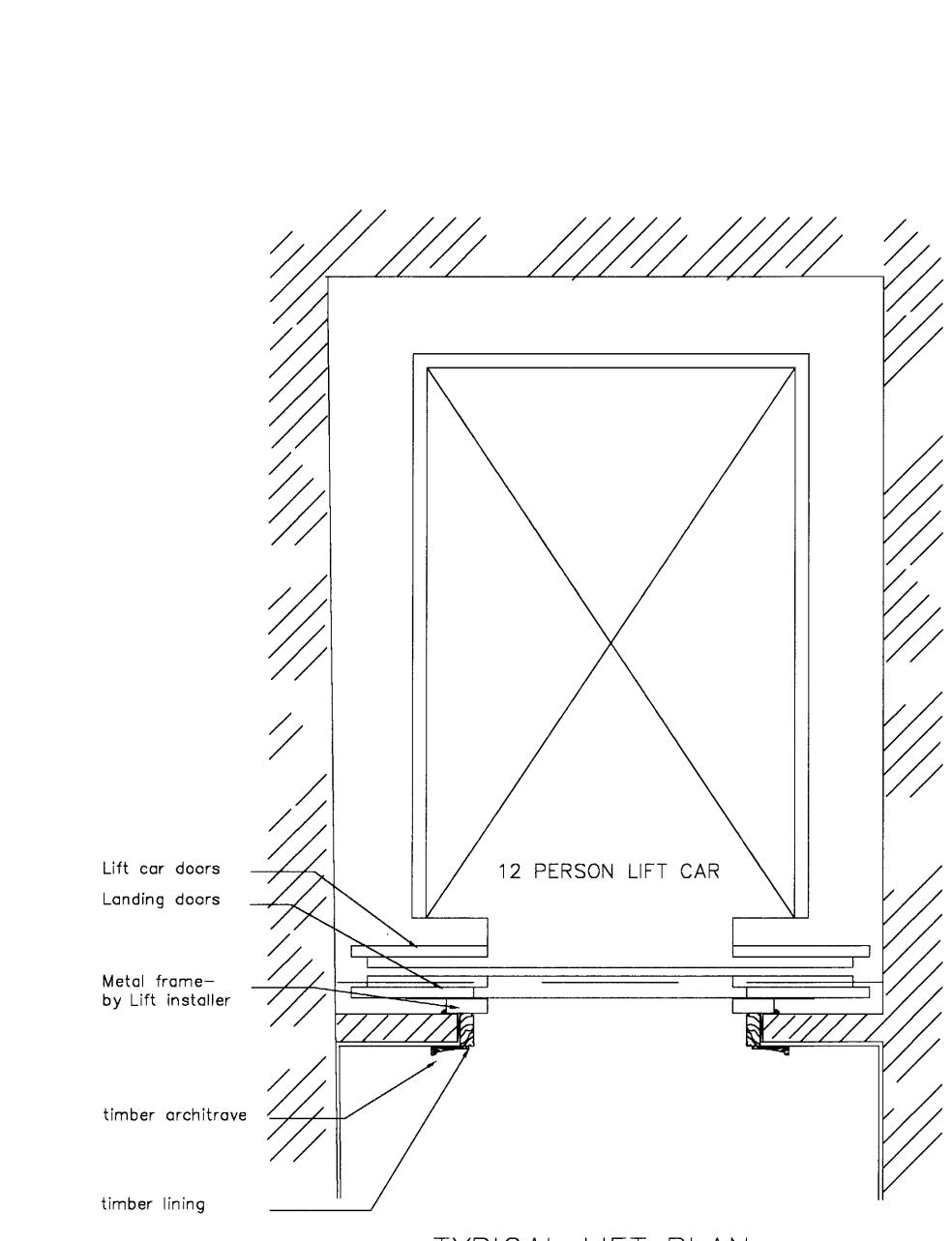
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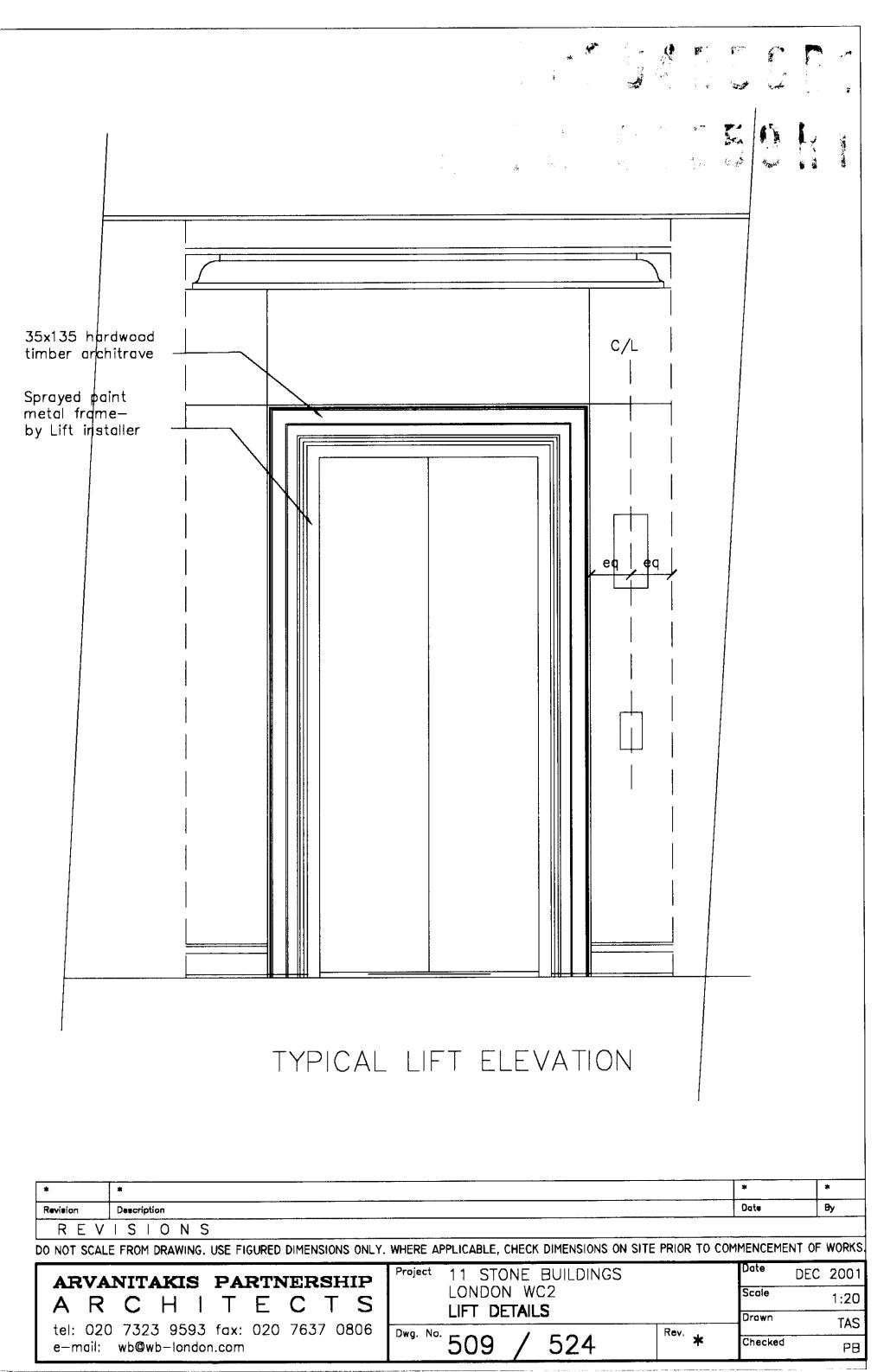
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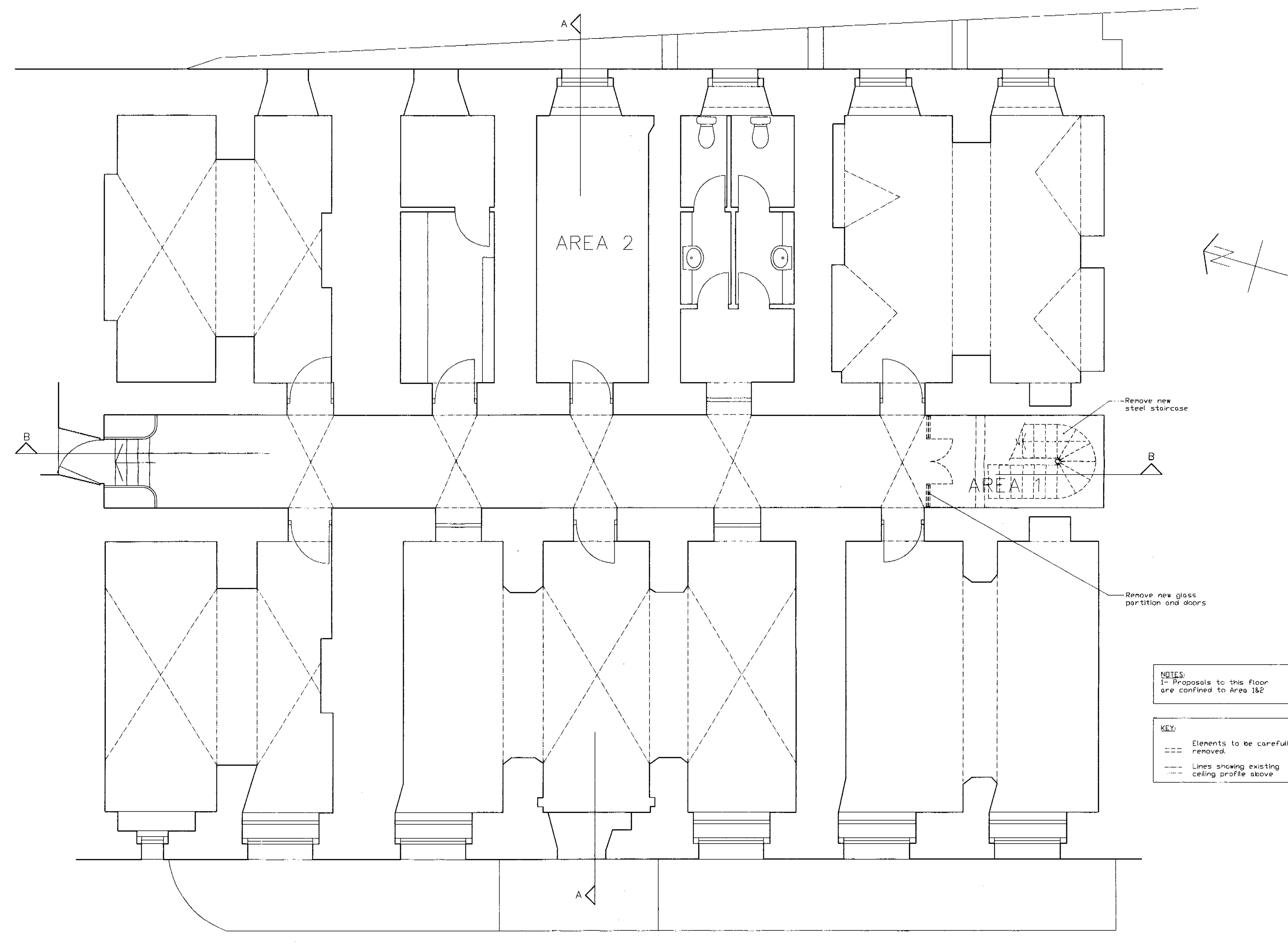
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TYPICAL LIFT PLAN





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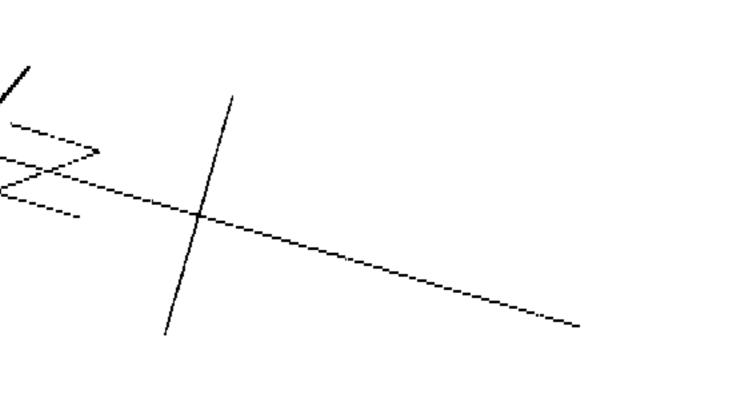
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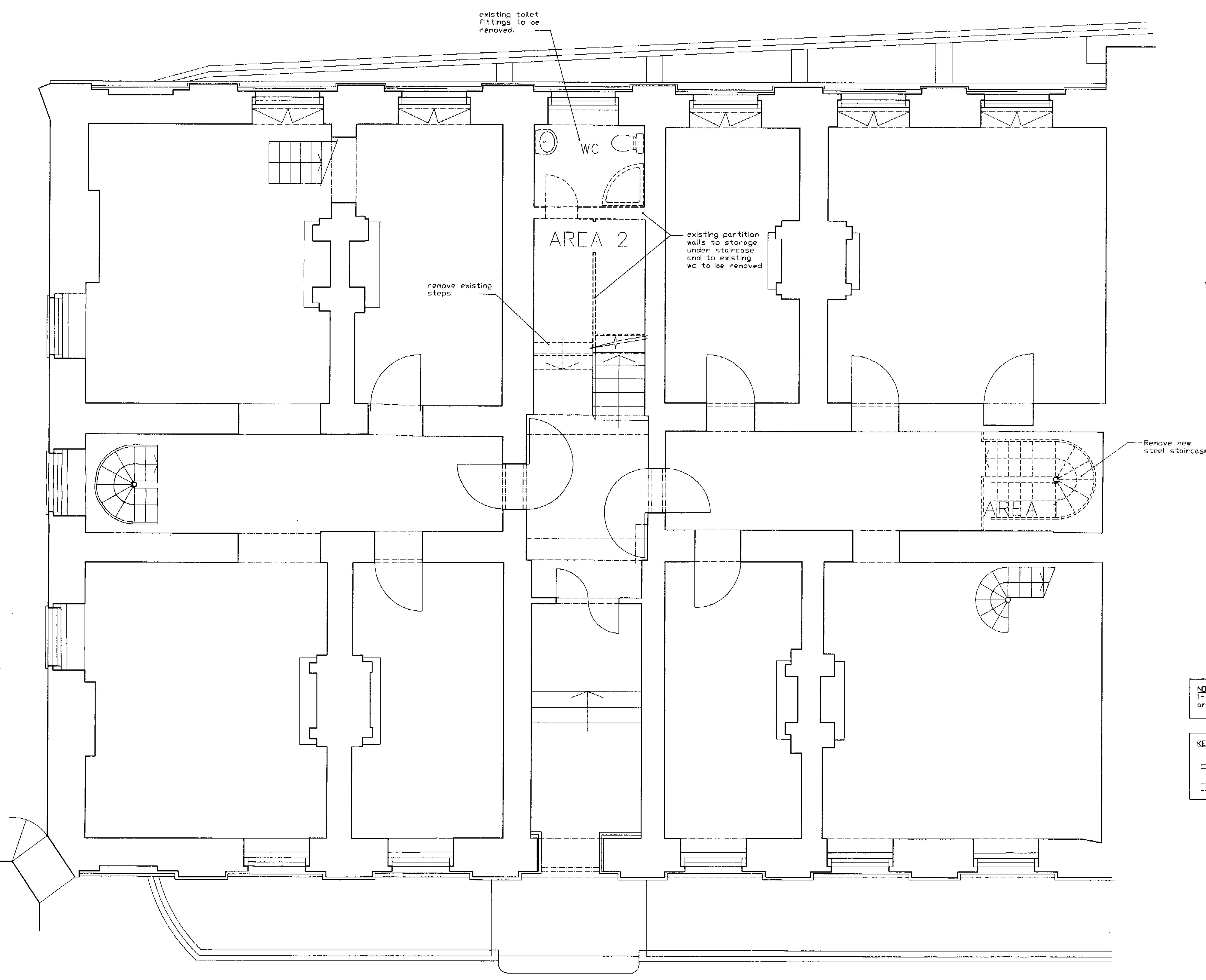
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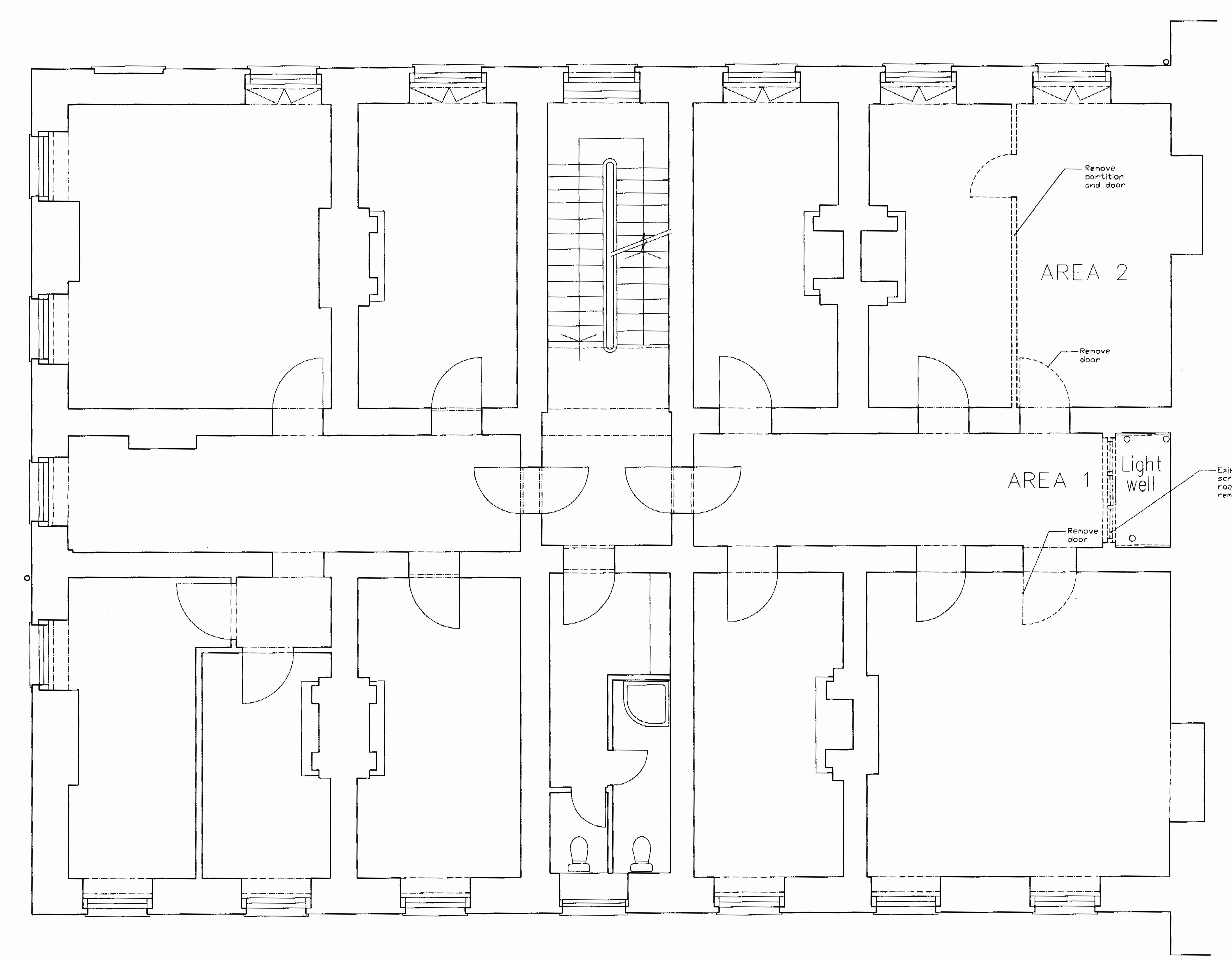
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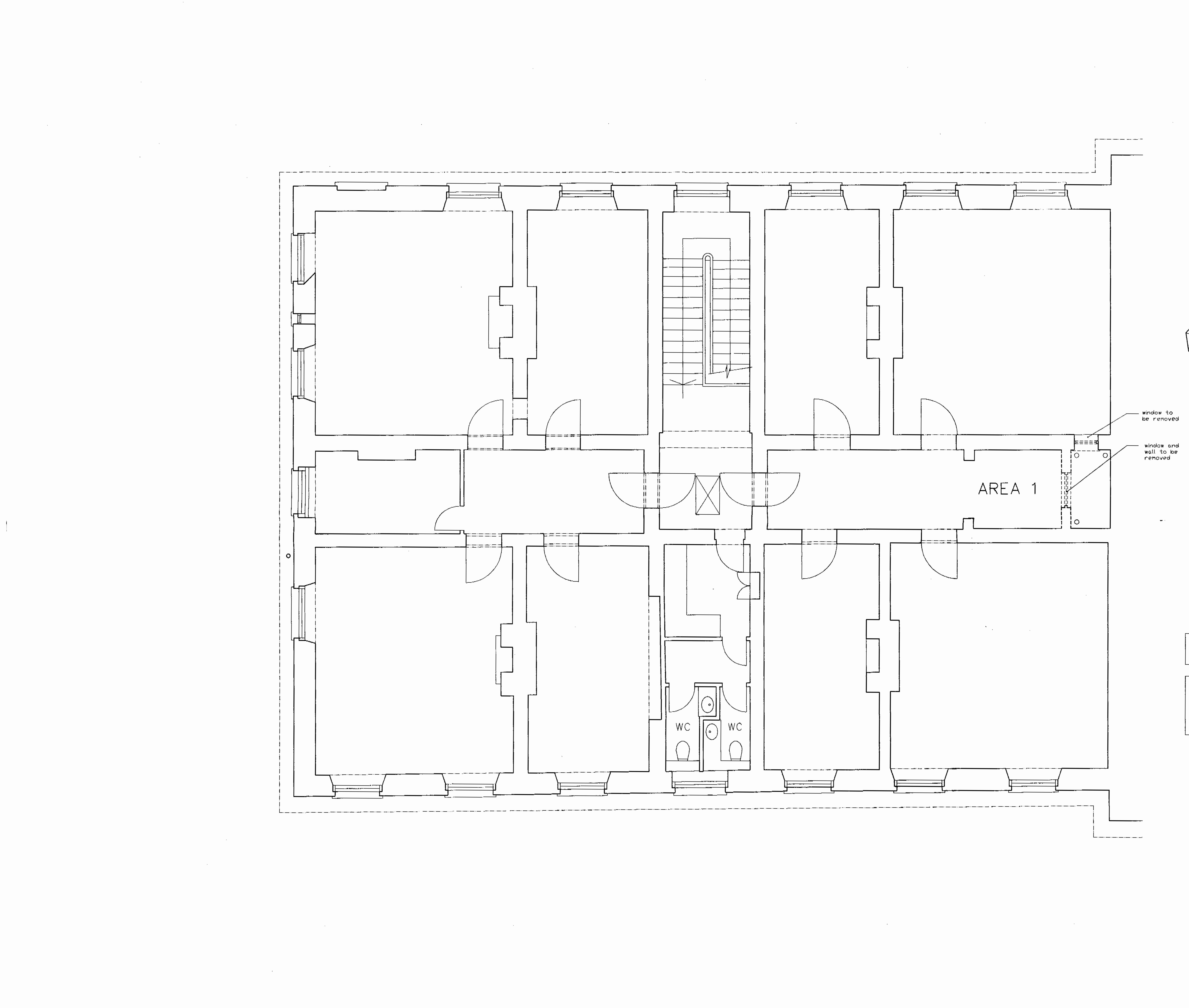
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OUTLINE SCHEDULE OF WORKS

<u>AREA 1</u>

— Remove new steel staircase and glass screen and door

 Form lift shaft to recieve lift car

Installation of 12 person/ weelchair lift by KONE lifts

<u>AREA 2</u>

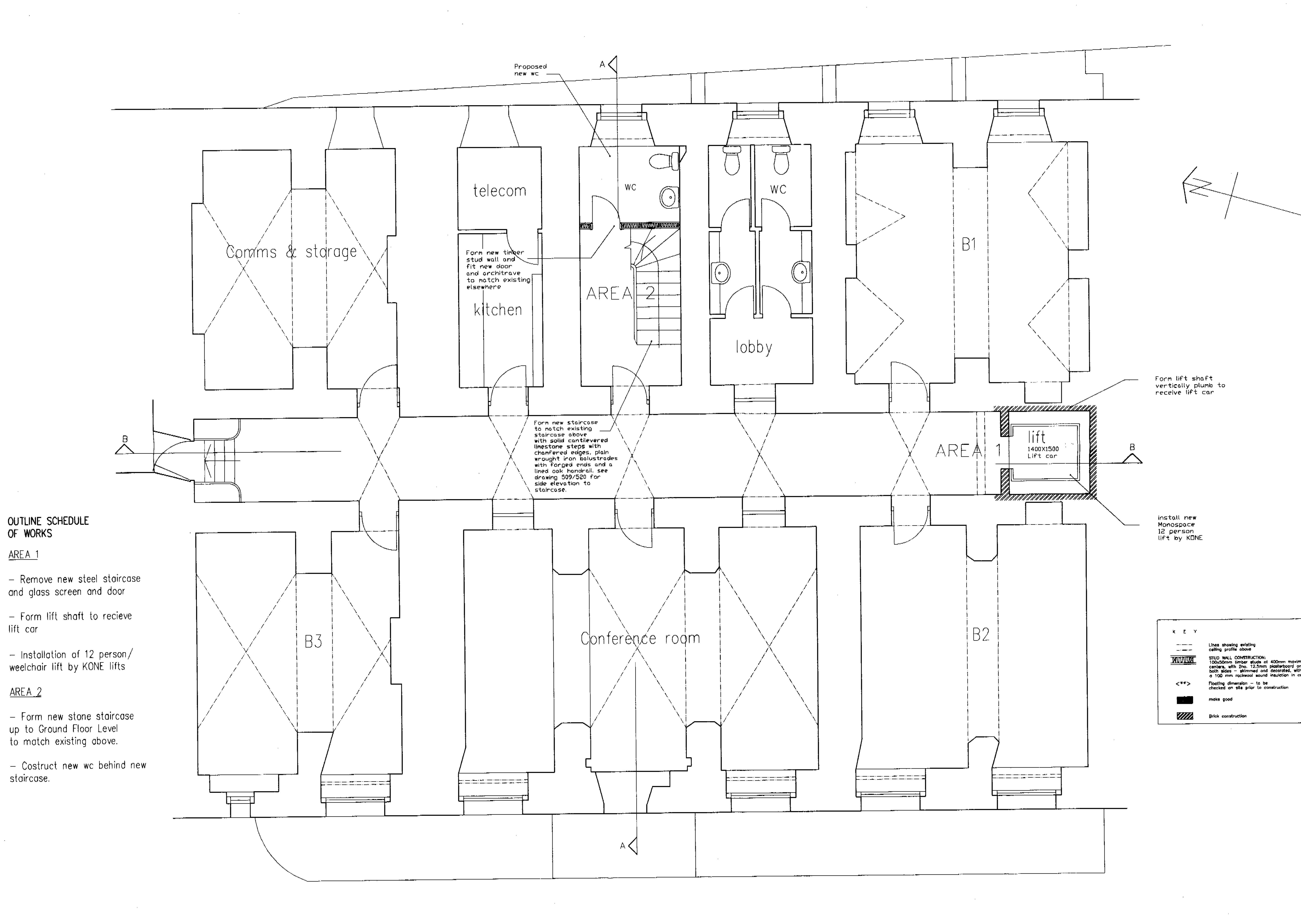
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— Form new stone staircase up to Ground Floor Level to match existing above.

 Costruct new wo behind new staircase.



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Form lift shaft vertically plumb to receive lift car

install new Monospace 12 person lift by KONE

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OUTLINE SCHEDULE OF WORKS

<u>AREA 1</u>

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— Remove new steel staircase

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 Form lift shaft to recieve lift car

Installation of 12 person/ weelchair lift by KONE lifts

<u>area 2</u>

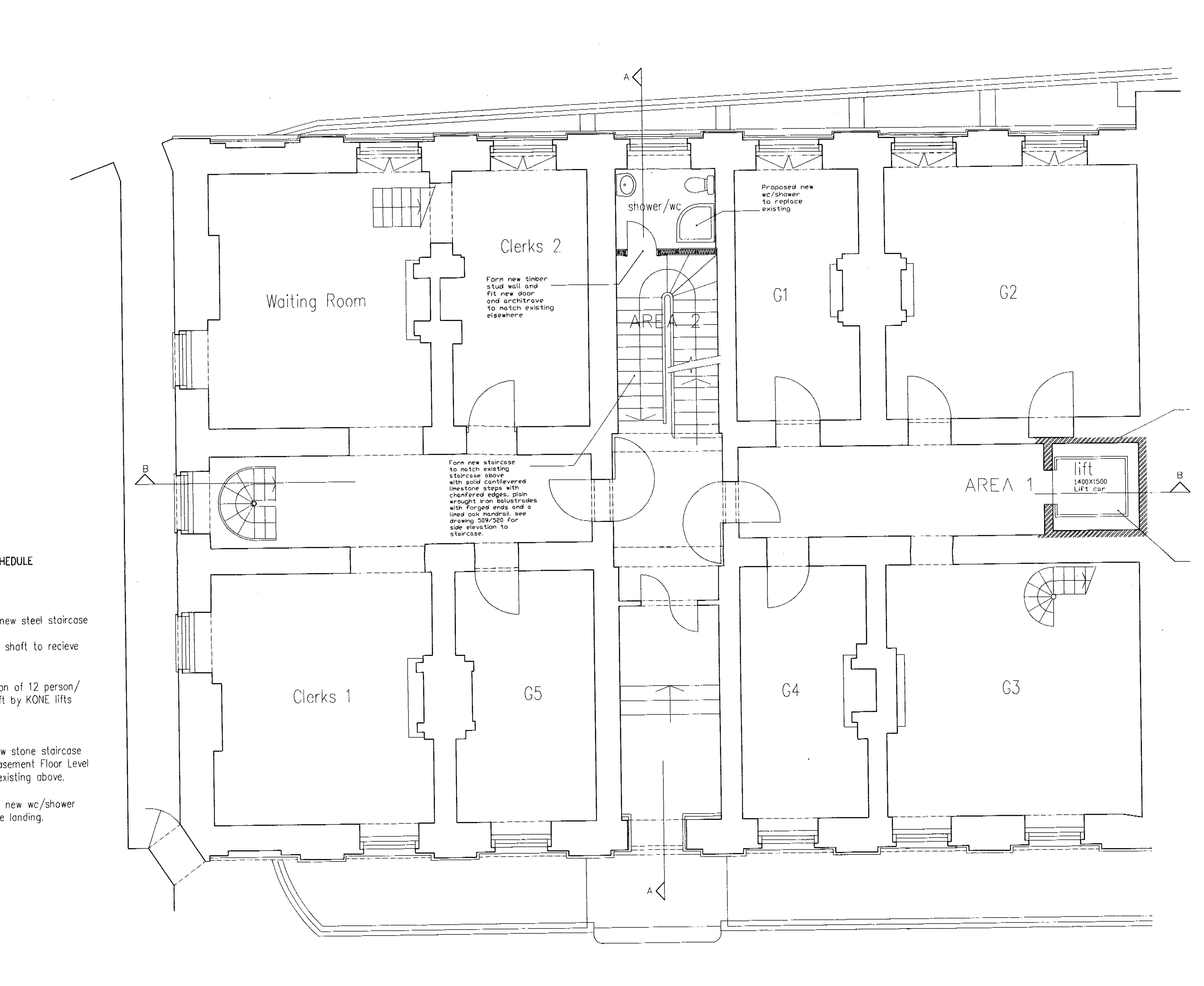
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 Form new stone staircase down to Basement Floor Level to match existing above.

- Costruct new wc/shower at staircase landing.

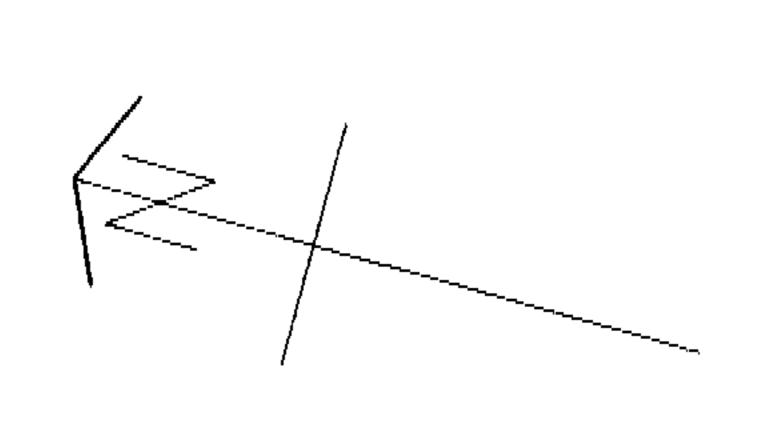
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Form lift shaft vertically plumb to receive lift car

install new Mon**ospace** 12° person lift by KONE

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STUD WALL CONSTRUCTION: 100x50mm timber stude at 400mm moximum centers, with 2no. 12.5mm plasterboard of both sides — skimmed and decorated, with a 100 mm rockwool sound insulation in cavily. Floating dimension — to be checked on site prior to construction

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OUTLINE SCHEDULE OF WORKS

<u>AREA</u>i

– Remove glass screen

Infill existing openings to room 1.4 & 1.5.

 Form lift shaft to recieve lift car

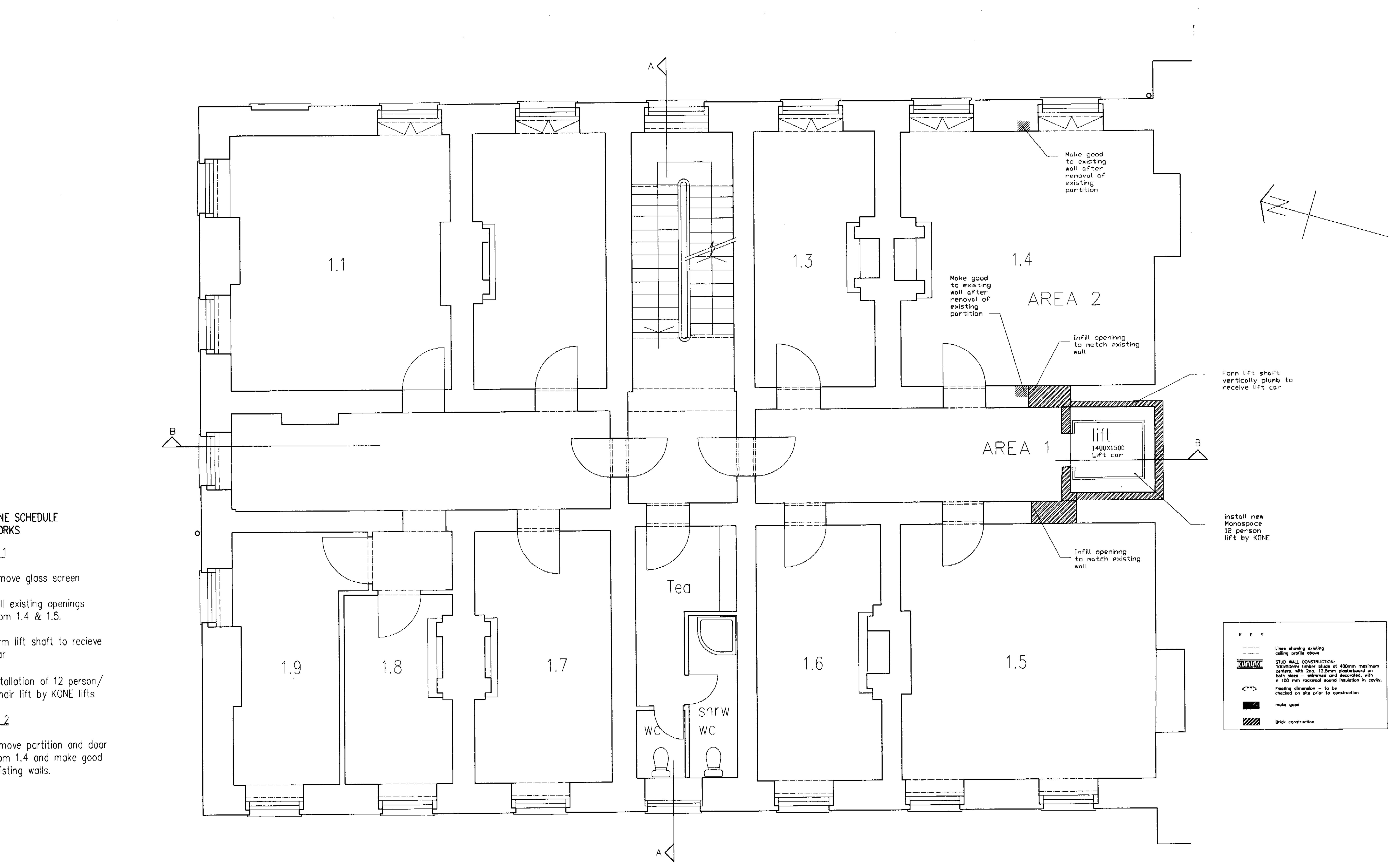
Installation of 12 person/ weelchair lift by KONE lifts

<u>AREA 2</u>

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 Remove partition and door in room 1.4 and make good to existing walls.

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Form lift shaft vertically plumb to receive lift car

install new Monospace 12 person lift by KONE

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26.10.2001 North point added. Notes revised and addea _____ Revision Description REVISIONS DO NOT SCALE FROM DRAWING, USE FIGURED DIMENSIONS ONLY, WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS Project 11 STONE BUILDINGS LONDON WC2 FIRST FLOOR ~ PROPOSED Scole SEPT. 2001 ARVANATAKIS PARTNERSHIP e-mail: wb@wb⊡landon.com ^{™™™} 509/512

OUTLINE SCHEDULE OF WORKS

<u>AREA 1</u>

 Infill existing openings to room 2.4.

 Form lift shaft to recieve lift car

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Installation of 12 person/ weelchair lift by KONE lifts

<u>AREA 1</u>

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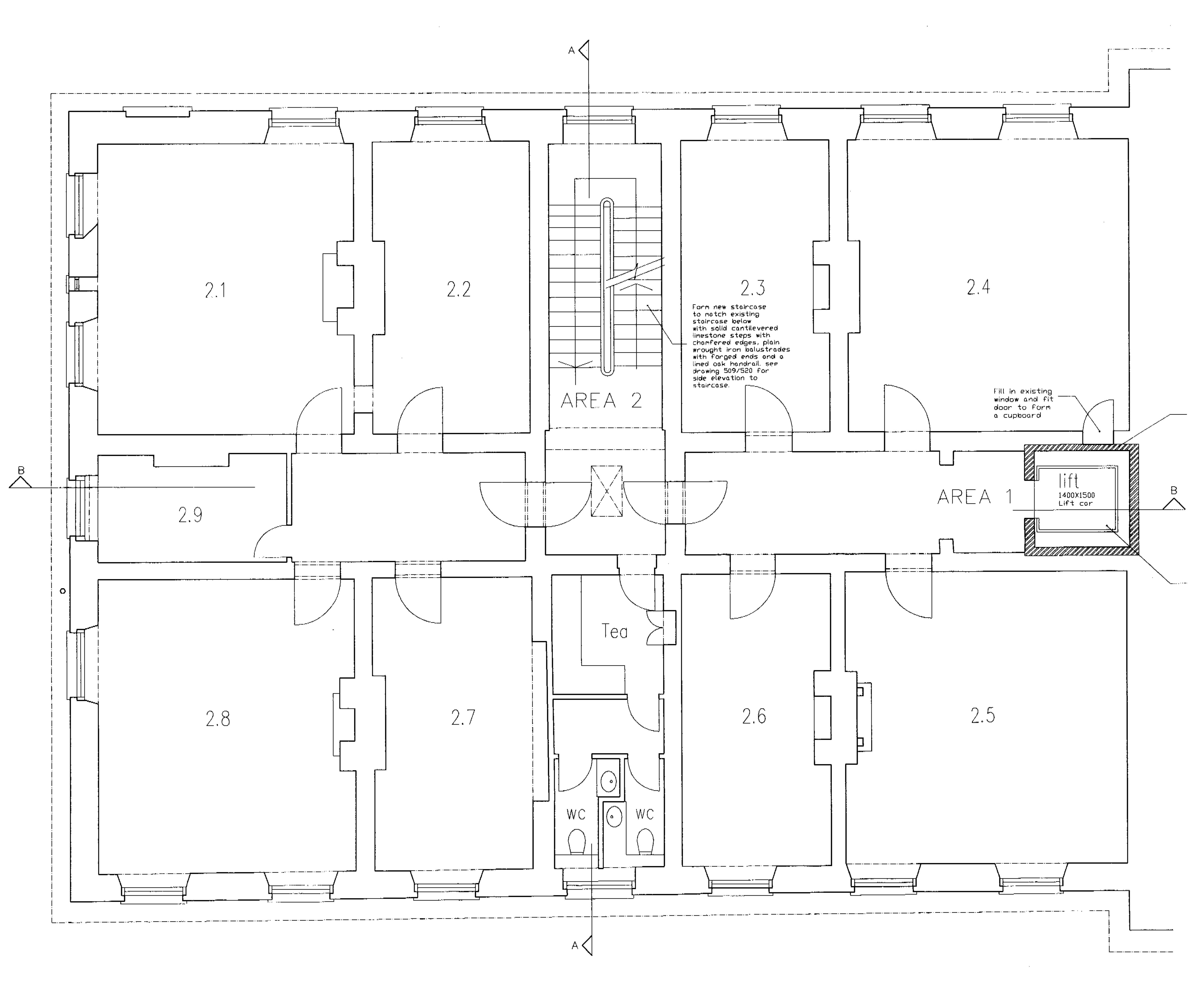
— Form new stone staircase to proposed Third Floor Level to match existing staircase below.

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Form lift shaft vertically plumb to receive lift cor

install new Monospace 12 person lift by KONE

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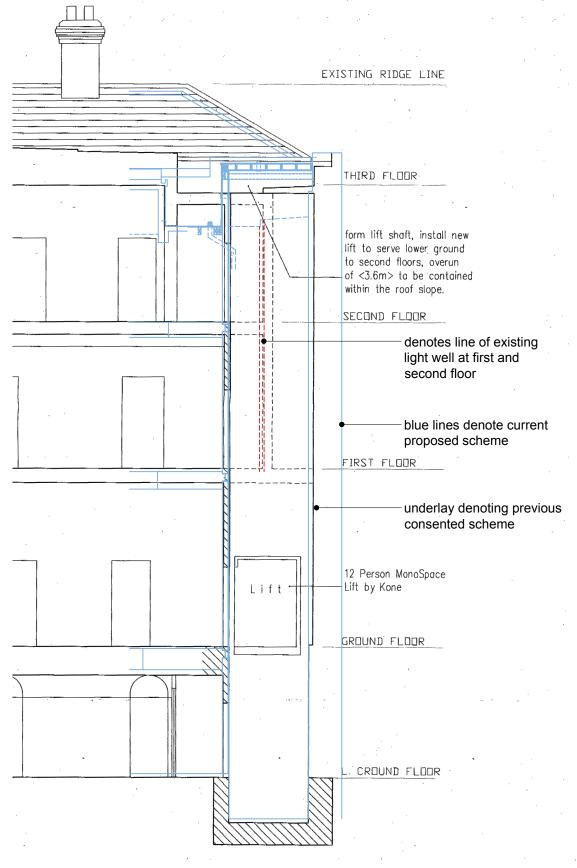
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1 26.10.2001 TAS Dote ISTONS DO NOT SCALE FROM DRAWING, USE FIGURED DIMENSIONS ONLY. WHERE APPLICABLE, CHECK DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS. Project 11 STONE BUILDINGS LONDON WC2 SECOND FLOOR ~ PROPOSED Scole SEPT. 2001 ARVANATAKIS PARTNERSHIP tel: 020-7323-9593-fax: e∞mail: wb@wb-london.com ^{Dwg. No.} 509/513 Checked

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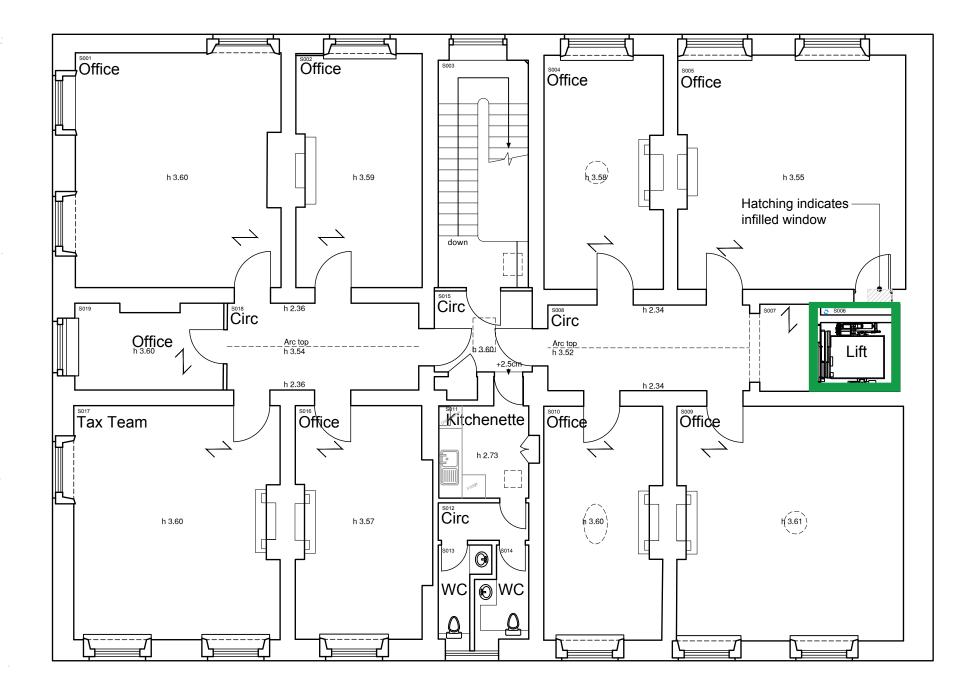
Appendix 3 Overlay of currently proposed lift on LSX0204559/R2



Proposed Section D - D

Ingleton Wood

(with previous consented scheme LSX0204559/R2 overlay)



Proposed Second Floor Plan

(green denotes previous consented scheme LSX0204559/R2 lift shaft)