



# Pre-development Arboricultural Survey and Report

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Land at 40b Hollycroft Avenue London NW3 7QN

A report to: Fabric Space Architects on behalf of Mr. & Mrs. Bartlett

Date: 23<sup>rd</sup> June 2016

Report No: WAS 37/2016 –Rev1

## Table of Contents

|  |    |
|--|----|
| Report Verification.....   | 4  |
| Disclaimer.....  | 4  |
| Validity of Data.....  | 4  |
| Introduction and Scope of Report.....  | 5  |
| Abbreviations: .....   | 5  |
| Arboricultural Impact Assessment .....   | 6  |
| Proximity of Proposed Development to existing Trees.....   | 6  |
| Tree Protection Measures (Provisional).....  | 7  |
| Excavation within RPA of Retained Trees .....  | 7  |
| Tree Protection Barriers & Construction Exclusion Zone.....                                      | 7  |
| Ground Protection of Existing Surfaces within Root Protection Area (RPA) of Retained Trees ..... | 7  |
| Access Facilitation Pruning & Tree Works.....  | 8  |
| Site Access and Construction Working Area (CWA).....   | 8  |
| Site Storage and Accommodation.....  | 8  |
| Installation of Services .....   | 8  |
| Arboricultural Supervision (AS) .....  | 8  |
| Conclusion .....   | 8  |
| Tree Grading Categories.....   | 9  |
| Trees categorized within this report: .....  | 9  |
| References.....  | 11 |
| Declaration .....  | 11 |
| Addendum 1 – Tree Protection .....   | 12 |
| Table 1 -Tree protection measurements .....  | 12 |
| Protecting Root Zone of Trees (BS 5837:2012 section 6.2 Figs. 2 & 3):.....                       | 13 |
| The Root Protection Area (RPA).....  | 13 |
| Key Points .....   | 13 |
| Excavation within Root Protection Area of trees.....   | 13 |
| Site Hoarding .....  | 14 |
| Ground Protection System Specification: .....  | 14 |
| Addendum 2 – Tree Works.....   | 15 |
| Schedule of Tree Works .....   | 15 |

Addendum 3 - Schedule of Tree Survey Information – BS5837:2012 section 4.4 ..... 16

    TREE SURVEY KEY: ..... 17

Addendum 4 – Tree Protection Barriers and Tree Care Flow Chart ..... 18

Addendum 5 – Plans and Picture Gallery ..... 22

## Report Verification

This study has been undertaken in accordance with British Standard 5837:2012 "Trees in relation to design, demolition and construction - Recommendations".

## Disclaimer

The contents of this report are the responsibility of Wassells Arboricultural Services Ltd. It should be noted that, whilst every effort is made to meet the client's brief, no site investigation can ensure complete assessment or prediction of the natural environment.

Wassells Arboricultural Services Ltd accepts no responsibility or liability for any use that is made of this document other than by the client for the purposes for which it was originally commissioned and prepared.

## Validity of Data

The findings of this study are valid for a period of 12 months from the date of survey. If works have not commenced by this date, an updated site visit should be carried out by a suitably qualified and experienced arboriculturist to assess any changes to the trees and groups on site and to inform a review of the conclusions and recommendations made.

It should be noted that trees are dynamic living organisms that are subject to natural changes as they age or are influenced by changes in their environment. As such following any significant meteorological event or changes in the growing environment of the trees they should be re-assessed by a suitably qualified and experienced arboriculturist.

## Introduction and Scope of Report

This document has been produced to provide a detailed survey of trees that could be affected by the proposed development and that are within, surrounding and nearby to this reports site demise.

The scope of this report follows the recommendations and guidance described within **BS 5837: 2012 *Trees in Relation to Design, Demolition and Construction – Recommendations*** which sets out the principles and procedures to be applied to achieve a harmonious and sustainable relationship between trees and structures.

The report will assess the quality, amenity and landscape value of all surveyed trees as described by the tree category system within BS 5837 (see section below).

The protection of all trees to be retained and where they are likely to be affected by the proposed development construction activities are described as provisional tree protection measures for information purposes only and shall require a site specific AMS once final plan are agreed.

The report will also indicate, where necessary, the likely impact the proposals may have on those trees in the future.

The report will also recommend any required tree works to enable access and also to mitigate potential damage from construction activity and for the future well being of the trees concerned.

This is intended to support the planning application for development of this site.

The tree survey for the site can be found in Addendum 3 below

### Abbreviations:

RPA = root protection area

CEZ = construction exclusion zone

CWA = construction working area (including materials storage)

AMS = arboricultural method statement

## Arboricultural Impact Assessment

### Proximity of Proposed Development to existing Trees

Ref: Addendum 1 -Table 1, Addendum 3

**All trees in or near the above site have been surveyed and that information is shown in addendum 3 below.**

The site consists of a rear garden with an existing quite old garden room that is proposed for demolition and re-building on a different footprint and an extension of the existing ground floor kitchen extension.

The garden has 3 mature trees that are situated around the boundary to the site and one tree in a garden to the rear that is close to the boundary – Bay tree T4, which will not be impacted

The 2 Lime trees T2 and T3 are regularly pruned backed to previous points of reduction, which acts as a reduced form management of the trees in what is a small garden for such species.

The Ash tree is a large tall specimen in good condition and has only had the canopy raised in the past to allow more light into the garden.

There is potential for some impact on these trees but provided the design proposed is followed and the foundations near to tree T2 are carefully constructed then this impact is likely to be insignificant – ***see comments in table 1 of addendum 1 below for these 2 trees***

The Lime tree T3 is very close to the property and next door property as well. This tree is now over mature and likely to decline in the not too distant future and should be considered for removal because of this and as the current but necessary pruning regime reduces the amenity value considerably?

## Tree Protection Measures (Provisional)

Ref: Addendum 1 & 2

**\*\* These measures shall be seen as provisional for planning purposes and subject to a detailed follow up AMS submission as part of a construction plan once proposals are agreed and to conform to any specific planning conditions made \*\***

### Excavation within RPA of Retained Trees

Ref: Addendum 1

**\* Please see addendum 1 section on Excavation within RPA of retained trees.**

**\*\*Please also note Ian Harban Engineers, Structural Report**

Ash tree T1 – Foundations proposed for the new garden room shall only be within what is the existing foundation footprint of the building being demolished. AS shall be required if proposed new foundations are to go deeper than existing

Lime tree T2 – The footprint of the new building does extend further into the RPA of this tree and it is proposed to design a suitable engineering solution that involves mini-piles/ screw piles located at appropriate points to avoid any major roots – **reference pile numbers 1,2 3 & 4**. The pile cap / ground beam for the new foundations of the building are to be no deeper than 150mm below existing ground level in this area. AS shall be required when constructing the foundations in this area

**Pile number 1** is within 3 metres of the outside of the stem of tree T2 and shall require careful hand digging down to 1 metre depth, prior to piling starting, to ensure there are no major roots in the line of the pile. Pile location will have to be flexible in this area and the ground beam/pile cap is required to be above ground level in this area with a minimum void of 100mm beneath.

Lime tree T3 – AS required when excavation for the extended kitchen are being constructed

### Tree Protection Barriers & Construction Exclusion Zone

**\*Please see specification for tree protection barriers shown below**

The CEZ shall be all areas around T1 and T2 that are outside the existing building footprint and proposed new building footprint.

Tree protection barriers shall be erected where suitable in order to achieve this.

### Ground Protection of Existing Surfaces within Root Protection Area (RPA) of Retained Trees

Ref: Addendum 1

**\* Please see addendum 1 section on Ground Protection System**

Not required for this project

## Access Facilitation Pruning & Tree Works

**Ref: Addendum 2**

Recommended tree works are shown in the end column of addendum 3 below

## Site Access and Construction Working Area (CWA)

Arrangements not known at time of writing report

## Site Storage and Accommodation

Not within the RPA of retained trees.

## Installation of Services

Arrangements for this element of the development of the site are unknown as at time of writing this report but are likely to remain as existing.

Changes to the service routes will be carefully considered using the AS below to advise on protection of nearby trees prior to commencement on site.

## Arboricultural Supervision (AS)

AS shall be required during work within and adjacent to the RPA of retained trees. It must be undertaken at regular intervals with a written record of the meetings maintained with suitable photographic record in support.

The AS must include a pre-construction commencement site visit, to be arranged by the Site Manager under instruction from Architects, and thereafter at specific events that affect the retained trees on site to enable sign-off by the AS. These are typically as follows:

1. Erection of tree protection fencing
2. Installation of ground protection to retained trees whose RPA are affected by the CWA
3. Start of Excavation/piling of foundations within the RPA of retained trees
4. Tree pruning requirements to prevent crown damage from construction activity
5. Start of Excavation/installation of paths, roads and car parking within RPA of retained trees
6. Installation of underground services within the RPA of retained trees
7. Tree condition survey on completion of construction work

## Conclusion

Provided the recommendations shown above and the methodology for protection of any retained trees are followed, there will not be an effect on the current or future condition of those trees that are retained as part of the proposed scheme.

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## Tree Grading Categories

**Ref: Grading Category as per BS 5837:2012 Section 4.5 Table 1 & Table 2 – Tree quality assessment chart.**  
**Tree Survey Schedule in Addendum3 below for description of trees categorized**

**The grading categories are based on the following criteria:**

A= those trees of high quality and value suitable for retention for longer than 10years and worthy of being a material constraint to development

B= those trees of moderate quality and value suitable for retention for longer than 10years and worthy of being a material constraint to development

C= those trees of low quality and not worthy of being a material constraint to development

U=trees of such a condition that they cannot realistically be retained as living trees in the context of the current land use

NG = not graded. Those trees not considered to be in any of the above categories

Categories A, B and C have further sub-categories (not qualified in BS) with regards to the reasons for tree retention as follows:

- 1: Mainly arboricultural qualities.
- 2: Mainly landscape qualities.
- 3: Mainly cultural values, including conservation.

### Trees categorized within this report:

- 1 Category A trees = None
- 2 Category B trees = T1 and T2
- 3 Category C trees = T3 and T4
- 4 Category U trees = None
- 5 NG = None

## Age Categories and Distribution

Those trees assessed as being young (Y) in age can generally be considered to have significant growth potential. Whilst these specimens are not likely to make a substantial contribution to the landscape character of the site at present they will, if retained, provide succession for the eventual removal of mature or over-mature trees as a result of declining physiological or structural condition.

Semi mature trees (SM) will generally make a significant contribution to the landscape character and appearance of the site and their retention will provide more immediate succession. These trees will also have significant growth potential.

Mature trees (M) are not considered to have significant future growth potential and have generally reached their maximum expected size for the location. These trees will generally make the highest contribution to the landscape contribution of the site however a tree stock over dominated by mature trees will require careful management to ensure that continuation of canopy cover can be achieved.

Over-mature trees (OM) do not have the potential to increase in size and may in fact reduce in size as their crowns begin to break up. These trees will often make a significant contribution to the landscape character of the site and are likely to have ecological value. However the retention of these trees within new development must be carefully planned as they are approaching the end of their useful life expectancy and they will often have structural defects. Where over-mature trees are to be retained in new development it is essential that access is available for their eventual removal.

Veteran trees (V) are those that show features of biological, cultural or aesthetic value that are characteristic of an individual surviving beyond the typical age range for the species. These trees have negligible potential to increase in size. Veteran trees are usually of a high ecological value and they will require sensitive management where they are to be retained in new development. As such it is again essential that they are located in areas where access is available to undertake management operations and where there is a reduced risk of harm occurring from failure of the trees.

## References

1. BS 5837:2012 Trees in Relation to Design, Demolition and Construction - Recommendations
2. BS3998:2010 Tree Work – Recommendations
3. NJUG Volume 4 Issue2 2007 – Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees.
4. NHBC Standards – Section 4.2 Building Near Trees
5. British Geological Survey – London & the Thames Valley
6. Principles of Tree Hazard Assessment – Lonsdale 2001
7. Diagnosis of Ill Health in Trees – Stouts & Winter 2004
8. Tree Survey Plan – at end of report
9. Existing and proposed plans – Fabric Space Architects drawings ref: 1512
10. Structural Report – Ian Harban Engineers

## Declaration

This Tree Survey, Impact Assessment and provisional tree protection measures have been written and checked by Richard Wassell of Wassells Arboricultural Services Ltd. and are provided without prejudice as an objective and professional assessment of the trees described.

Signed: *R.J. Wassell*      Date: *23.06. MMXVI*

**Richard Wassell. Director**

**MCIHort MArborA NDArb (RFS) Kew Diploma NEBOSHlevel3**

## Addendum 1 – Tree Protection

Ref: BS 5837:2012 in Tables C.1 & D.1 of annex C & D

**Table 1 -Tree protection measurements**

| Tree Number<br><br>As per tree survey plan & schedule | Stem Diameter @ 1.5 metres agl.<br><br>Millimetres | Root Protection Area (RPA) - Radius<br><br>*measured from centre of stem*<br><br>Metres | Tree/Root Protection Area (RPA)<br><br>Sq. Metres | Comment and potential affect of building proposal on the total RPA   |
|---|--|---|---|--|
| T1  | 600  | 7.2   | 163   | Not affected providing proposed design is followed and to include retention of existing terrace retaining wall   |
| T2  | 625  | 7.5   | 177   | Potential for impact on RPA. Proposed to mitigate using suitably placed small piles and above ground slab and pile cap. <b>As a precautionary measure there is to be no encroachment of superstructure or foundations within 3 metres measured from outside of the stem</b><br>– AS precautions to apply when constructing foundations |
| T3  | 700  | 8.4   | 222   | Slight possibility of impact but unlikely. Extension of kitchen area is proposed for existing raised area only – <b>AS precautions to apply when constructing foundations</b>  |
| T4  | 2 x 250  | 4.2   | 55  | Not affected   |

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## Protecting Root Zone of Trees (BS 5837:2012 section 6.2 Figs. 2 & 3):

### The Root Protection Area (RPA)

This is the area surrounding a tree that is deemed to contain sufficient roots and rooting volume to maintain the trees viability in the future. The root system is typically concentrated in the uppermost 600 – 1200mm of the soil and is not necessarily symmetrical around the tree, being dependant on a number of factors such as water, nutrients, oxygen, soil penetrability and physical obstructions such as existing foundations or changes in level (terracing).

The RPA is a design layout tool that is deemed to be a minimum area around a tree where the protection of roots and soil structure are treated as a priority. This area is envisaged as and portrayed with a circle around each tree but where there appears to be restrictions to root growth the circle is reshaped to reflect more accurately the likely distribution of the rooting area of the tree concerned.

### Key Points

1. AVOID building works within the RPA if at all possible but if not then carefully consider the following: where the RPA is likely to be severely affected because of site design constraints then felling and planting replacement(s) trees in a more suitable location on the site will need to be considered.
2. Where possible do not use strip foundations within the RPA, if absolutely necessary consider using a trenching saw or excavate by hand to avoid 'shatter damage' to the root system.
3. Consider using piling techniques for foundations @ maximum 350 mm diameter with ground beams on or above the surface of the root zone.
4. Unless unavoidable, do not exceed entering the root zone by more than one fifth of RPA radius.
5. Do not trench tangentially across the root zone for footings and services unless it cannot be avoided.
6. Consider 'no dig' techniques for services installation, with radial service lines being preferable to tangential across the root zone. Where this is undertaken then boring must be carried out below 600mm deep.
7. Any hard surfacing, paths and roads need to have the same considerations for the RPA and as in the above points. Where possible paths and hard surfacing (patios etc) need to be surface constructed (cellular) and semi-porous to allow water penetration and gaseous exchange into the root system of trees.

### Excavation within Root Protection Area of trees

Where trees are to be retained then any proposed foundation, underground services work and hard surfacing such as roads/paths falling within the RPA of trees that are to be retained shall be kept as far away from tree stems as possible(SEE NOTE 1 ABOVE). Where any such works are necessary within the RPA there will be a requirement to dig carefully by hand and ensure any roots encountered of maximum 25mm in diameter shall be exposed and correctly pruned back by a competent Arborist. Where larger roots are encountered of above 25mm in diameter then advice from the Arboricultural Supervisor (AS) for the site must be sought prior to any work being undertaken.

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**Any roots exposed/ pruned back as part of the above operation shall NOT be left exposed to drying out. All roots exposed/pruned shall be either covered with damp Hessian sacking prior to backfill or backfilled/covered immediately with a suitable open and free draining compost/loam.**

### **Site Hoarding**

Site hoarding shall be no closer than 1.5 metres away from the stem of retained trees and consist of 20mm plywood sheets supported by minimum 100mm square posts and 100 x 50mm rails with posts at 2.5 metre centres.

Post holes for site hoarding that are required within the RPA of nearby trees shall be dug by hand and are to be a maximum of 300 x 300mm and 450mm deep

### **Ground Protection System Specification:**

- Level area of RPA concerned by blinding with sharp sand at maximum depth of 50mm
- Lay geo-textile membrane such as 'Terram' to cover area concerned
- Cover geo-textile with maximum of 100mm MOT Type 1 sub-base
- Retain MOT type 1 with edge restraint such as 30 x 100mm edging board pegged every 2 metres to prevent migration of the sub-base

## Addendum 2 – Tree Works

Ref: Addendum 3

### Schedule of Tree Works

1. All proposed tree removal and tree pruning works are described in the management recommendations of the tree survey in addendum 3
2. Tree work to be carried out to the following standards and guidelines:
  - BS 3998:2010 Recommendations for Tree Work
  - Tree pruning cuts will be carried out using the 'Natural Target Pruning' technique as defined by: *BS 3998:2010 section 7.2.5 and Fig. 2 The Pruning of Trees, Shrubs and Conifers: George E. Brown & Tony Kirkham – 2<sup>nd</sup> edition revised & enlarged 2004 and Section 3.1.27 of The Arboricultural Association Specification for Tree Works June 2008.*
  - Crown clean involves removal of dead, diseased & dying wood from tree crown, thinning of overcrowded crown, and removal of ivy and all epicormic growth within crown including stem & basal epicormic growth.

### Addendum 3 - Schedule of Tree Survey Information – BS5837:2012 section 4.4

SITE: 40b Hollycroft Avenue NW3 7QN

DATE: 14<sup>th</sup> April 2016

| Tree Number | Species     | Diameter Class<br>mm | RPA radius<br>metres | Height<br>metres | Crown Spread<br>metres   | Crown height | Age Class | Grading Category | Estimated Life Expectancy | Structure | Physiology, Condition & other factors   | Management recommendation |
|-------------|-------------|----------------------|----------------------|------------------|--------------------------|--------------|-----------|------------------|---------------------------|-----------|---|---------------------------|
| 1           | Common Ash  | 600                  | 7.2                  | 20               | N=6<br>S=6<br>E=6<br>W=6 | H            | M         | B                | >30                       | G         | High raised canopy (10M). Next to existing curved terrace retaining wall approx. 500mm drop in level. Nearby below ground Macerator for existing garden room sewage   | RETAIN<br>CC              |
| 2           | Common Lime | 625                  | 7.5                  | 12               | N=<br>S=<br>E=<br>W=     | H            | M         | B                | >30                       | M         | Recently reduced back to previous points of reduction. Originally pollarded at 5 M. 3 stemmed from 3 M. Terracing and level change has occurred recently in garden to the rear and very close to the stem of this tree? | RETAIN<br>N               |
| 3           | Common Lime | 700                  | 8.4                  | 9                | N=<br>S=<br>E=<br>W=     | H            | OM        | C                | 10 - 20                   | M to P    | Recently reduced back to previous points of reduction. Originally pollarded at 5 M. Co-dominant stems from 2 M with potential cavity at that crown break point  | RETAIN<br>N               |
| 4           | Bay         | 2 x 250              | 4.2                  | 10               | N=3<br>S=3<br>E=3<br>W=3 | L            | M         | C                |                           | M         | In garden to rear of site and behind the Ash tree T1  | RETAIN<br>N               |

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## TREE SURVEY KEY:

**Tree Number and Species** = number of tree on plan and Common Name as per reference book: A Field Guide to the Trees of Britain and Northern Europe by Alan Mitchell 1974 ISBN: 0 00 219213 6

**Height** = estimated height of tree from surrounding ground level +/- 3 metres

**Diameter Class** = diameter of main stem @ 1.5 metres above ground level

**Crown Spread** = maximum extent of branches measured radially from the base of the tree, trees with asymmetrical crowns are shown with distances in relation to compass points. N = north etc.

**Crown Height** = height of canopy and/or first major branch above ground level. Low (L) = below 3 metres | Medium (M) = 3 to 6 metres | High (H) = above 6 metres

**Age Class** = Young(Y): age less than 1/3<sup>rd</sup> life expectancy | Semi-mature(SM): 1/3<sup>rd</sup> to 2/3<sup>rd</sup> life expectancy | Mature (M): Over 2/3<sup>rd</sup> life expectancy | Over mature (OM): mature and in state of decline | Veteran (V):

Surviving beyond typical age range for species

**Grading Category:** As per BS 5837:2012 Table 1 – Tree quality assessment, which refers to tree quality and landscape/amenity value; A=high, B=moderate, C=low, U = not suitable for retention, NG= not graded

**Estimated Life Expectancy** = estimated useful and remaining contribution to the site in years

**Structure** = structural condition of the tree based on roots, trunk, and major stems/branches along with the presence of any structural defects and decay organisms. Categories are: Very Good (VG); Good (G); Moderate (M); Poor (P); Hazardous (H)

**Physiology/Condition** = Overall health, condition and function of the tree in comparison to a 'normal' specimen of its species and age. Categories are: Above average (AA); Average (A); Declining (D)

**Other factors** = any other physical/environmental factors that could influence the tree now/in the future

**Management Recommendations:** **N** = no work required. **CC** = removal of dead, diseased & dying wood from tree crown, thinning of overcrowded crown, removal of Ivy from crown & stem and removal of all epicormic growth within crown including stem & basal epicormic growth on Lime trees. **LC** = lift crown. **TC** = thin crown. **RC** = reduce crown. **P** = pollard. **SP** = scaffold pollard. **RE** = remove epicormic and basal growth. **FP** =

Formative prune **F** = fell to ground level. **FG** = fell and grind out stump. **R** = carry out replacement planting. **AI** = 3 yearly Arboricultural inspection

**RPA radius** = radius of typical root protection area, described as a circle and measured around centre of the tree

**N/K** = not known

**#** = estimated data

**NDG** = Next door garden

**g.l.** = ground level

**Alan Mitchell System** = Estimate of tree age based on open grown tree with full crown. Age in years = Girth (circumference) in centimetres measured at 1.5 metres above ground level and divided by 2.5 i.e. Tree of girth 250 cm = 100years old

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## **Addendum 4 – Tree Protection Barriers and Tree Care Flow Chart**

6.2.2.4 All-weather notices should be attached to the barrier with words such as:  
"CONSTRUCTION EXCLUSION ZONE – NO ACCESS".

Figure 2 Default specification for protective barrier

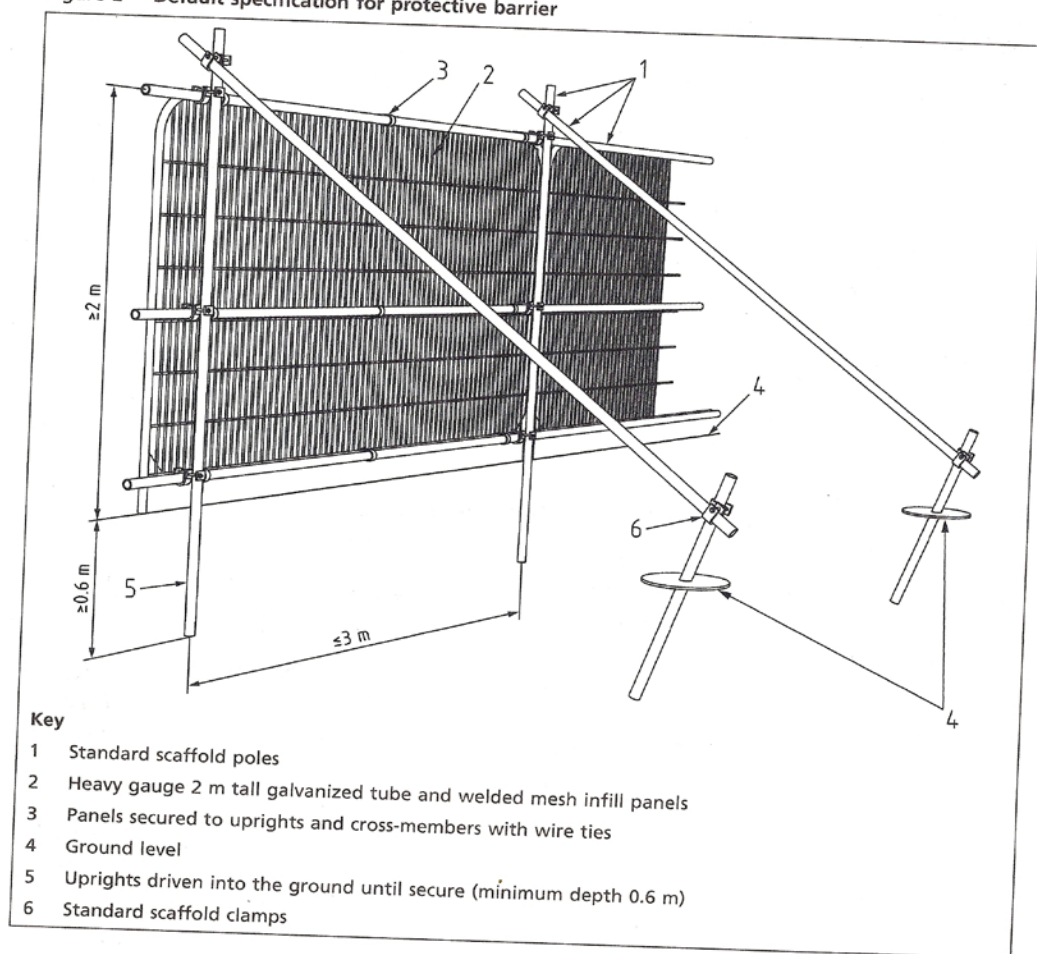


Figure 3 Examples of above-ground stabilizing systems

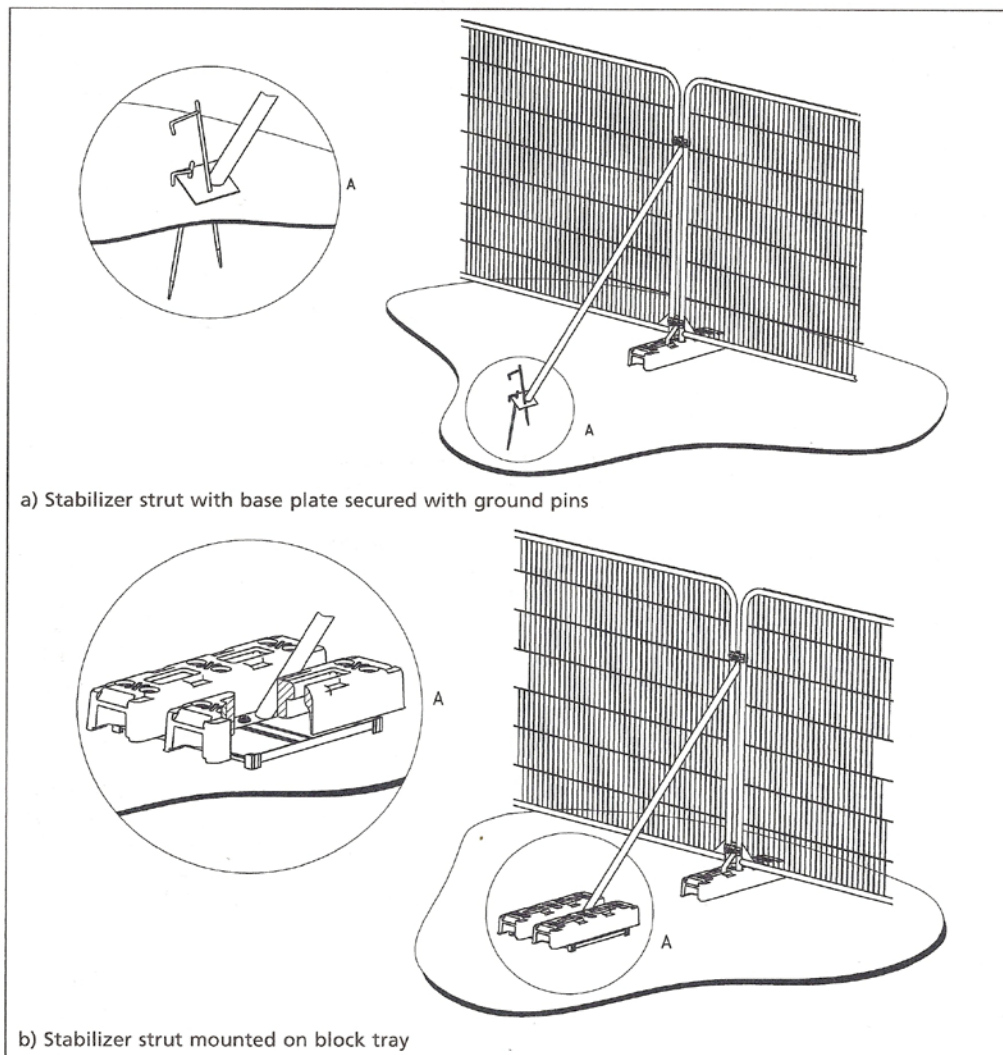
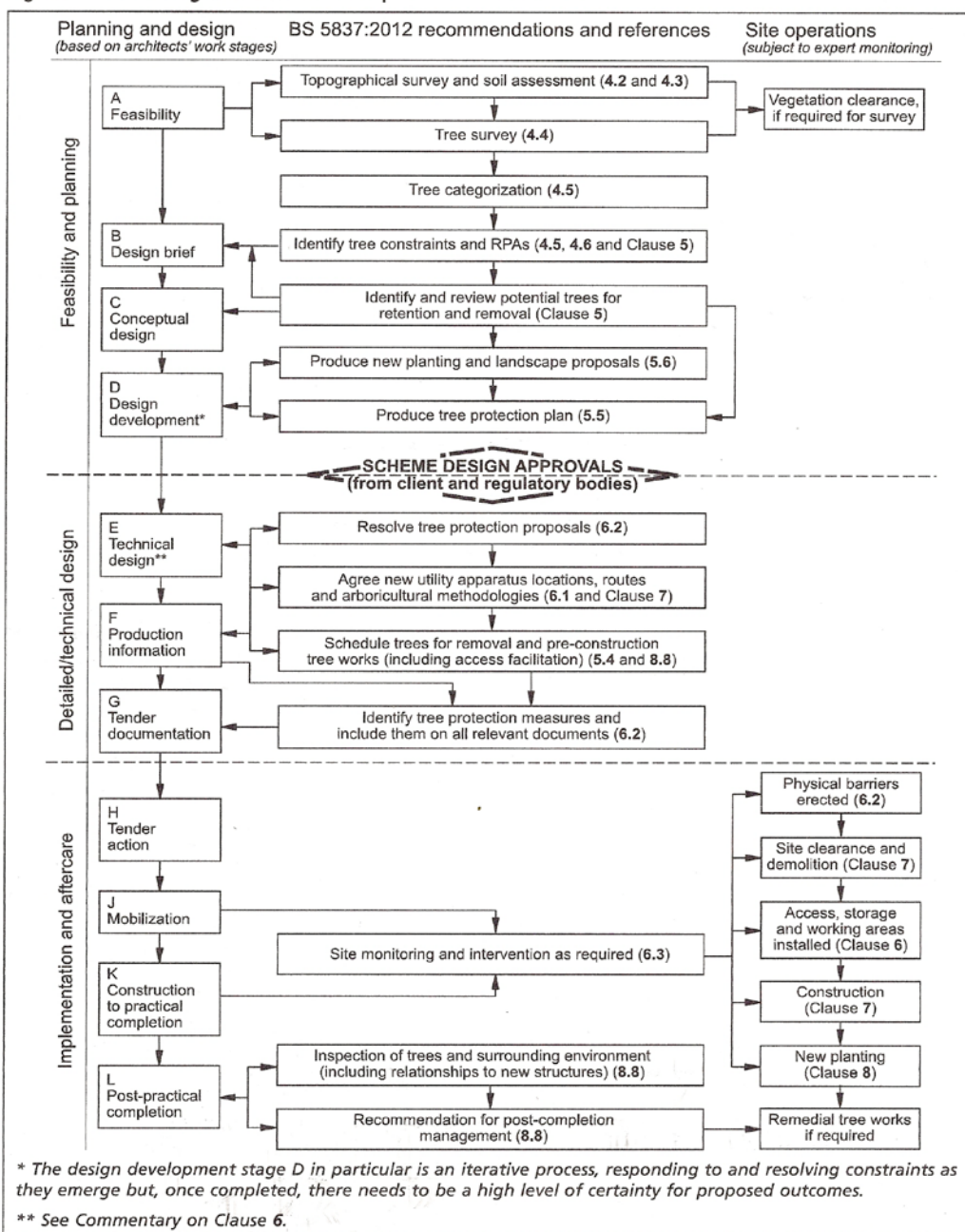


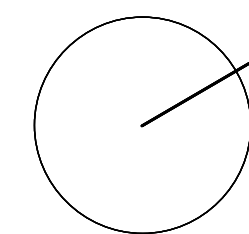
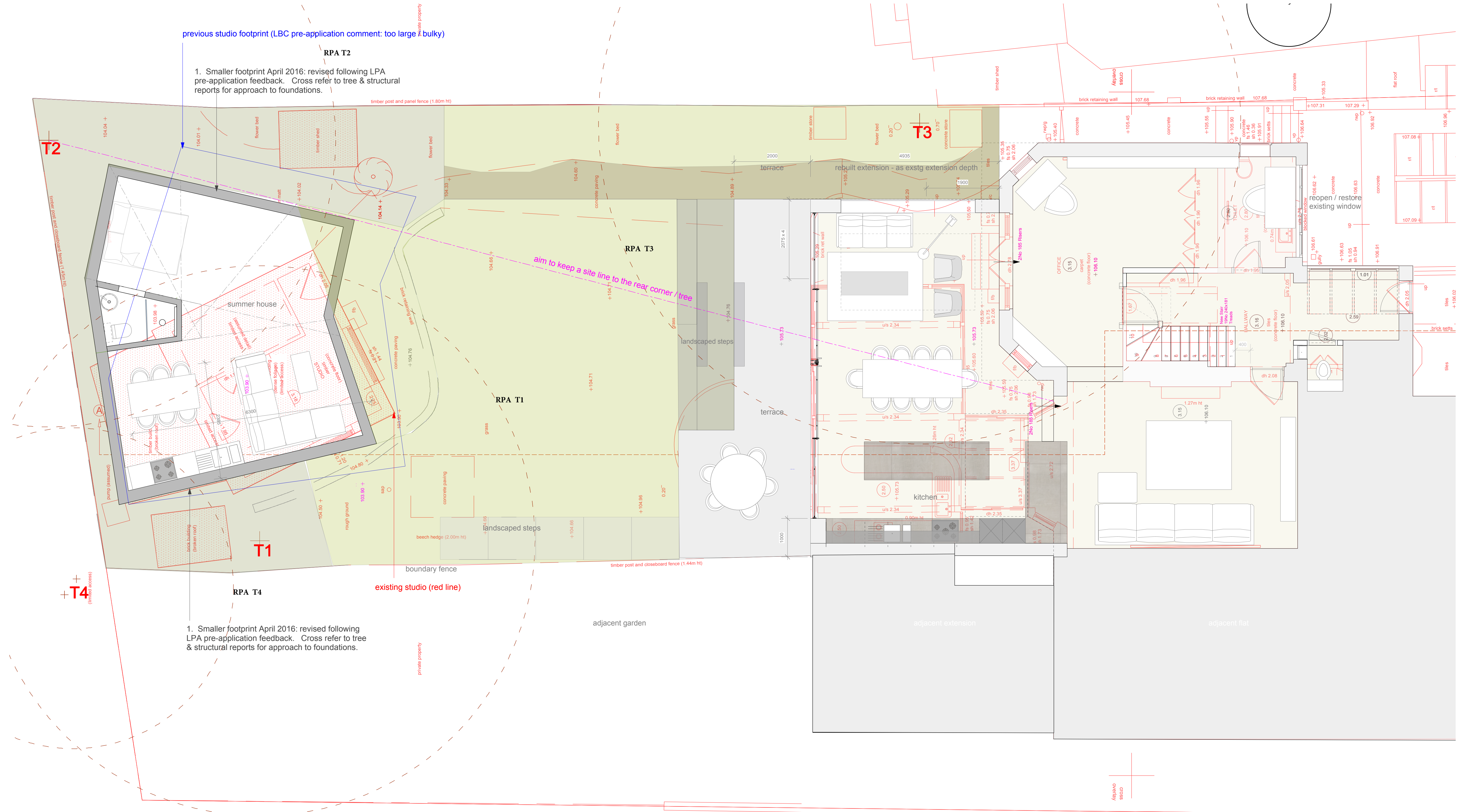
Figure 1 The design and construction process and tree care



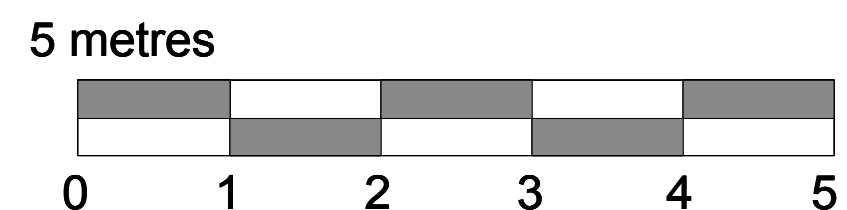
## Addendum 5 – Plans and Picture Gallery



| Revision | Date      | Description                                    |
|----------|-----------|--|
|          | April '16 | Revised following LPA's pre-application input. |
|          | June '16  | Revised following tree survey.                 |
|          | June '16  | Root protection areas indicated.               |



Red line denotes  
survey of existing







Ash tree T1 from the rear of the house with Bay tree T4 behind in garden to the rear. Ivy covered existing garden room beneath tree on RHS





Lime tree T2 from garden



Lime tree T3 from garden and showing proximity to the properties