

One Bedford Avenue

With reference to Application 2014/6843/P

Discharge of Planning Condition 10

May 2016

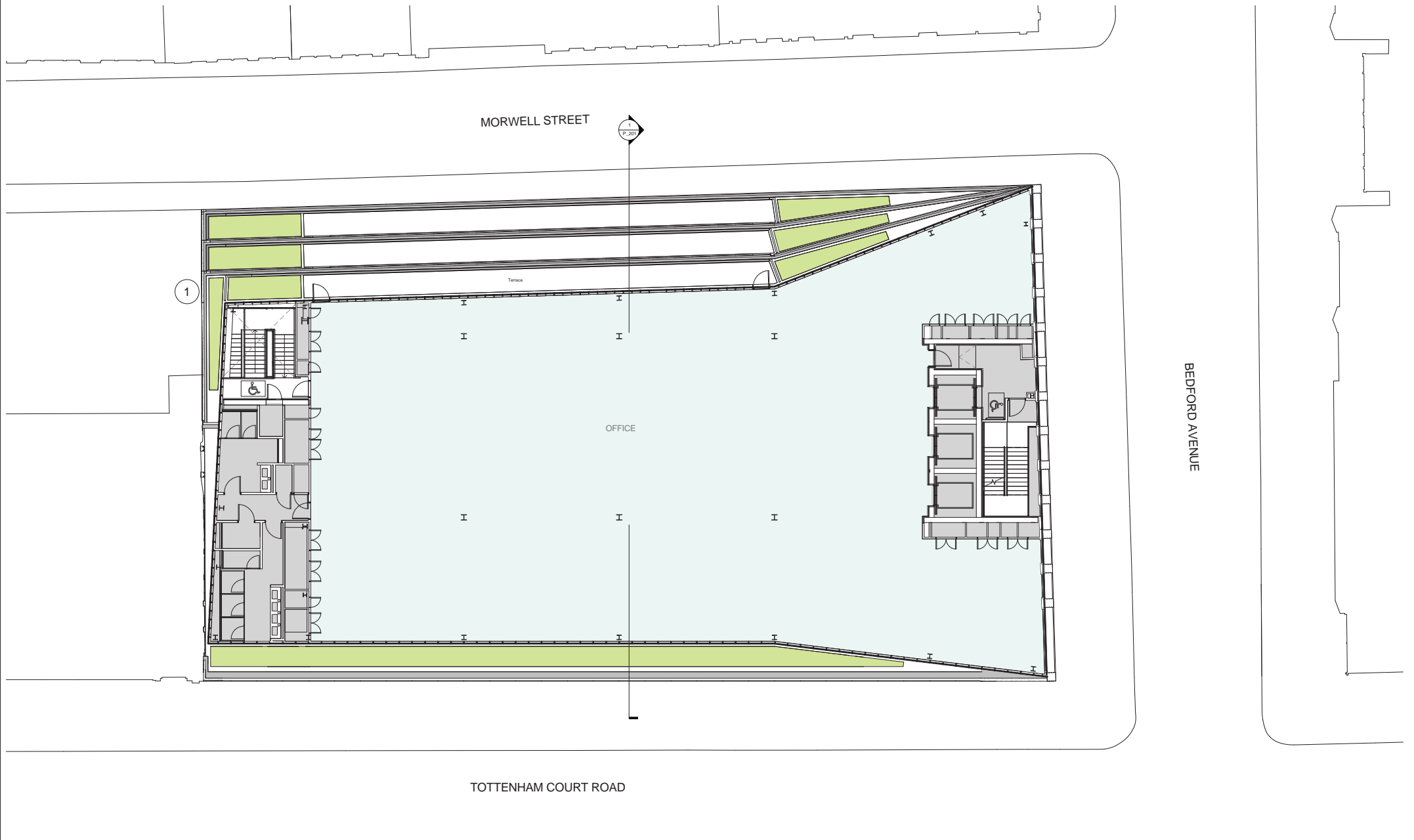


PROPOSED PLANNING DRAWINGS

The following proposed drawings capture amendments to the terrace balustrade in the north-east corner of the building as requested by Camden Council Planning Department, and amended windows to the Bedford Avenue Elevation.

Drawing No.	Rev	Drawing Title
1217_21_106	G	Sixth Floor Plan
1217_21_107	G	Seventh Floor Plan
1217_21_108	G	Roof Plan
1217_21_302	G	Morwell Street Elevation
1217_21_303	F	Bedford Avenue Elevation
1217_21_402	C	Bay Study Bedford Avenue

PROPOSED



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue, Issued For Planning	MC	RB				
A 140815 Plan layout updated	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150428 Issued for information	FB	DW				
F 150602 Issued for Section 96A NMA	KC	DW				
G 160518 Amended for discharge of planning condition 10	KC	DW				

Revisions to proposed drawing

- 1- Terraces balustrade on levels 6 & 7 cut back in North-East corner to align with cladding, as requested by Camden county council planning department
- 2- Automatic opening windows on Bedford Avenue elevation amended to provide the regulatory 1.5m² smoke ventilation free area
- 3- 3no. Openable windows omitted from Bedford Avenue elevation

NOTE:
As requested by Camden county council planning department, upon approval this drawing will supersede the previous revision of this drawing, becoming the consented planning drawing

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
Planning
 Sixth Floor Plan

Drawing Number
 1217_P_106

Scale @ A3
 1 : 200

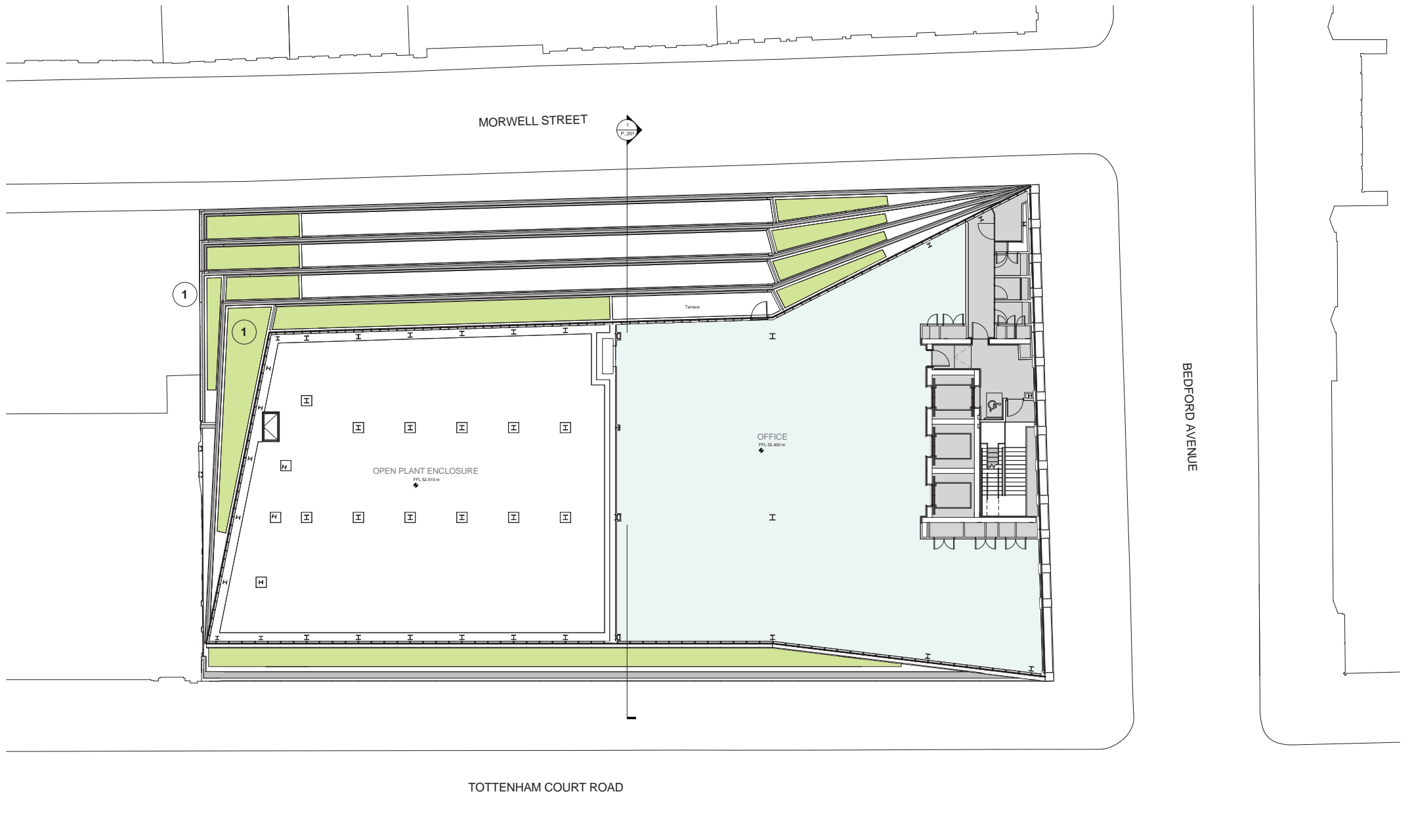
Scale @ A1
 1 : 100

Revision
 G

Revision Date
 160518

Project No. 1217

YY MM DD



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	MC	RB				
A 140815 Plan layout updated	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150428 Issued for information	PB	DW				
F 150602 Issued for Section 96A NMA	KC	DW				
G 160518 Amended for discharge of planning condition	KC	DW				
10						

Revisions to proposed drawing

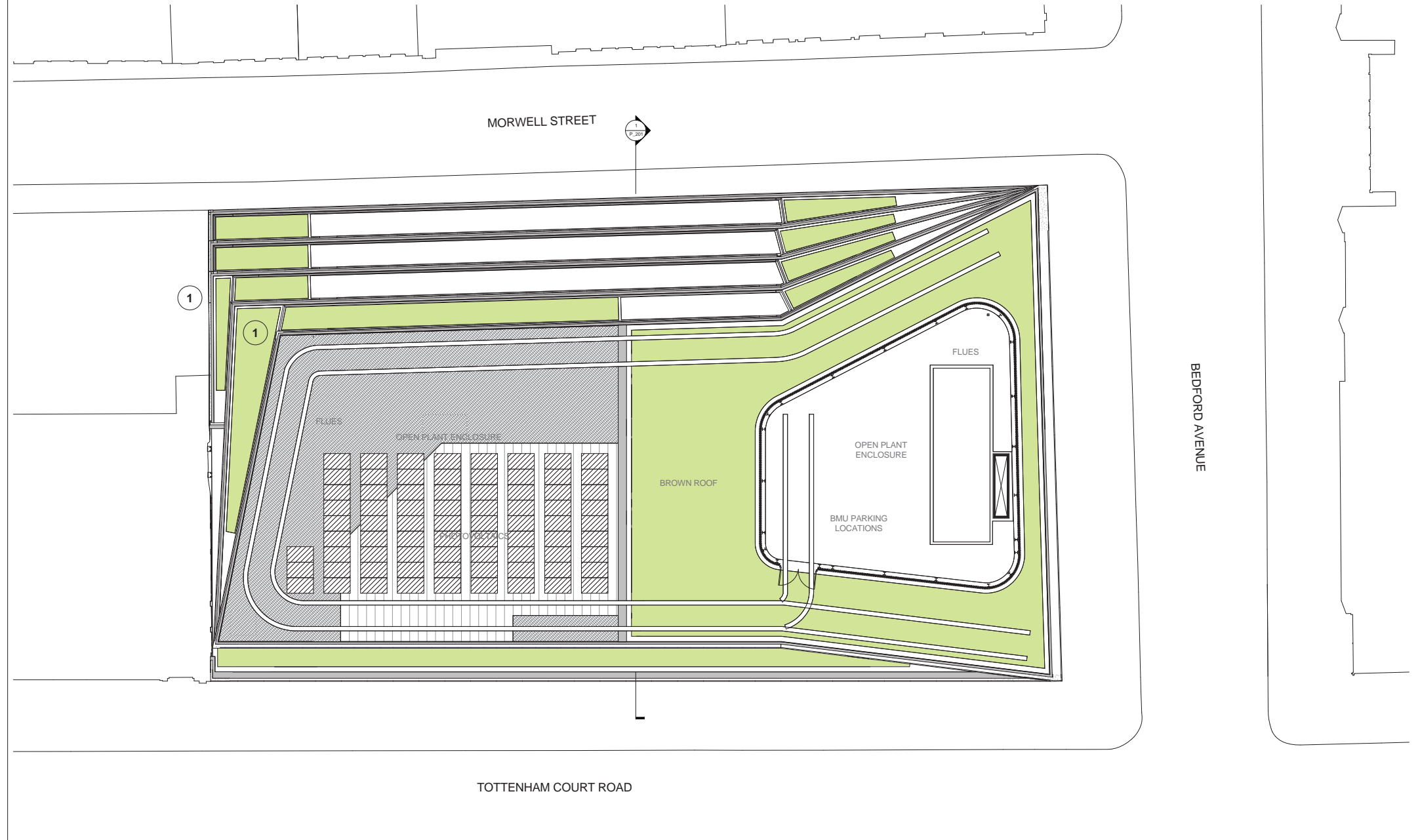
- 1- Terraces balustrade on levels 6 & 7 cut back in North-East corner to align with cladding, as requested by Camden county council planning department
- 2- Automatic opening windows on Bedford Avenue elevation amended to provide the regulatory 1.5m² smoke ventilation free area
- 3- 3no. Openable windows omitted from Bedford Avenue elevation

NOTE:
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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.
 Drawing Title
Planning
 Seventh Floor Plan

Project No. 1217
 Drawing Number
1217_P_107
 Revision
G
 Scale @ A3
 1 : 200
 Scale @ A1
 1 : 100
 Revision Date
 160518
 YY MM DD



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	MC	RB				
A 140815 Plan layout updated	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150428 Issued for information	FB	DW				
F 150602 Issued for Section 96A NMA	KC	DW				
G 160518 Amended for discharge of planning condition 10	KC	DW				

By	Chk	Revisions	By	Chk	Notes

Revisions to proposed drawing

- 1- Terraces balustrade on levels 6 & 7 cut back in North-East corner to align with cladding, as requested by Camden county council planning department
- 2- Automatic opening windows on Bedford Avenue elevation amended to provide the regulatory 1.5m² smoke ventilation free area
- 3- 3no. Openable windows omitted from Bedford Avenue elevation

NOTE:
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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
Planning
 Roof Plan

Drawing Number
1217_P_108

Scale @ A3
 1 : 200

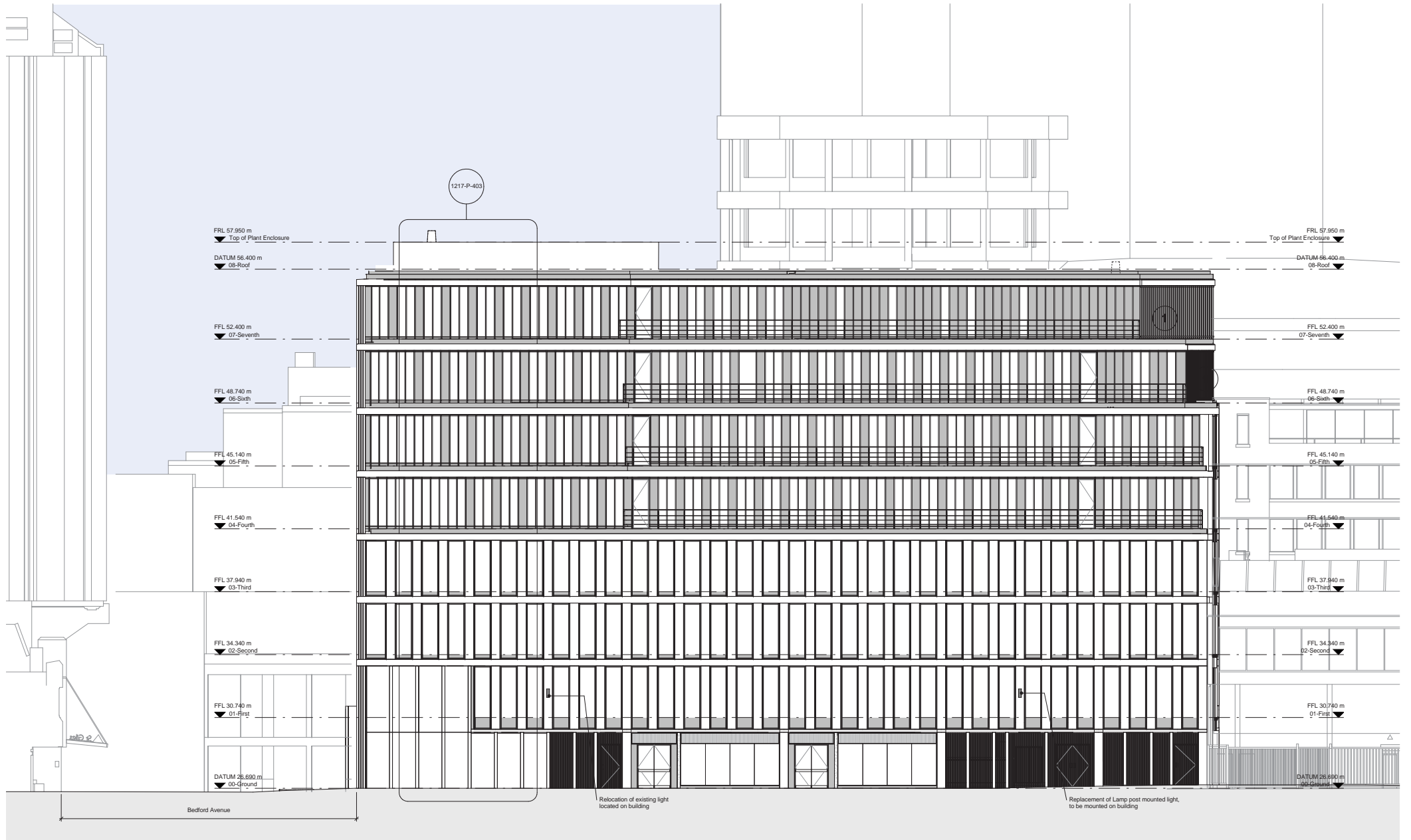
Scale @ A1
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Revision
G

Revision Date
 160518

Project No. 1217

YY MM DD



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue, Issued For Planning	MC	RB				
A 140815 Ground floor cladding amended	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 141111 Proposed Streetlight Locations	SP	DW				
F 150602 Issued for Section 96A NMA	KC	DW				
G 160518 Amended for discharge of planning condition 10	KC	DW				

Revisions to proposed drawing

- 1- Terraces balustrade on levels 6 & 7 cut back in North-East corner to align with cladding, as requested by Camden county council planning department
- 2- Automatic opening windows on Bedford Avenue elevation amended to provide the regulatory 1.5m² smoke ventilation free area
- 3- 3no. Openable windows omitted from Bedford Avenue elevation

NOTE:
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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
 Planning
 Morwell Street Elevation

Drawing Number
 1217_P_302

Scale @ A3
 1: 200

Scale @ A1
 1: 100

Revision
 G

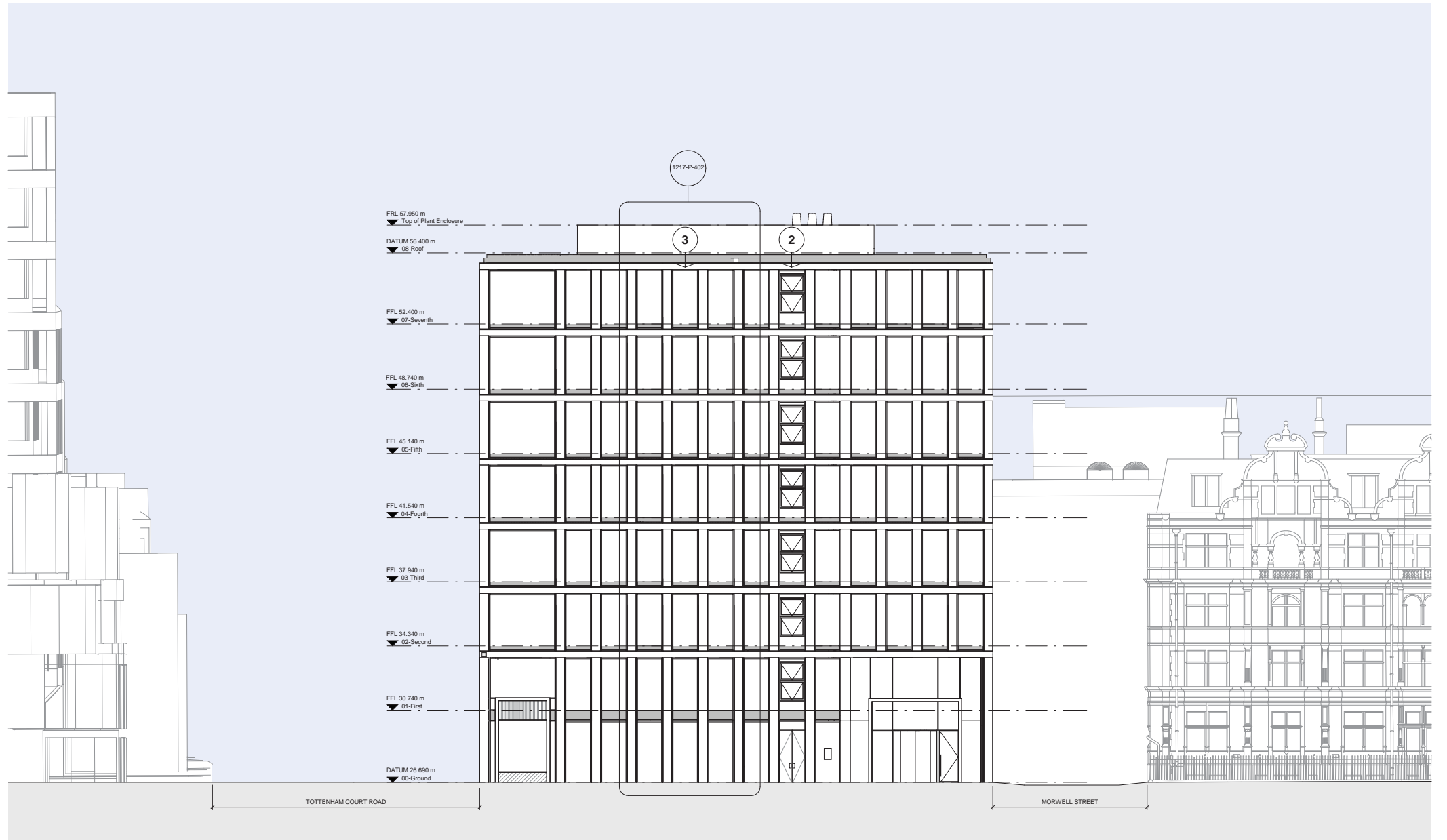
Revision Date
 160518

Project No. 1217

Revision
 G

Revision Date
 160518

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Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue, Issued For Planning	MC	RB				
A 130910 Amended for planning	MC	RB				
B 140815 Fire escape door amended	KC	DW				
C 140819 Issued for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150602 Issued for Section 96A NMA	KC	DW				
F 160518 Amended for discharge of planning condition 10	KC	DW				

Revisions to proposed drawing

- 1- Terraces balustrade on levels 6 & 7 cut back in North-East corner to align with cladding, as requested by Camden county council planning department
- 2- Automatic opening windows on Bedford Avenue elevation amended to provide the regulatory 1.5m² smoke ventilation free area
- 3- 3no. Openable windows omitted from Bedford Avenue elevation

NOTE:
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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
Planning
 Bedford Avenue Elevation

Drawing Number
1217_P_303

Scale @ A3
 1 : 200

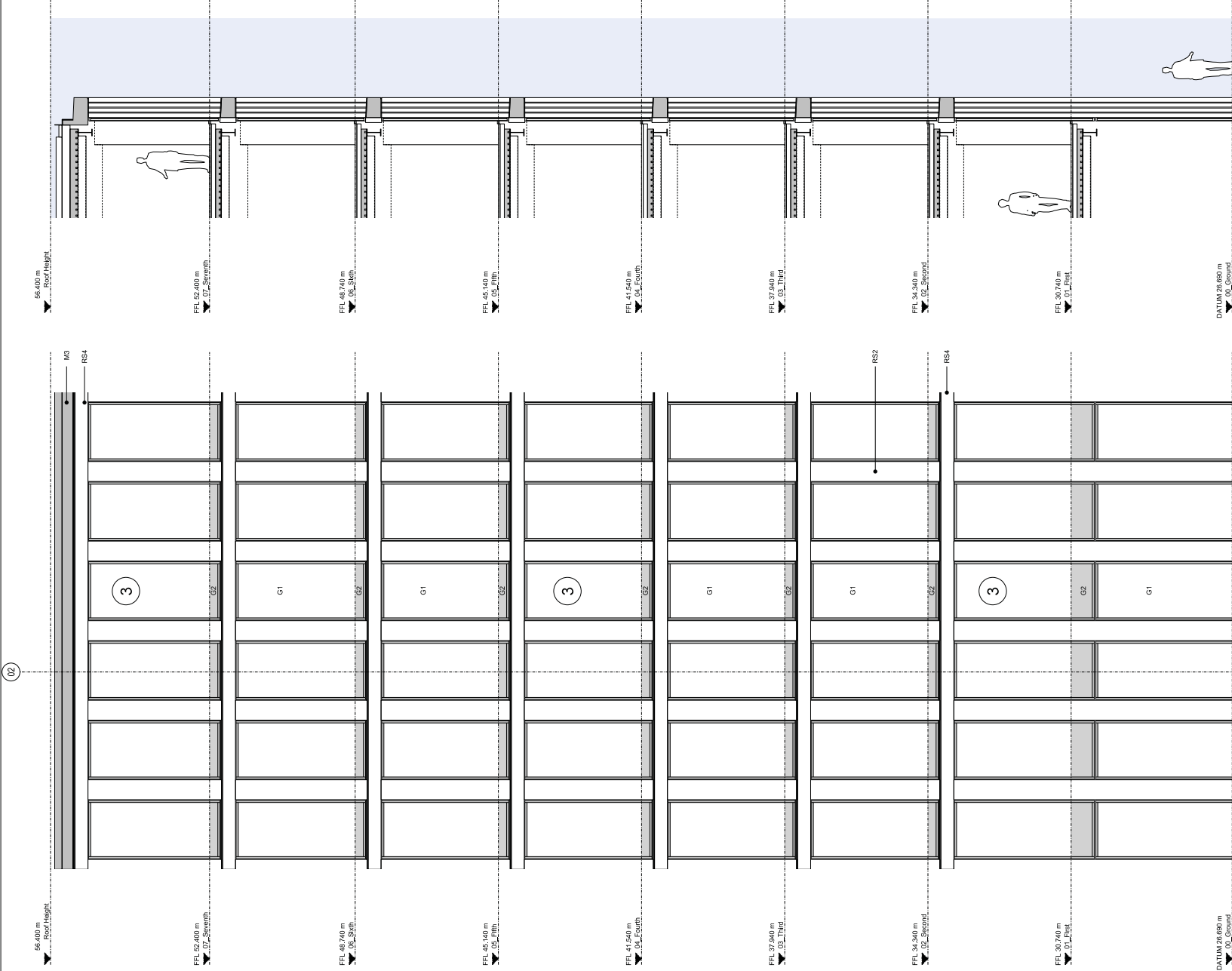
Scale @ A1
 1 : 100

Revision
F

Revision Date
 160518

Project No. 1217

YV MM DD



1 Part Elevation

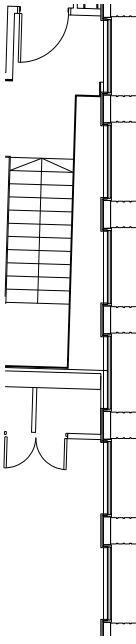
2 Part Section

KEY

GLASS
 G1: Double glazed unit within aluminum frame
 G2: Opaque double glazed unit within aluminum frame
 G3: Signage zone

RECONSTITUTED STONE
 RS1: Reconstituted stone fin
 RS2: Reconstituted stone column
 RS3: Reconstituted stone panel
 RS4: Reconstituted stone standard

METAL
 M1: Frame anodised aluminum frame
 M2: Frame anodised aluminum louvres
 M3: PPC aluminum parapet
 M4: Lead or zinc coloured metal panel
 M5: Framed PPC aluminum grille



3 Part Plan - Level 00

<p>Revisions</p> <p>A: 2023.1 First Issue Planning & M&A B: 14/05/23 Revised for Section 5&A M&A C: 16/05/23 Correction of Planning</p>	<p>By / Check</p> <p>MC / MS JG / JG KC / KC KC / KC</p>	<p>Notes</p> <p>Readers to proposed drawing</p> <p>1- Access ballustrade on level 5 & 7 cutback to non-plant cover to align with glazing, as requested by Camden county council planning department 2- No. Operable windows omitted from Bedford Avenue elevation 3- No. Operable windows omitted from Bedford Avenue elevation</p> <p>NOTE: This drawing is a proposed drawing. It is not to be used for construction without approval of the Camden county council planning department, upon approval this drawing will supersede the previous revision of this drawing, becoming the corrected drawing or drawing.</p>	<p>Project One Bedford Avenue Exemplar Properties (Bedford) Ltd.</p> <p>Drawing Title Bay Study Bedford Avenue</p> <p>Drawing Number 1217_P_402</p> <p>Scale @ A3 Scale @A1 1: 100 1: 50</p> <p>Revision C</p> <p>Revision Date 16/05/23</p> <p>Project No. 1217</p> <p>Author YV AM/ED</p>
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