

KEY CONTINUED:

- Existing trees to be retained. Refer to Arboricultural Survey for criteria.
- Planting Type 1: Street Frontage. Allow £200/m², including topsoil, mulch etc. For details refer to Plant Schedule.
- Planting Type 2: Gardens. Allow £200/m², including topsoil, mulch etc. For details refer to Plant Schedule.
- Root Protection Area for retained trees.

- Proposed trees. Allow £2,500 each including tree pit, u/g guying, 24 months DLP etc. For details refer to Plant Schedule.
- Lt Liriodendron tulipifera fastigiata (Tulip Tree) 40-50cm girth stock
- Sa Sorbus aucuparia (Rowan) 40-50cm girth stock
- Cb Carpinus betulus 'Fastigiata' (Fastigiata Hornbeam) 40-50cm girth stock
- Bp Betula pendula (Silver Birch) 40-50cm girth stock
- Sl Sorbus intermedia (Swedish Whitebeam) 40-50cm girth stock
- Pp Prunus padus (Bird Cherry) 40-50cm stock

Architectural and Structural information shown is indicative only. Contractor external designer to co-ordinate with current Architectural and Structural information.
 Existing back garden wall to be rebuilt to match existing. Re-use existing brick or new brick to match existing. Liaise with neighbors as necessary as to agree method statement and programme.
 For exact details on foundations / Build-ups / Structural information etc please refer to Engineers and Architects details.

- NOTES**
- This drawing is copyright of Camlins and may not be reproduced in whole or in part without the written permission of Camlins.
 - Do not scale from this drawing.
 - All dimensions in millimetres unless otherwise shown.
 - All levels in metres above Ordnance Datum (mAOD) unless otherwise shown.
 - All dimensions to be checked on site and any discrepancies reported to CA before pricing / work starts.
 - Any ambiguities or discrepancies within this drawing or between this drawing and any other information given elsewhere must be reported to Camlins and the CA for clarification before pricing / work proceeds.
 - All drawings to be read in conjunction with other Camlins drawings and specification and relevant Engineer's and Architect's work packages as appropriate.
 - All works carried out in accordance with the latest British Standards and appropriate codes of practice as a minimum.



- KEY**
- Boundary
 - Boundary wall. Brickwork to match surrounding vernacular. For details refer to Drg. No. LL487-400-0251 & LL487-400-0255
 - Garden Walls/Lightwell Walls. Light Dutch Clay Pavers (L215mm x W52mm x D70mm) Suggested Dutch Clay Paver and Brick Supplier: Vandemoortel. For details refer to Drg. No. LL487-400-0254
 - Flush grate on top of Lightwell Wall. For details refer to Drg. No. LL487-400-0257
 - Securable gate. For details refer to Drg. No. LL487-400-0258
 - Trellis. For details refer to Drg. No. LL487-400-0301
 - 2m High High Opacity Fence on top of Wall. For details refer to Drg. No. LL487-400-0252
 - Existing levels where retained. For details refer to Drg. No. LL487-400-0021
 - Existing Levels not Retained. For details refer to Drg. No. LL487-400-0021
 - Proposed levels. For details refer to Drg. No. LL487-400-0021
 - Paving Type 1 (P1): Terracotta Tile. Suggested Supplier: Living Terracotta. For details refer to Drg. No. LL487-400-0031 & LL487-400-0201
 - Paving Type 2 (P2): Dutch Clay Pavers. Suggested Dutch Clay Paver and Brick Supplier: Vandemoortel. For details refer to Drg. No. LL487-400-0031 & LL487-400-0202
 - Paving Type 2 (P2): Dutch Clay Pavers. Suggested Dutch Clay Paver and Brick Supplier: Vandemoortel. For details refer to Drg. No. LL487-400-0031 & LL487-400-0202
 - Guilley. For details refer to Drg. No. LL487-400-0241
 - Drainage Channel. For details refer to Drg. No. LL487-400-0241
 - Slot Drain. For details refer to Drg. No. LL487-400-0242
 - Concrete Lightening Earth Chamber. See Engineers details for specifications.

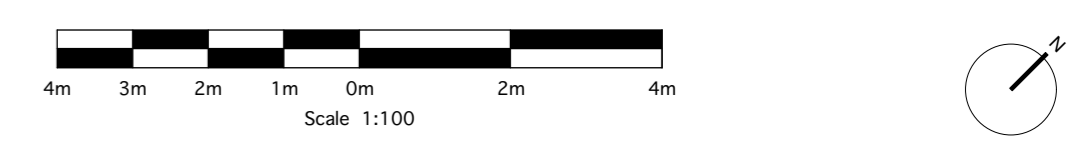
- Allowances should be included for the following items:
- External lighting
 - Irrigation
 - Signage
 - Furniture and fixings
 - Handrails, tactile paving etc. to steps
 - Drainage (see drawing LL489-400-0002)
 - Controls/automation etc. to gates
 - Electricity and water supply facilities for maintenance and events

All works in adopted highway to be Section 278 works and or reinstatement of existing condition, all to be agreed with LHA.
 All liaise with LHA to be via transport engineer.
 Additional Tree Works: As per the site discussion with the Tree Officer James Remington on the 16th October 2015 - Reduce crown heights and lateral extent of branches on the east, south and west side of the crowns by not more than 3 metres. All pruning cuts will be made back to a suitable growing point that maintains a flowing branch line and character of the tree. All internal growth will be maintained. Pruning cuts should not normally exceed 100mm diameter. All works will be completed by a trained arboriculturalists and under the supervision of the project Arboricultural Consultant.

The reason for the works is to reduce the wind load on the trees which will increase following demolition of the building which has provided shelter for the last several decades.

Revisions

Rev:	Date:	Description:	Revised by:	Checked by:
1	14/04/2016	Note change to 'Rebuild' existing back garden LC wall. External level change to meet +100.82m LGF. General update of Architectural information, including building layout, lightwell removal and reduction to break out panel and P1 paving.		PSS



EMPLOYERS REQUIREMENTS
FITZJOHNS AVENUE
PEGASUS LIFE

General Arrangement - Landscape Plan

Drawing No.:	Revision:	Scale:	Date:
LL489-400-0001	1	1:100@A1	18.03.2016

Drawn by: LC
 Checked by: PSS

Camlins
 Landscape Architects, New Dolanog House, Severn Road, Welshpool, Powys, SY21 7AP
 Tel: 01938 554886 / studio@camlins.com / www.camlins.com