

Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	MC	RB				
A 140815 Plan layout updated	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150428 Issued for information	PB	DW				
F 150602 Issued for Section 96A NMA	KC	DW				

- Revisions to proposed drawing**
- 1- Reception entrance portal amended due to design and technical detailed development
 - 2- Ground, 1st, 6th and 7th mullions on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
 - 3- Minor rationalisation on interiors due to design development
 - 4- Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-6 due to technical detailed development
 - 5- Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
 - 6- Photovoltaic panels reorientated to face south to improve energy efficiency
 - 7- Green roof amended to brown roof to improve / enhance ecological value of site
 - 8- Building mounted streetlamps indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/WB/1548.25)
 - 9- Redundant neighbouring chimney removed
 - 10- Shopfronts amended due to design and technical detailed development
 - 11- Morwell Street grille reorientated vertically to improve aesthetic appearance
 - 12- Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
 - 13- Parapets and grille amended from anodised aluminium to PPC aluminium
 - 14- Opening window added for natural smoke ventilation strategy

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
 Planning
 Seventh Floor Plan

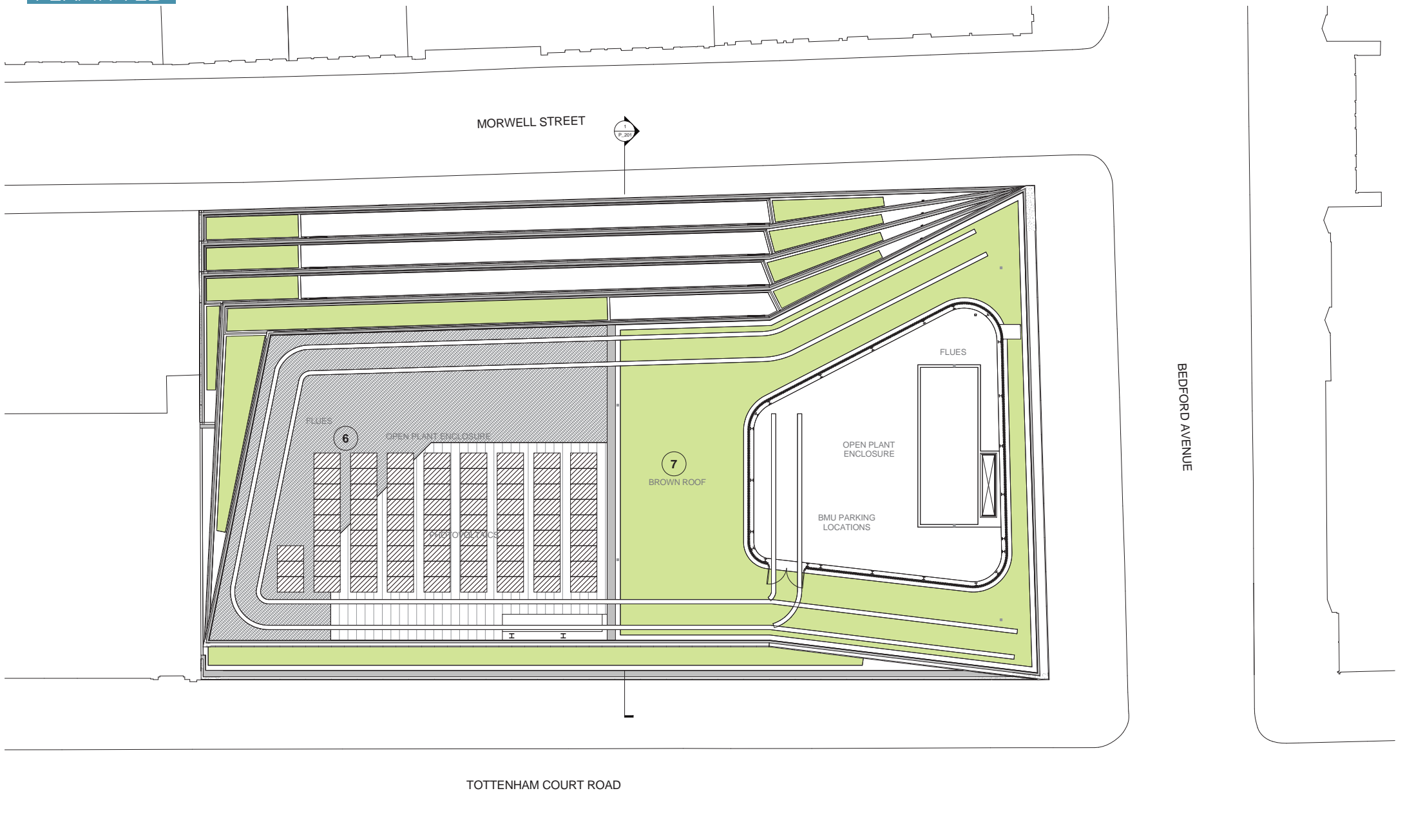
Drawing Number
 1217_P_107

Scale @ A3 1:200 Scale @ A1 1:100 Revision Date 150602

Project No. 1217

Revision
 F

YY MM DD



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	MC	RB				
A 140815 Plan layout updated	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 150428 Issued for information	PB	DW				
F 150602 Issued for Section 96A NMA	KC	DW				

Revisions to proposed drawing	
1-	Reception entrance portal amended due to design and technical detailed development
2-	Ground, 1st, 6th and 7th mullions on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
3-	Minor rationalisation on interiors due to design development
4-	Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-6 due to technical detailed development
5-	Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
6-	Photovoltaic panels reorientated to face south to improve energy efficiency
7-	Green roof amended to brown roof to improve / enhance ecological value of site
8-	Building mounted streetlamps indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/WB/1548.25)
9-	Redundant neighbouring chimney removed
10-	Shopfronts amended due to design and technical detailed development
11-	Morwell Street grille reorientated vertically to improve aesthetic appearance
12-	Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
13-	Parapets and grillage amended from anodised aluminium to PPC aluminium
14-	Opening window added for natural smoke ventilation strategy

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
 Planning
 Roof Plan

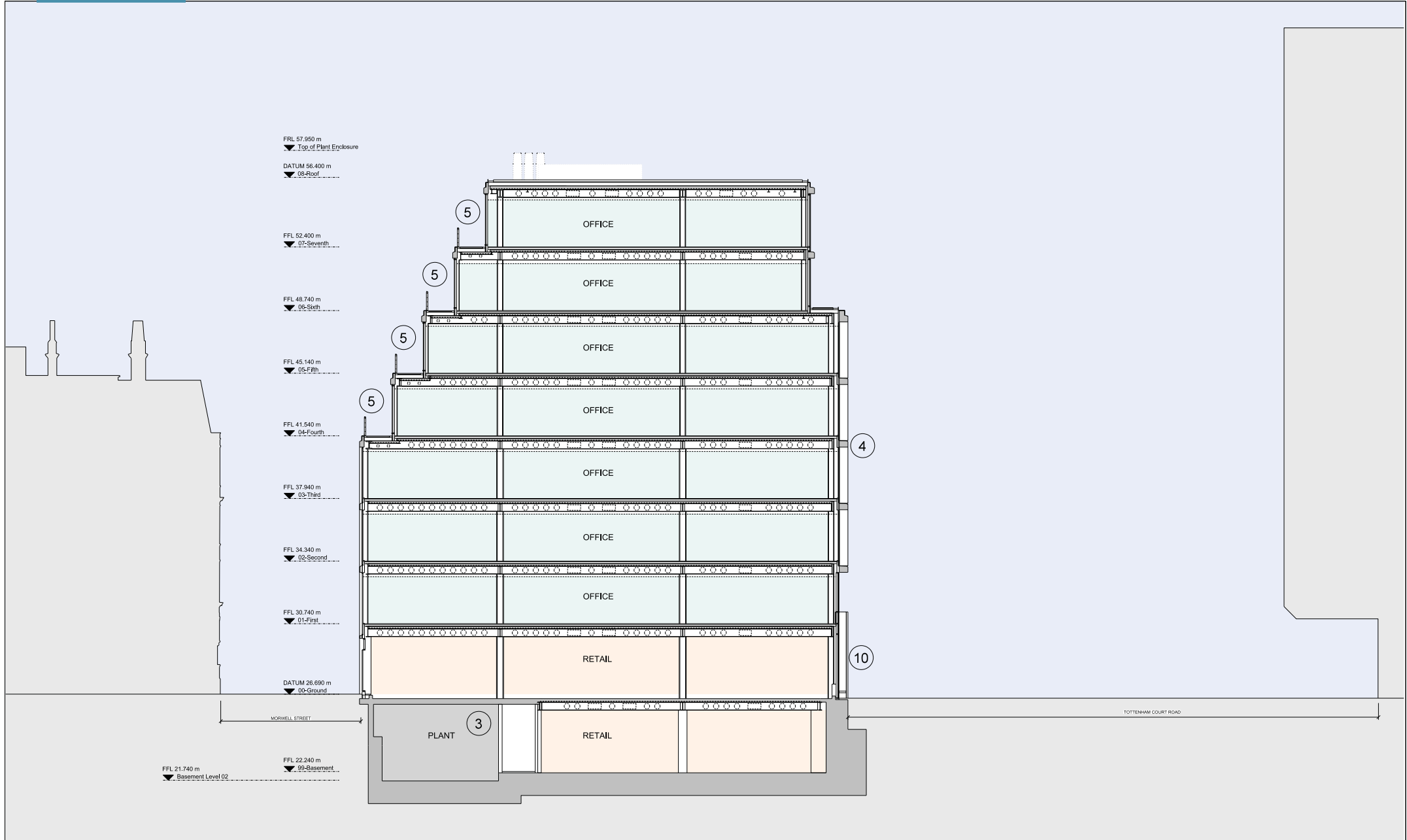
Project No. 1217

Drawing Number
1217_P_108

Scale @ A3 1:200 Scale @ A1 1:100 Revision Date 150602

Revision
F

YY MM DD



Revisions	By	Chk	Revisions
1 130531 First Issue Planning	MC	RB	
A 130910 Amended for planning	MC	RB	
B 141022 Issued for Section 73 MMA	KC	DW	
C 150602 Issued for Section 96A MMA	KC	DW	

By	Chk	Notes
		Revisions to proposed drawing
		1- Reception entrance portal amended due to design and technical detailed development
		2- Ground, 1st, 6th and 7th modules on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
		3- Minor rationalisation on elevations due to design development
		4- Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-5 due to technical detailed development
		5- Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
		6- Photovoltaic panels reorientated to face south to improve energy efficiency
		7- Green roof amended to brown roof to improve / enhance ecological value of site
		8- Bulbfin mounted streetlights indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/SWB/1548.25)
		9- Redundant neighbouring chimneys removed
		10- Shopfronts amended due to design and technical detailed development
		11- Morwell Street grille reorientated vertically to improve aesthetic appearance
		12- Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
		13- Panels and grille amended from anodised aluminium to PPC aluminium
		14- Opening window added for natural smoke ventilation strategy

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Project
One Bedford Avenue
 Exemplar

Project No. 1217

Drawing Title
 Planning
 Section 01

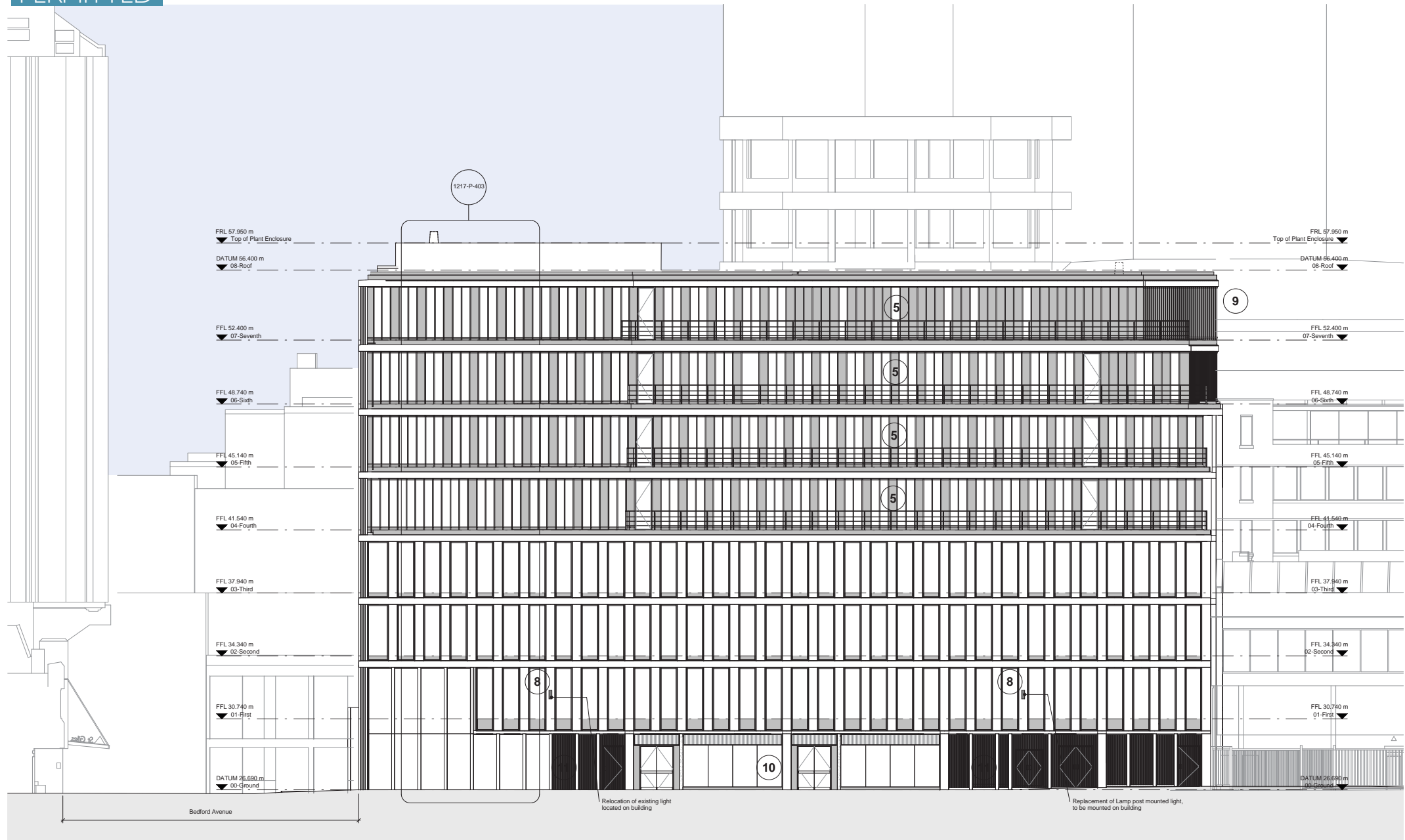
Drawing Number
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Revision
 C

Scale @ A3
 1:200

Scale @ A1
 1:100

Revision Date
 15/06/22



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	NC	RB				
A 140815 Ground floor cladding amended	KC	DW				
B 140819 Issued for Section 96A NMA	KC	DW				
C 140929 Amended for Section 96A NMA	KC	DW				
D 141022 Issue for Section 73 MMA	KC	DW				
E 141111 Proposed Streetlight Locations	SP	DW				
F 150602 Issued for Section 96A NMA	KC	DW				

Revisions to proposed drawing
1- Reception entrance portal amended due to design and technical detailed development
2- Ground, 1st, 6th and 7th mullions on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
3- Linear rationalisation on interiors due to design development
4- Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-6 due to technical detailed development
5- Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
6- Photovoltaic panels reorientated to face south to improve energy efficiency
7- Green roof amended to brown roof to improve / enhance ecological value of site
8- Building mounted streetlights indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/WB/1548.25)
9- Redundant neighbouring chimney removed
10- Shopfronts amended due to design and technical detailed development
11- Morwell Street grillage reorientated vertically to improve aesthetic appearance
12- Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
13- Parapets and grillage amended from anodised aluminium to PPC aluminium
14- Opening window added for natural smoke ventilation strategy

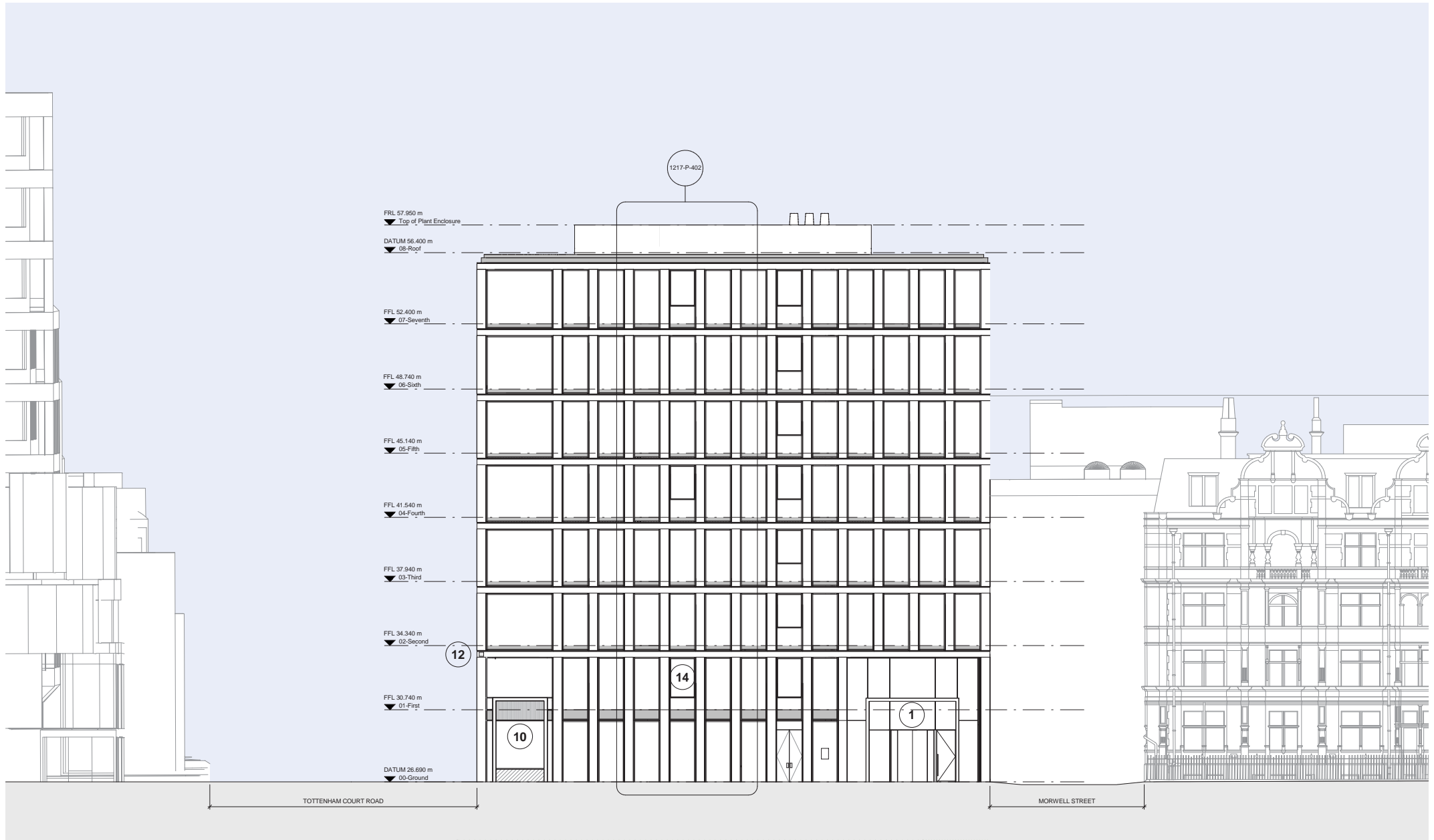
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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.
 Project No. 1217

Drawing Title
Planning
 Morwell Street Elevation

Drawing Number
 1217_P_302
 Revision
 F

Scale @ A3 1 : 200
 Scale @ A1 1 : 100
 Revision Date
 150602
 YV MM DD



Revisions	By	Chk	Revisions	By	Chk	Notes
/ 130531 First Issue. Issued For Planning	MC	RB				
A 130910 Amended for planning	MC	RB				
B 140815 Fire escape door amended	KC	DW				
C 140819 Issued for Section 96A NMA	KC	DW				
D 141622 Issue for Section 73 MMA	KC	DW				
E 150602 Issued for Section 96A NMA	KC	DW				

Revisions to proposed drawing
1- Reception entrance portal amended due to design and technical detailed development
2- Ground, 1st, 6th and 7th mullions on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
3- Minor rationalisation on interiors due to design development
4- Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-6 due to technical detailed development
5- Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
6- Photovoltaic panels reorientated to face south to improve energy efficiency
7- Green roof amended to brown roof to improve / enhance ecological value of site
8- Building mounted streetlamps indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/WB/1548.25)
9- Redundant neighbouring chimney removed
10- Shopfronts amended due to design and technical detailed development
11- Morwell Street grille reorientated vertically to improve aesthetic appearance
12- Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
13- Parapets and grille amended from anodised aluminium to PPC aluminium
14- Opening window added for natural smoke ventilation strategy

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

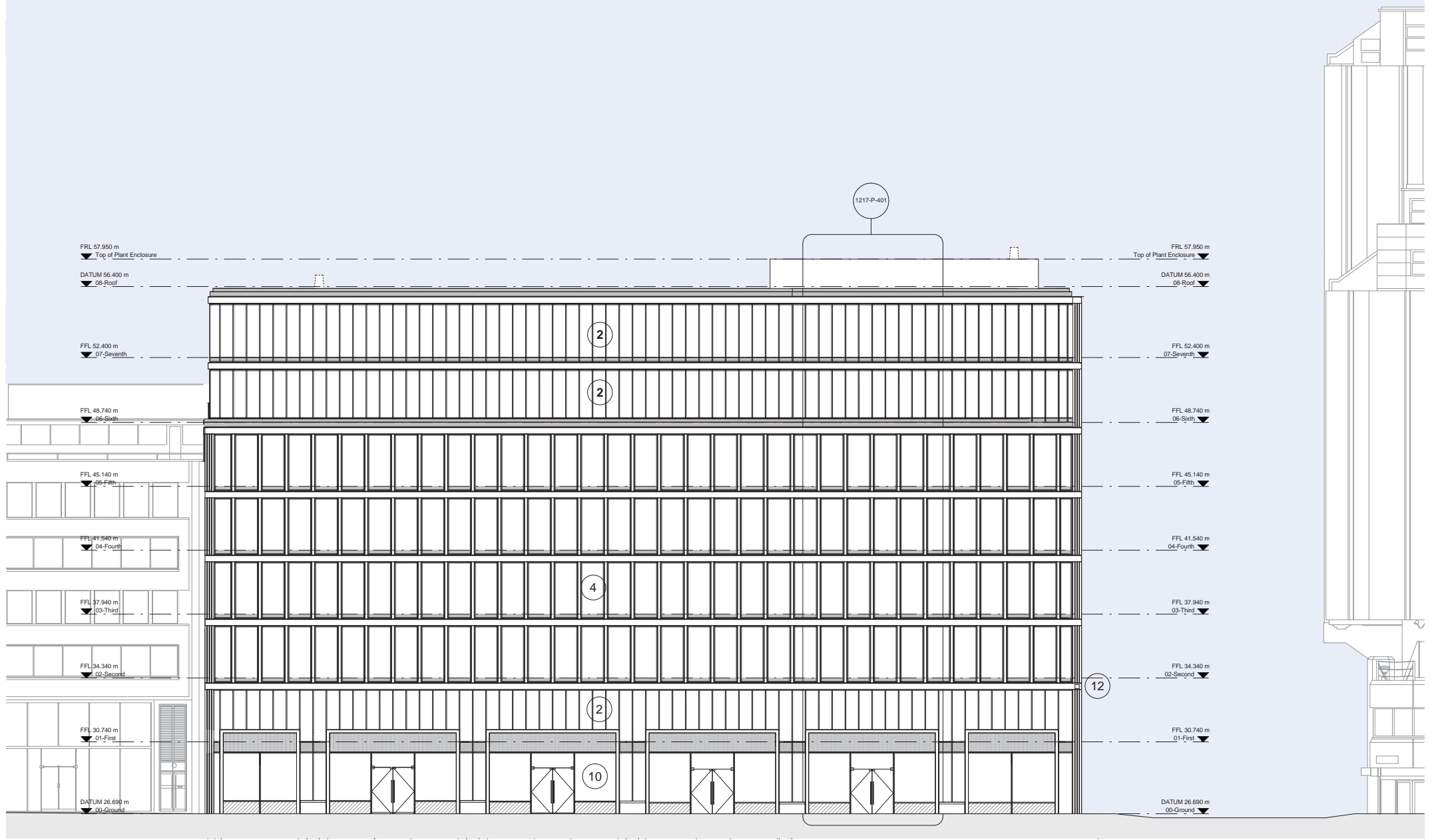
Drawing Title
Planning
 Bedford Avenue Elevation

Drawing Number
1217_P_303

Revision
E

Scale @ A3 1:200 Scale @ A1 1:100 Revision Date
 150602

Project No. 1217
 YY MM DD



Revisions	By	Chk	Revisions
A / 130531 First Issue. Issued For Planning	NC	RB	
B 141022 Issue for Section 73 MMA	NC	DW	
C 150602 Issued for Section 96A NMA	KC	DW	

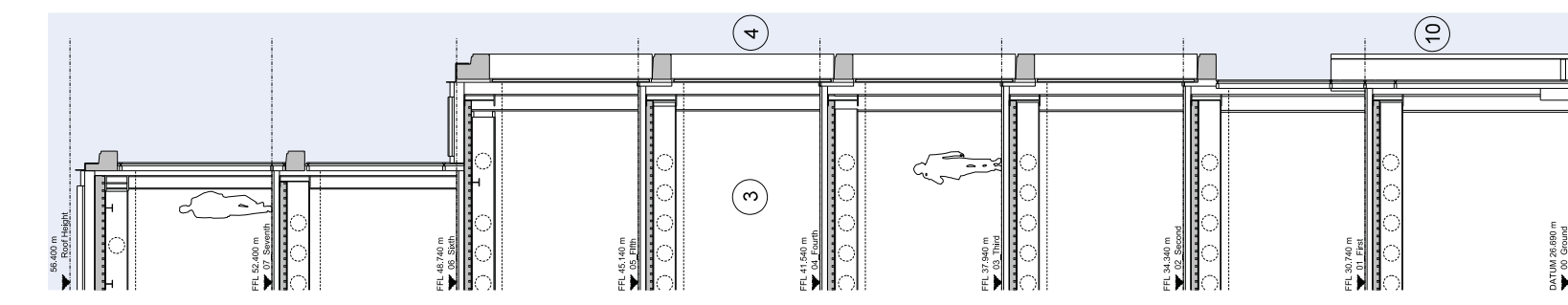
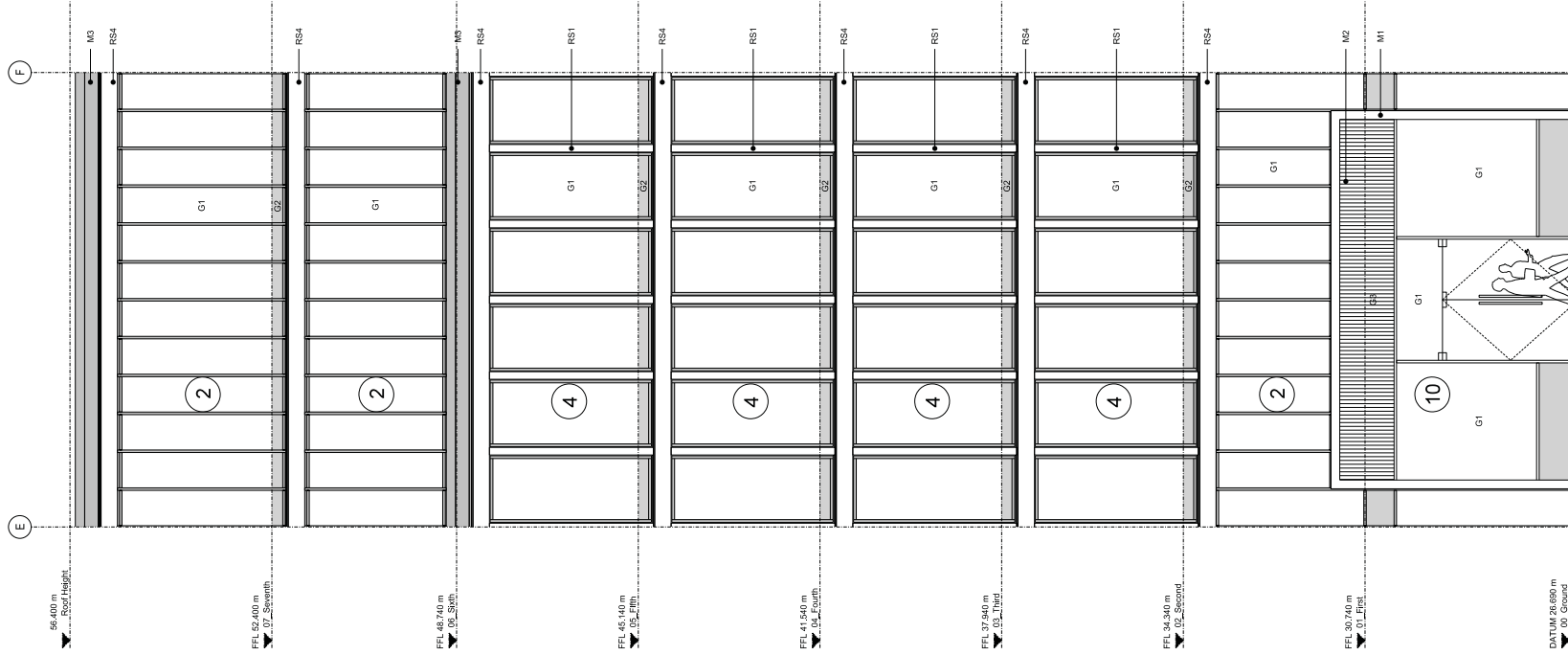
By	Chk	Notes

- Revisions to proposed drawing**
- 1- Reception entrance portal amended due to design and technical detailed development
 - 2- Ground, 1st, 6th and 7th mullions on Tottenham Court Road elevation amended from 500mm spacing to 750mm spacing
 - 3- Minor rationalisation on interiors due to design development
 - 4- Cladding fin / curtain walling arrangement on Tottenham Court Road elevation amended between levels 2-6 due to technical detailed development
 - 5- Morwell Street balustrades on levels 4-7 amended from glass to stainless steel due to design development
 - 6- Photovoltaic panels reorientated to face south to improve energy efficiency
 - 7- Green roof amended to brown roof to improve / enhance ecological value of site
 - 8- Building mounted streetlamps indicated on Morwell Street elevation as per 'Agreement relating to street lighting' (CLS/WB/1548.25)
 - 9- Redundant neighbouring chimney removed
 - 10- Shopfronts amended due to design and technical detailed development
 - 11- Morwell Street grille reorientated vertically to improve aesthetic appearance
 - 12- Bedford Estates crest / coronet added to Tottenham Court Road and Bedford Avenue corners of cladding
 - 13- Parapets and grillage amended from anodised aluminium to PPC aluminium
 - 14- Opening window added for natural smoke ventilation strategy

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.
 Drawing Title
Tottenham Court Road Elevation

Project No. 1217
 Drawing Number
1217_P_304
 Revision
C
 Scale @ A3 1:200
 Scale @ A1 1:100
 Revision Date
150602
 YV MM DD

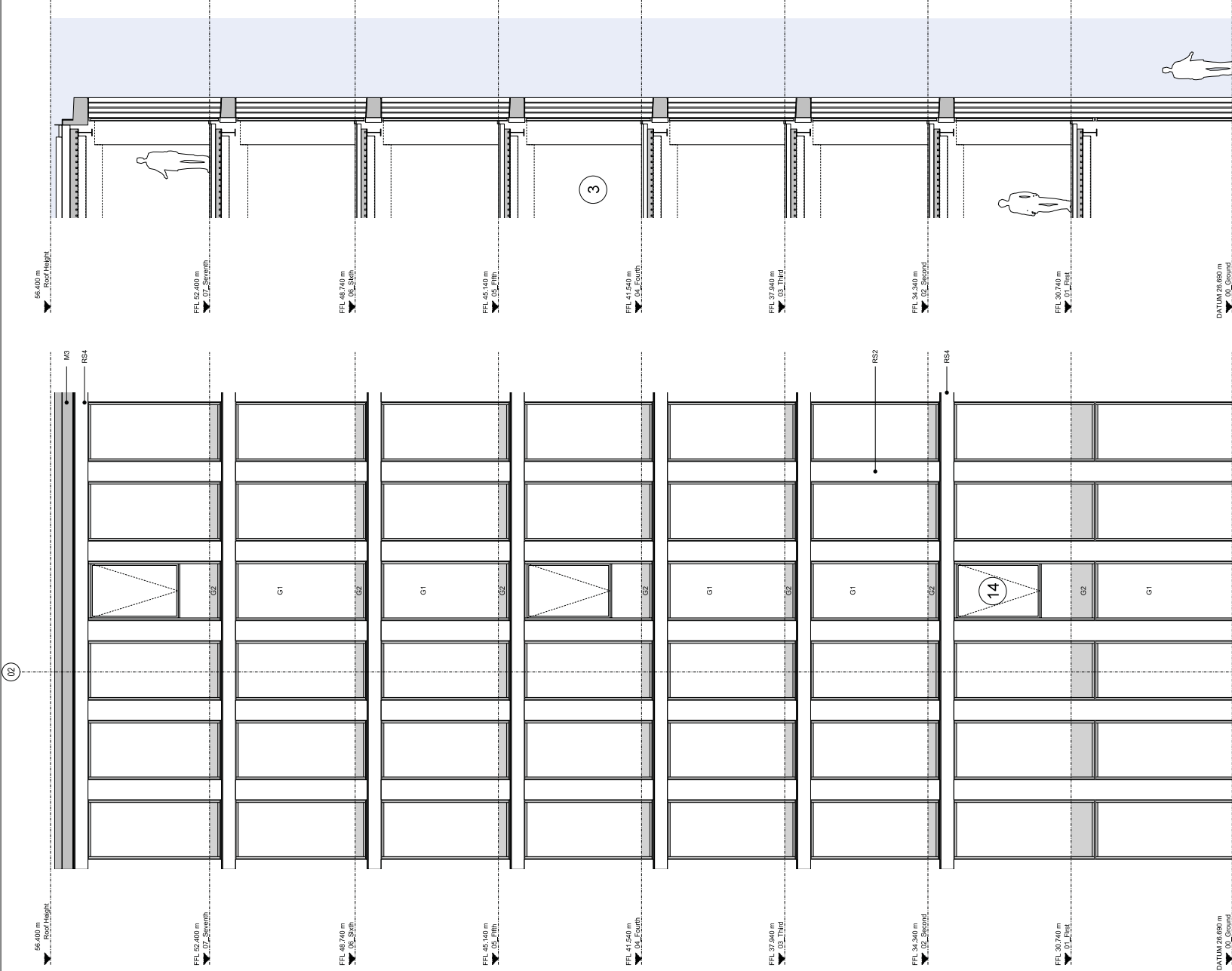


- KEY**
- GLASS**
 G1: Double glazed unit within aluminium frame (single pane to aluminium frame)
 G2: Double glazed unit within aluminium frame
 G3: Signage zone
- RECONSTITUTED STONE**
 RS1: Reconstituted stone fin
 RS2: Reconstituted stone column
 RS3: Reconstituted stone panel
 RS4: Reconstituted stone spandrel
- METAL**
 M1: Bronze anodised aluminium frame
 M2: Framed anodised aluminium louvres
 M3: Framed anodised aluminium grillage
 M4: Lead or zinc coloured metal panel
 M5: Framed PFC aluminium grillage

13

3 Part Plan - Level 00

<p>Revisions</p> <p>A: 2023.1 First Issue Planning, MHA B: 150602 based on Section 36A NDA</p>	<p>By / Check</p> <p>MC / RB RW / GW KC</p>	<p>Notes</p> <p>Revisions to proposed drawing</p> <p>1- Revisions to window panel arrangement due to density and structural related developments 2- Minor repositioning of window units to improve development 3- Minor repositioning of window units to improve development 4- Minor repositioning of window units to improve development 5- Minor repositioning of window units to improve development 6- Minor repositioning of window units to improve development 7- Minor repositioning of window units to improve development 8- Minor repositioning of window units to improve development 9- Minor repositioning of window units to improve development 10- Minor repositioning of window units to improve development 11- Minor repositioning of window units to improve development 12- Minor repositioning of window units to improve development 13- Minor repositioning of window units to improve development 14- Minor repositioning of window units to improve development 15- Minor repositioning of window units to improve development 16- Minor repositioning of window units to improve development 17- Minor repositioning of window units to improve development 18- Minor repositioning of window units to improve development 19- Minor repositioning of window units to improve development 20- Minor repositioning of window units to improve development</p>	<p>Project</p> <p>Bennetts Associates Architects 1 Rowstone Place London EC1V 7NL T +44 (0)20 7320 3300 F +44 (0)20 7320 3333 E mail@bennettsassociates.com www.bennettsassociates.com</p>	<p>Project No. 1217</p> <p>One Bedford Avenue Exemplar Properties (Bedford) Ltd.</p> <p>Drawing Number 1217_P_401</p> <p>Scale @ A3 1:100 Scale @ A1 1:50</p> <p>Revision B</p> <p>Revision Date 150602</p> <p>YY MM DD 11 06 23</p>
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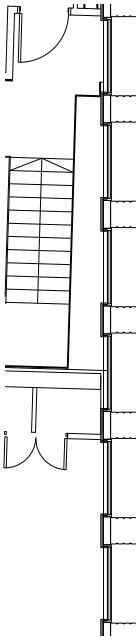
1 Part Elevation

2 Part Section

KEY

- GLASS**
 G1: Double glazed unit within aluminum frame
 G2: Opaque double glazed unit within aluminum frame
 G3: Signage zone
- RECONSTITUTED STONE**
 RS1: Reconstituted stone fin
 RS2: Reconstituted stone column
 RS3: Reconstituted stone panel
 RS4: Reconstituted stone standard
- METAL**
 M3: Frosted anodised aluminium frame
 M2: Frosted anodised aluminium louvers
 M1: PPC aluminium parapet
 M4: Lead or zinc coloured metal panel
 M5: Framed PPC aluminium grille

13



3 Part Plan - Level 00

<p>Revisions</p> <p>A: 15/03/21 First Issue Planning & MIA B: 15/06/22 Based on Section 16A MIA</p>	<p>Notes</p> <p>By: CLK MC: CS CC: GW KC</p> <p>Revisions to proposed drawing</p> <ol style="list-style-type: none"> 1- Revises entrance detail, amended due to delivery and technical details development 2- Amend window arrangement on Terrace level due to design development 3- Minor repositioning of panels due to design development 4- Amend window arrangement on Terrace level due to design development 5- Amend Stone balustrades on levels 4-7, amended from glass to metal due to design development 6- Amend window arrangement on Terrace level due to design development 7- Amend window arrangement on Terrace level due to design development 8- Amend window arrangement on Terrace level due to design development 9- Amend window arrangement on Terrace level due to design development 10- Amend window arrangement on Terrace level due to design development 11- Amend window arrangement on Terrace level due to design development 12- Amend window arrangement on Terrace level due to design development 13- Amend window arrangement on Terrace level due to design development 14- Opening window amended for natural smoke ventilation strategy
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Project No. 1217

Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

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Drawing Title
 Bay Study Bedford Avenue

Drawing Number
 1217_P_402

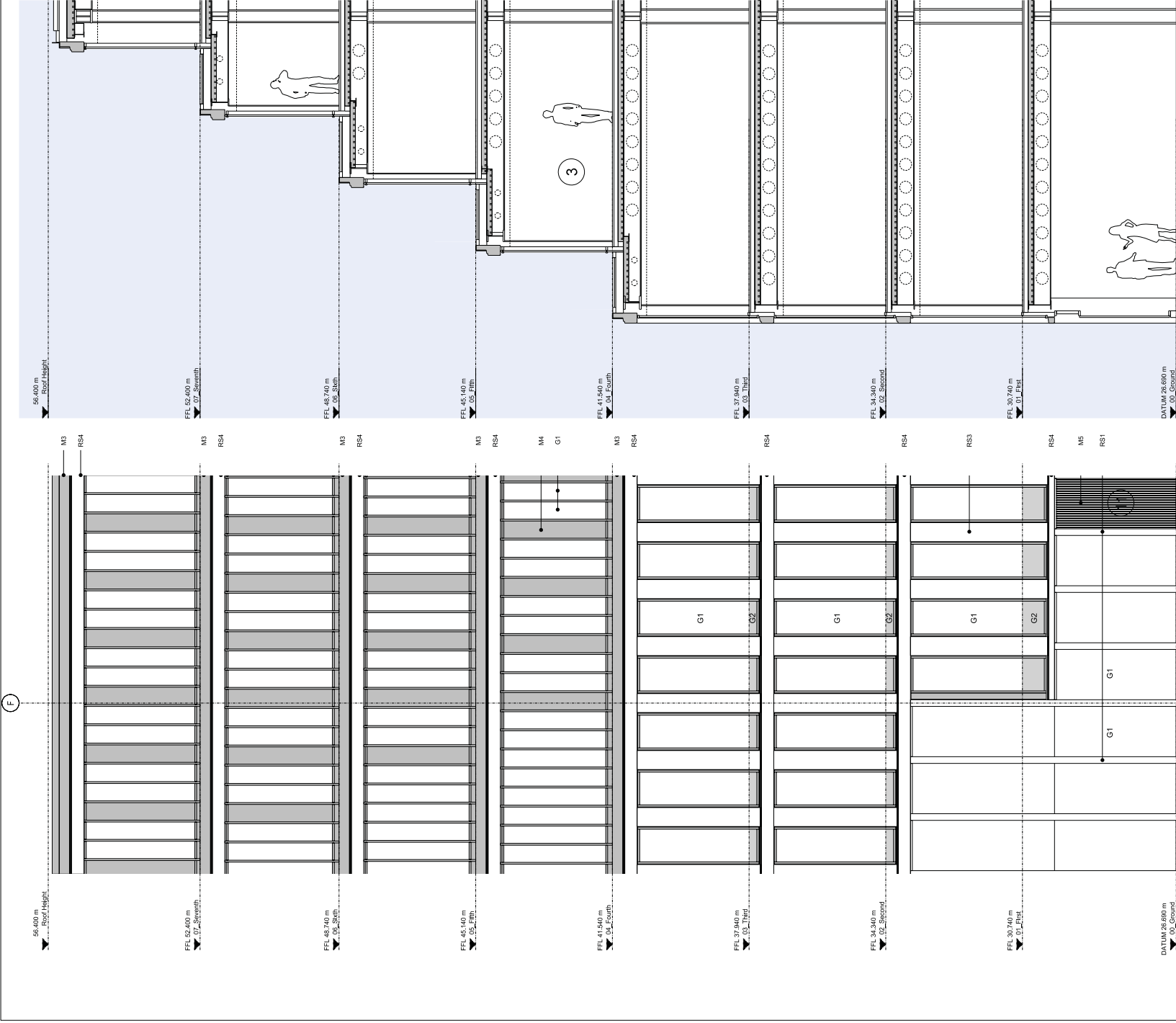
Revision
 B

Scale @ A3
 1:100

Scale @ A1
 1:50

Revision Date
 15/06/22

Prepared By
 YV, AM, ED



1 Part Elevation

2 Part Section

3 Part Plan - Level 00

KEY

- GLASS**
 G1: Double glazed unit within aluminium frame
 G2: Opaque double glazed unit within aluminium frame
 G3: Signage zone

RECONSTITUTED STONE

- RS1: Reconstituted stone fin
 RS2: Reconstituted stone column
 RS3: Reconstituted stone panel
 RS4: Reconstituted stone spartriel

METAL

- M1: Anodised aluminium frame
 M2: Framed anodised aluminium louvres
 M3: PPC aluminium parapet
 M4: Lead or zinc coloured metal panel
 M5: Framed PPC aluminium grillage

13

Revisions
 A: 1505231 First Issue Planning & MHA
 B: 1506022 Based on Section 16A MHA

By / Check
 MC / RB
 RB / RB
 KC / KC

- Notes
 1- Revision to proposed drawing
 2- Consideration of fire risk mitigation measures to be taken in relation to the proposed development
 3- Minor amendments to the drawing in relation to the proposed development
 4- Proposed signage to be installed on the facade of the building
 5- Proposed signage to be installed on the facade of the building
 6- Proposed signage to be installed on the facade of the building
 7- Proposed signage to be installed on the facade of the building
 8- Proposed signage to be installed on the facade of the building
 9- Proposed signage to be installed on the facade of the building
 10- Proposed signage to be installed on the facade of the building
 11- Proposed signage to be installed on the facade of the building
 12- Proposed signage to be installed on the facade of the building
 13- Proposed signage to be installed on the facade of the building
 14- Proposed signage to be installed on the facade of the building

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Project
One Bedford Avenue
 Exemplar Properties (Bedford) Ltd.

Drawing Title
 Bay Study Norwell Street

Drawing Number
 1217_P_403

Scale @ A3
 1: 100

Scale @ A1
 1: 50

Revision
 B

Revision Date
 150602

YY MM DD
 15 06 02

Project No. 1217