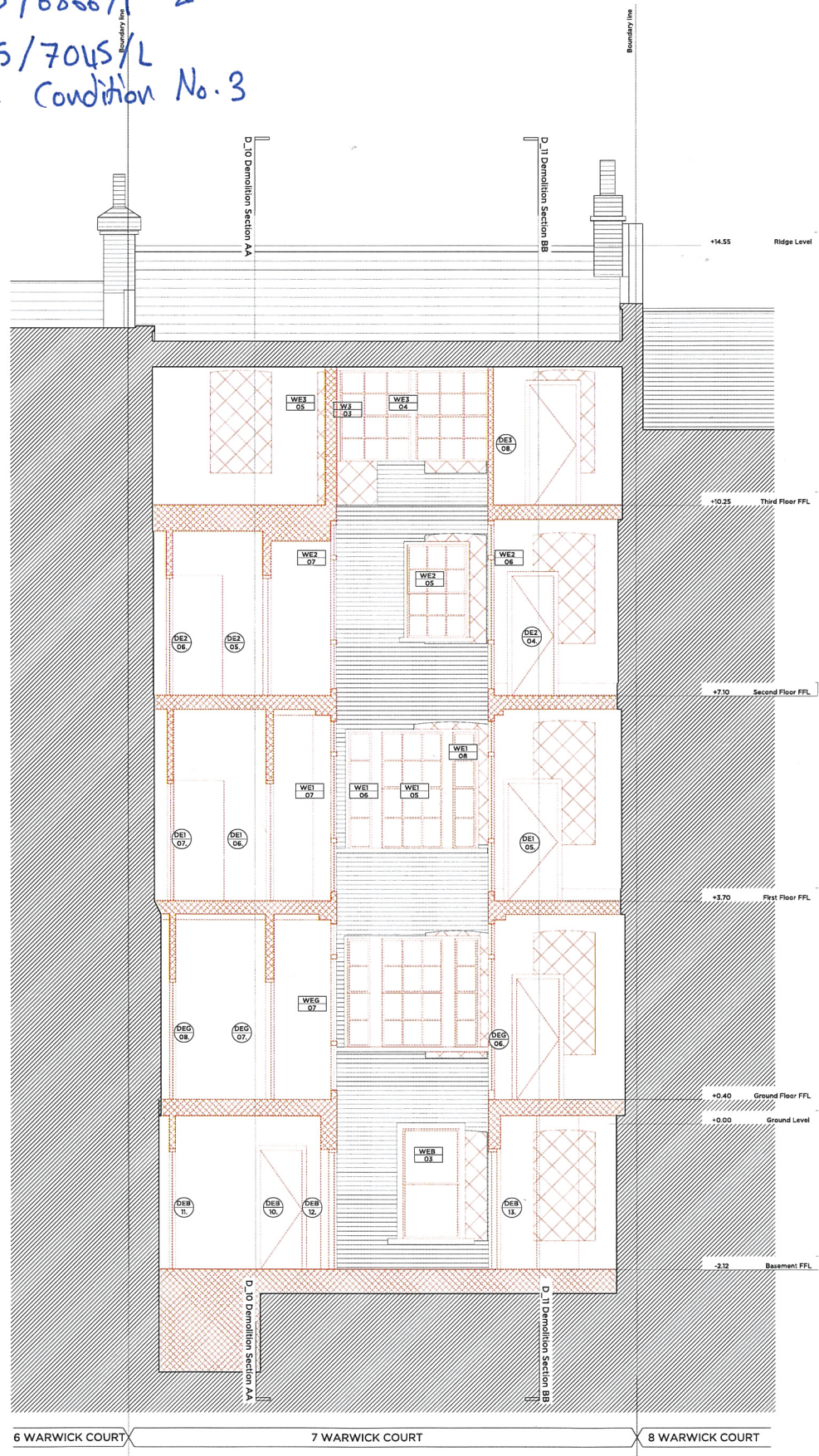


Reference Elevation  
 Planning Condition Application  
 Ref: 2015/6866/P &  
 Ref: 2015/7045/L  
 Approval of Condition No.3



Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (on elevation)
- Proposed removal of existing structure/fittings (on elevation)
- Proposed removal of existing structure (on section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (on elevation)

Proposed finishes legend:

- Proposed straight-plank hardwood floor finish on specified floor build-up
- Proposed tiled floor finish on specified floor build-up
- Portland stone
- Proposed slate roof finish on existing roof structure and new roof structure
- Timber decking
- Natural stone floor tiles

General Notes:

- Refer to the Door and Window Schedules for a detailed summary of each door and window.
- All existing floor finishes and existing splay to be carefully removed.
- Existing floorboards to be carefully removed and reused where possible. New noggings/joints are to be installed to the top of the existing joists in order to level the structural Engineer's information. Saw profiles left throughout.
- New drainage and concrete slab to be laid at basement level.
- Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be re-laid. New slates to match existing to replace any damaged slates. Bedrock to the full portion of the roof, existing surface course and dormer windows to be removed and replaced on a like-for-like basis.
- Joints are to be finished to the same standard as the original to support increased structural Engineer's demands.
- Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
- All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
- Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes:

- 01 Existing panelling to be removed and redone.
- 02 Existing window replaced with double glazed, timber framed sash window.
- 03 Non-original fireplaces to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/fronking to be removed.
- 05 Traditionally detailed, compliant, timber skirting/fronking to be removed.
- 06 Existing wall windows re-established and fitted with secondary glazing internally.
- 07 Zinc brompton bicycles & E250 bicycle rack to be supplied to each flat.
- 08 New double-glazed, timber framed sash window. Refer to Design & Access Statement.
- 09 New lift.
- 10 Damaged window sills replaced on a like-for-like basis.
- 11 Lightwell to be lowered by 100mm.
- 12 Existing near entrance retained.
- 13 New, contemporary brick-clad rear extension to replace existing.
- 14 Proposed bin store.
- 15 New, double-glazed, sprouted aluminium, white-painted, framed windows, with etched glass louvers fitted externally.
- 16 New, fixed, double-glazed, sprouted aluminium framed glazing panels.
- 17 New, double-glazed, walk-on rooflight.
- 18 New, double-glazed, conservation rooflight.
- 19 Partial demolition of existing roof, new ridge proposed, matching height and width of existing.
- 20 New, automatic-opening vent to communal stair.
- 21 Terrace to the roof of proposed rear extension, with timber decking, new planting and 'step-around' glass balustrade.
- 22 The proposed condenser in attenuated enclosure.
- 23 Reinstated stair to basement level, with compliant, traditionally-detailed timber balustrade.
- 24 New, single glazed, timber framed window to match existing, fitted with traditionally-detailed fireplace.
- 25 Existing fireplace to be protected and covered.
- 26 Reconfiguration of existing stair.
- 27 New dummy window.
- 28 New double-glazed, traditionally detailed French door.
- 29 Living to party wall.
- 30 Proposed lead dormer arrangement to line through with existing window. Re-establishment of existing non-original dormer windows.
- 31 Terrace to Flat 01, with new planting and Yorkstone paving.
- 32 Existing joints to be trimmed out.
- 33 Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- 34 Single, surviving cast-iron spindle to be preserved and maintained.
- 35 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- 36 Slate to be removed, re-laid and new mansard window. Existing slates to be re-laid and any new slates to match existing.
- 37 Existing facade to be re-rendered and redecorate.
- 38 Etched glass partition.
- 39 New Railings.
- 40 Fixed & obscure proposed windows.
- 41 Proposed floor.
- 42 Paint to be removed from Brickwork and re-pointed as required.

Rev A 03.12.15 Issued for planning submission

# PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100@A3 / 1:50@A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Section EE

Drawing No. P\_14 Rev. A

Drawn	Approved	Signed
DI	MW	AB

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0 0.5m 1m 2m 3m 4m 5m