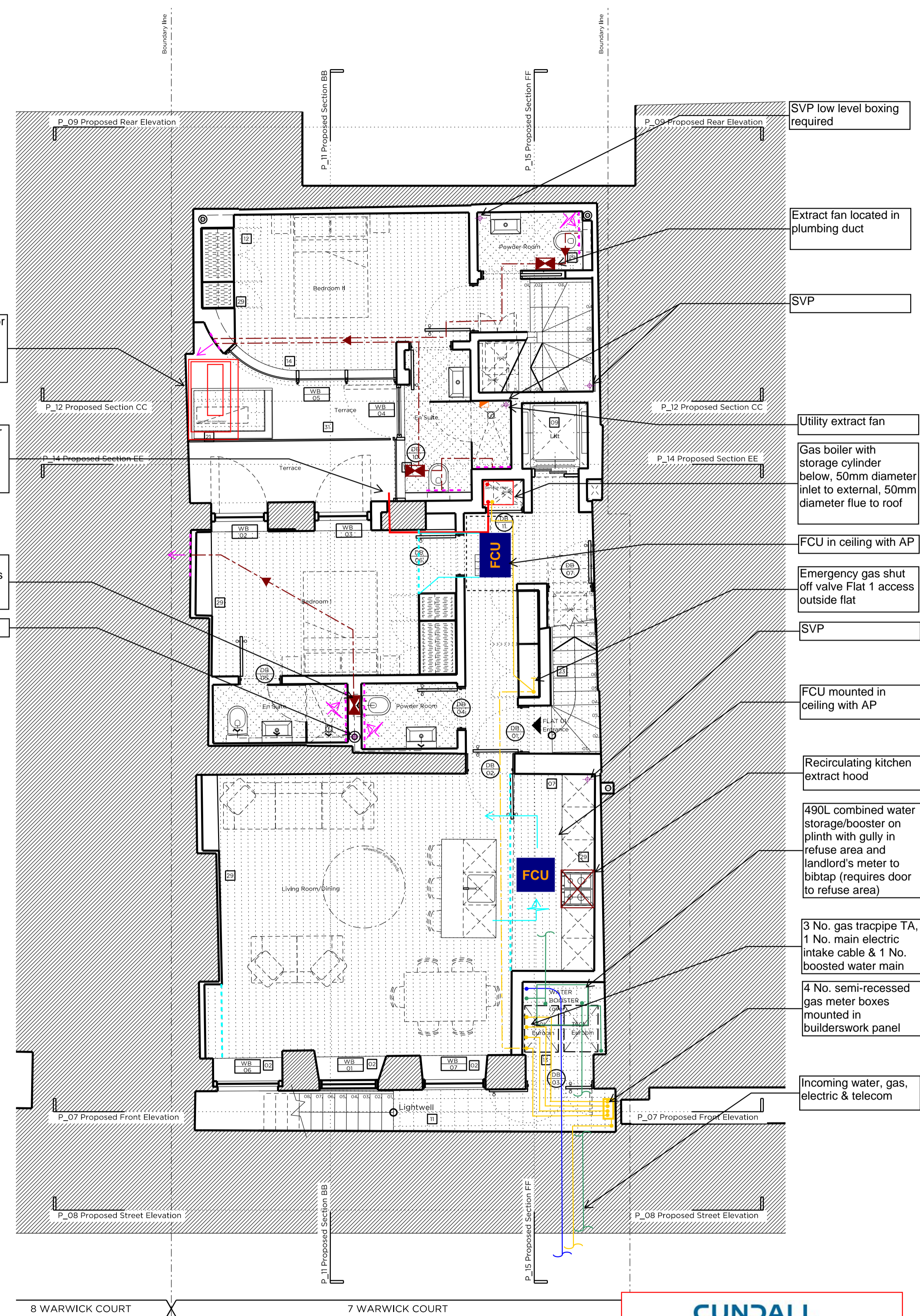
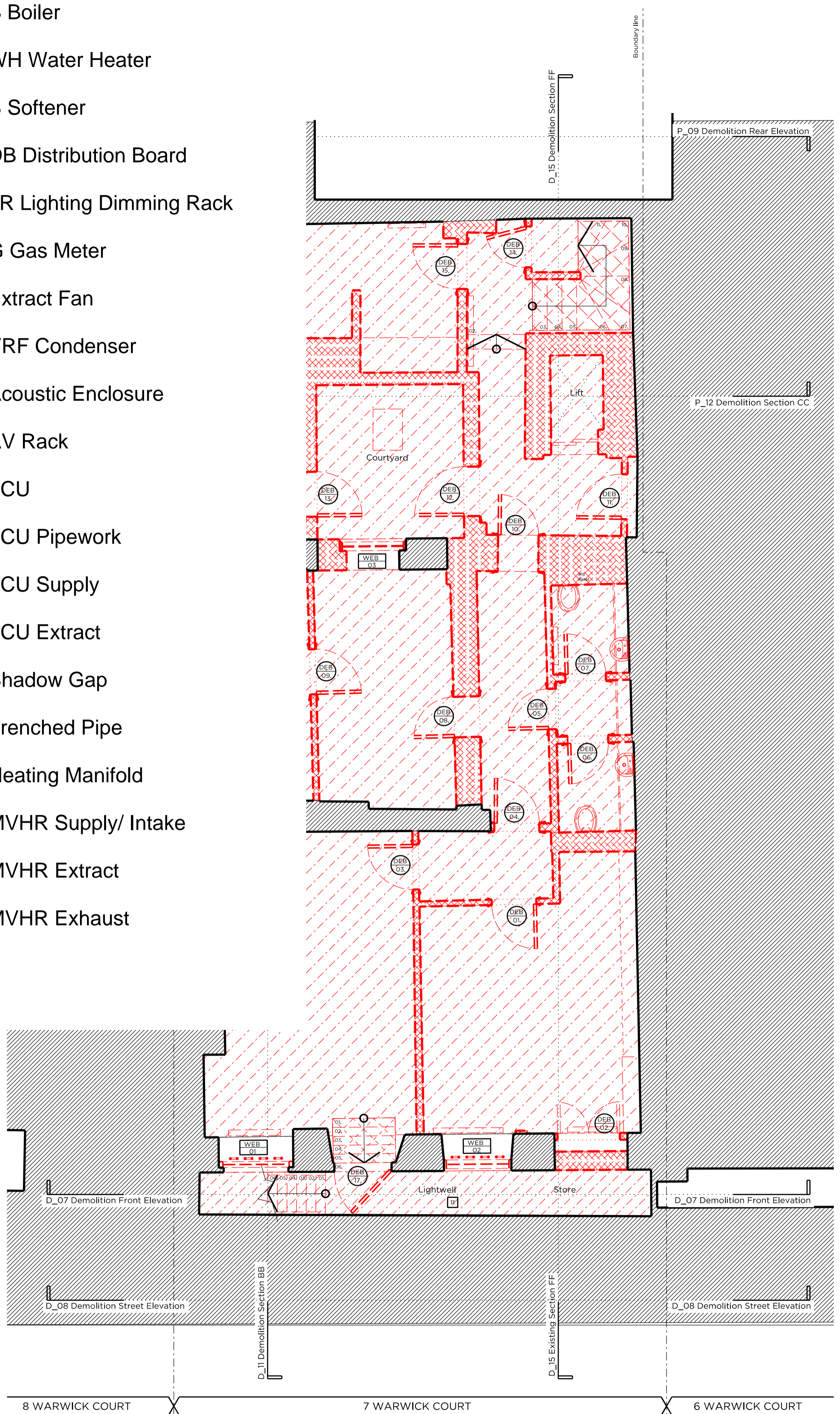


- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed finishes legend**

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish on existing and new roof structure

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level the Structural Engineer's information. Low profile UPJ throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored and new roof felt installed. Existing slates to be placed over slates to match existing to replace any damaged slates. Gutters to be removed and replaced with a 100mm wide gutter. Existing roof structure to be removed and replaced on a 100mm wide base.
7. Slates are to be removed and strengthened where required to support increased loads to Structural Engineer's details.
8. Existing internal walls are to be skinned and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double glazed, timber framed sash window.
- 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, trompon bicycles & £250 bicycle voucher to be supplied to each flat.
- 08 Traditionally detailed, compliant window substitute to replace existing.
- 09 Existing sash windows refurbished and fitted with secondary glazing internally.
- 10 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 11 Damaged window sills reduced on Brickwork level.
- 12 Lightwell to be lowered by 100mm.
- 13 New, painted metal stair to accommodate level change.
- 14 Existing rear envelope retained. New, copper-clad, timber framed roof structure to be preserved and maintained.
- 15 Proposed tin stone.
- 16 New, double-glazed, anodised aluminium, reinforced fibre framed windows, with attached glass louvers fixed externally.
- 17 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 18 New, double-glazed, walk-on rooflight.
- 19 New, double-glazed, conservation rooflight.
- 20 Partial demolition of existing roof. New slope proposed, matching height and width of existing.
- 21 New, automatic-opening vent to communal stair.
- 22 Terrace to the roof of proposed new planting and wrap-around glass balustrade.
- 23 Proposed condenser in attenuated enclosure.
- 24 Proposed condenser in attenuated enclosure, refer to M&E design.
- 25 Raked/stair to basement level, with compliant timber framed sash window to be installed.
- 26 New, single glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 27 Existing fireplace to be protected and covered.
- 28 Reconfiguration of existing stair.
- 29 New dummy window.
- 30 New double-glazed, traditionally detailed French door.
- 31 Lining to party wall.
- 32 Proposed head dormer arrangement to be through with existing windows. Redesign of existing non-orthogonal dormer windows.
- 33 Terrace to flat 02, with new planting and Yorkstone paving.
- 34 Existing joists to be trimmed out. Single surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- 35 Single surviving cast-iron spindle to be preserved and maintained.
- 36 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- 37 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
- 38 Facade refurbishment.
- 39 Existing facade to be re-rendered and redecorated.
- 40 Etched glass partition.
- 41 New Railings.
- 42 Fixed & obscure proposed windows.
- 43 Proposed Roof.
- 44 Paint to be removed from Brickwork and redecorated as required.
- 45 No. proposed condenser in attenuated enclosure.

**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Basement Level M&E Layout

Drawing No: 1012034-SK-001\_REVA  
 Drawn By: SL Check By: IM Verified By: POH  
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

# PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Basement Plan

Drawing No. P\_02 Rev. A

Drawn	Approved	Signed
DI	MW	AB

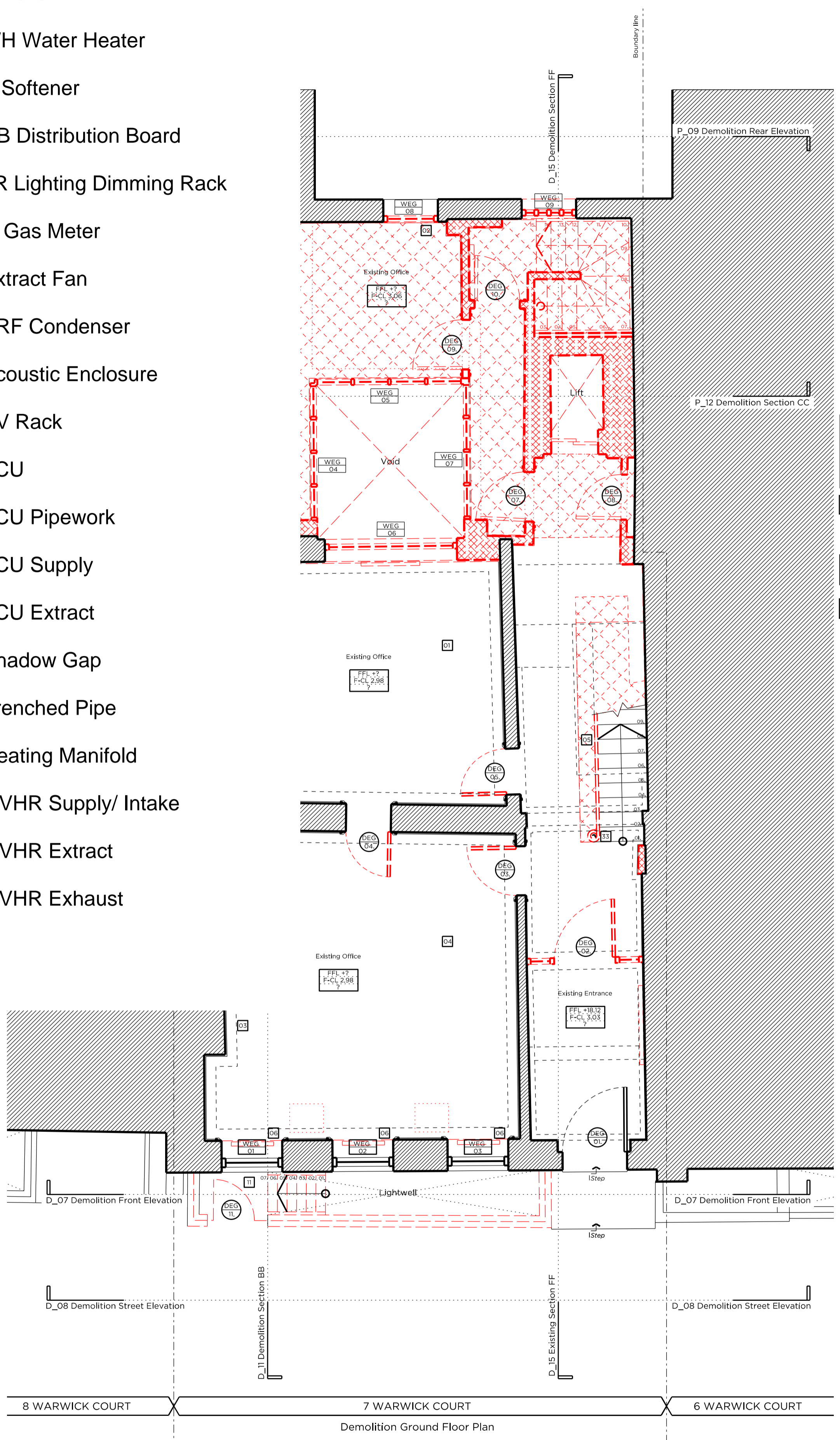
**Marek Wojciechowski Architects Ltd.**

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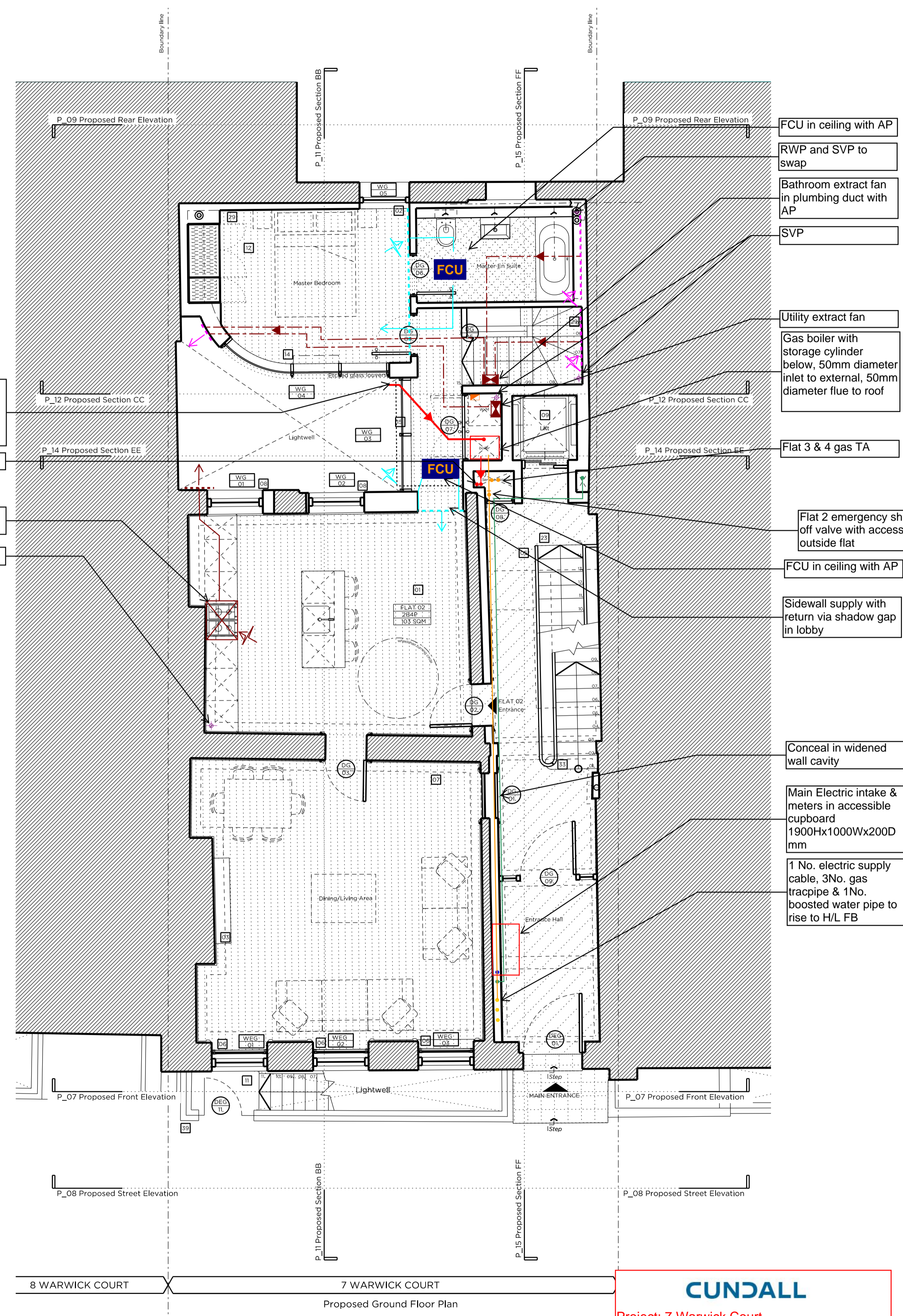
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- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Demolition Ground Floor Plan



Proposed Ground Floor Plan

**CUNALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Ground Floor M&E Layout  
 Drawing No: 1012034-SK-002\_REVA  
 Drawn By: SL Check By: IM Verified By: POH  
 Date: 04.12.2015

Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing concrete slab

**Proposed finishes legend**

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Proposed floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish on existing and new roof structure

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level new structural Engineer's information. Low profile UPH threshold.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced. New slates to match existing to replace any damaged slates. Downpipes to be removed and replaced with a 160mm dia. downpipe. Downpipes to be replaced with a 160mm dia. downpipe. Downpipes to be replaced with a 160mm dia. downpipe.
7. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes:**

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double glazed, timber framed sash window.
- 03 Non-original fire escape to be removed and replaced with traditionally-detailed fire escape.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant, white-painted timber skirting to be replaced with new skirting and filled with secondary glazing internally.
- 06 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 07 New lift.
- 08 Damaged window sills reduced on brickwork level.
- 09 Lightwell to be lowered by 100mm. New, painted metal stair to accommodate level change.
- 10 Existing rear envelope retained. New, copper-roofed, timber framed roof to be preserved and maintained.
- 11 Proposed tin stone.
- 12 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with attached glass louvers fixed externally.
- 13 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 14 New, double-glazed, walk-on rooflight.
- 15 New, double-glazed, conservation rooflight.
- 16 Partial demolition of existing roof. New, slate roof to be installed. Height and width of existing.
- 17 New, automatic-opening vent to communal stair.
- 18 Terrace to the roof of proposed new planting and 'wrap-around' glass balustrade.
- 19 No. proposed condenser in attenuated enclosure.
- 20 Proposed condenser in attenuated enclosure, refer to M&E design.
- 21 Raked/stair to basement level, with compliant, traditionally-detailed, timber balustrade.
- 22 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 23 Existing glazing to be protected and covered.
- 24 Recolorification of existing stair.
- 25 New dummy window.
- 26 New double-glazed, traditionally detailed French door.
- 27 Lining to party wall.
- 28 Proposed head dormer arrangement to flow through with existing windows. Replacement of existing non-original dormer windows.
- 29 Terrace to flat 02, with new planting and Yorkstone paving.
- 30 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
- 31 Single, surviving cast-iron spindle to be preserved and maintained.
- 32 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
- 33 Slates to be removed, retained and new membrane installed. Existing slates to be red and any new slates to match existing.
- 34 Facade refurbishment.
- 35 Existing facade to be re-ventilated and redecorated.
- 36 Etched glass partition.
- 37 New Railings.
- 38 Fixed & obscure proposed windows.
- 39 Proposed Roof.
- 40 Paint to be removed from Brickwork and redecorated as required.

**PLANNING**

Project No. 14029  
 Client: GFZ Developments Ltd.  
 Date: October 2015  
 Scale: 1:100 @ A3 / 1:50 @ A1  
 Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Ground Floor Plan  
 Drawing No. P\_01 Rev. A

Drawn	Approved	Signed
DI	MW	AB

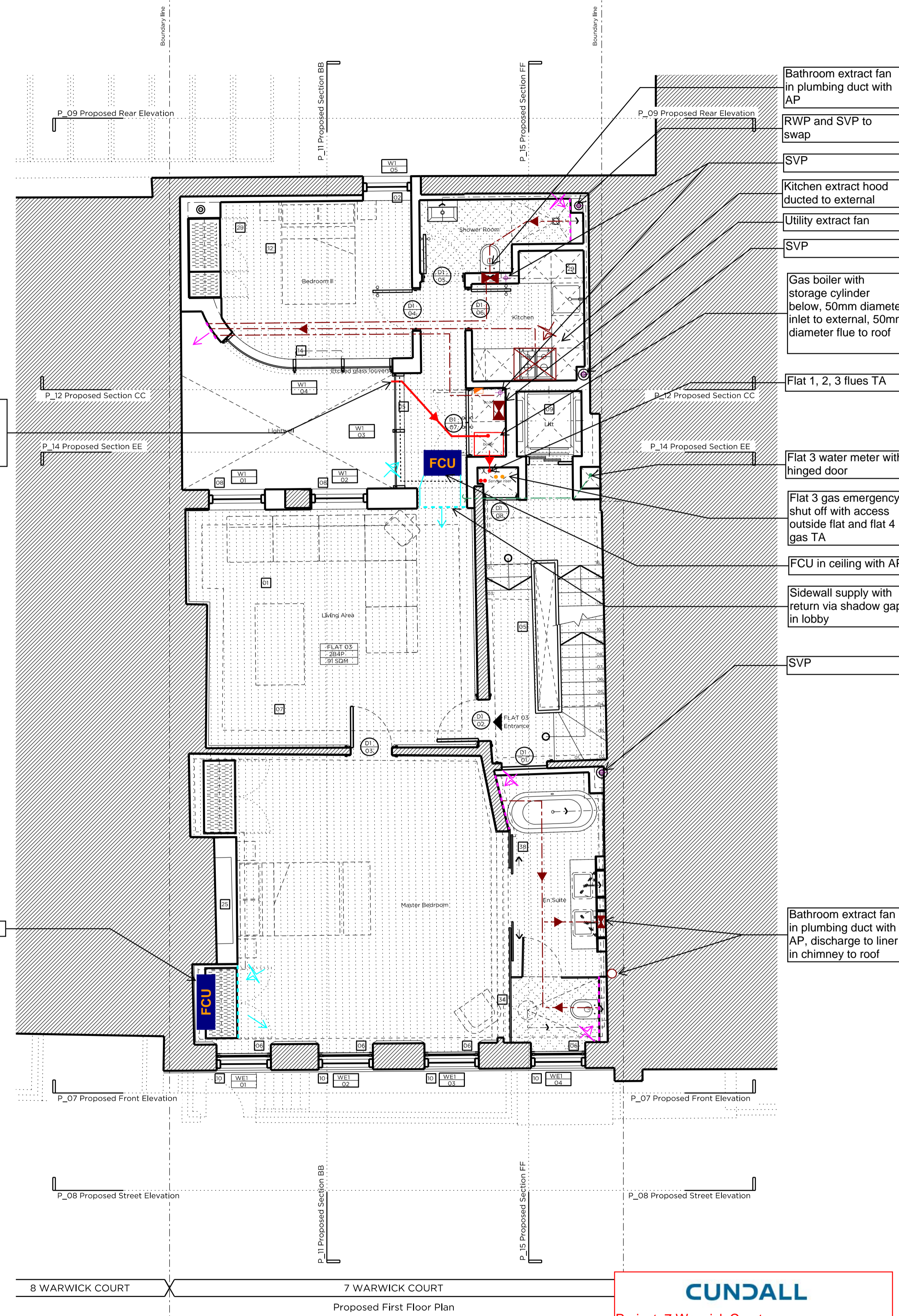
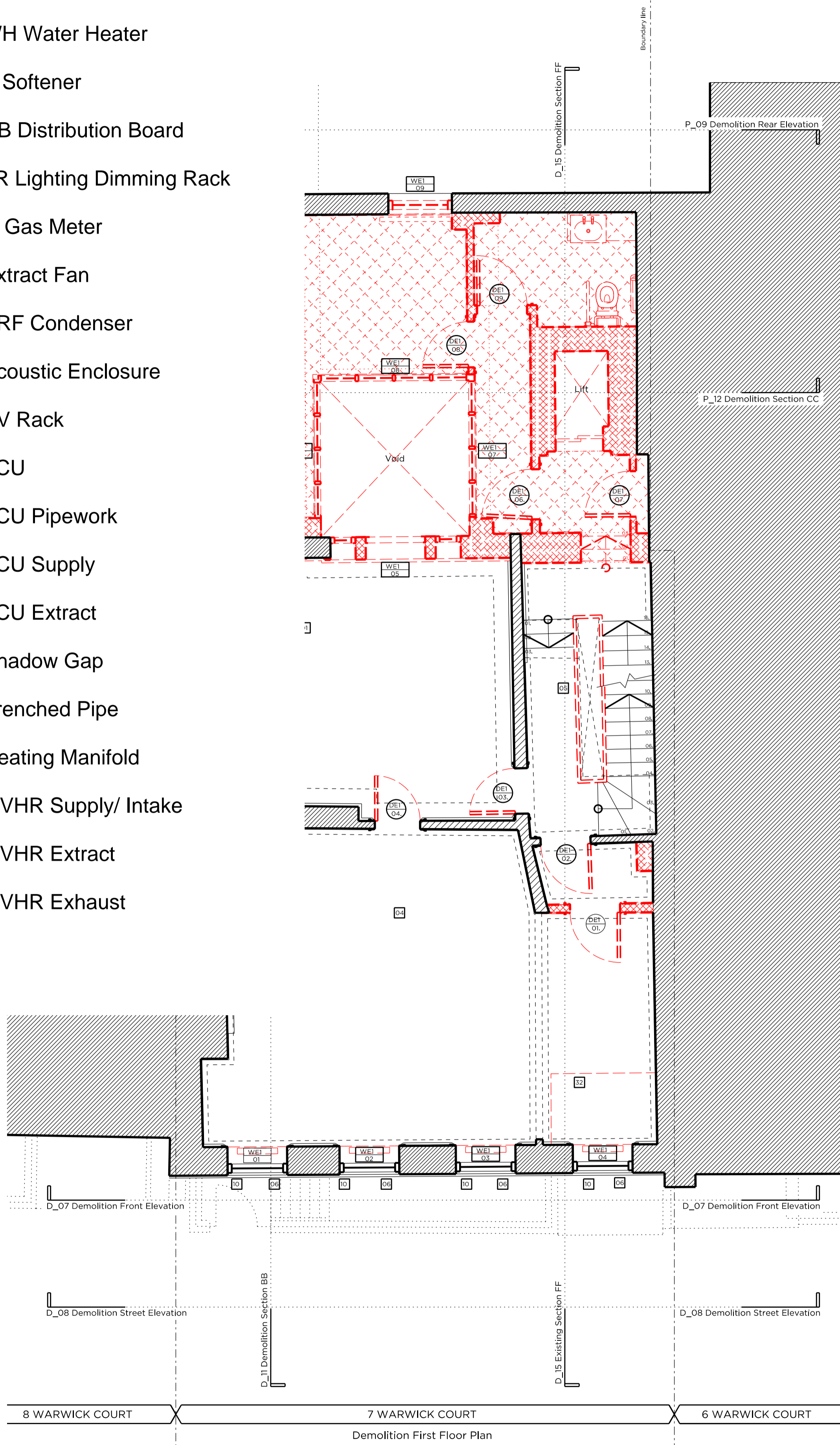
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- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



50mm diameter boiler air inlet on face (access required at every change of direction)

FCU built into joinery

- Bathroom extract fan in plumbing duct with AP
- RWP and SVP to swap
- SVP
- Kitchen extract hood ducted to external
- Utility extract fan
- SVP
- Gas boiler with storage cylinder below, 50mm diameter inlet to external, 50mm diameter flue to roof
- Flat 1, 2, 3 flues TA
- Flat 3 water meter with hinged door
- Flat 3 gas emergency shut off with access outside flat and flat 4 gas TA
- FCU in ceiling with AP
- Sidewall supply with return via shadow gap in lobby
- SVP
- Bathroom extract fan in plumbing duct with AP, discharge to liner in chimney to roof

**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: First Floor M&E Layout  
 Drawing No: 1012034-SK-003  
 Drawn By: SL Check By: IM Verified By: POH  
 Date: 04.12.2015

Key Plan, Scale 1:1250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fittings (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed finishes legend**

- Proposed straight-joint hardwood floor finish on specified floor build-up
- Timber decking
- Proposed floor finish on specified floor build-up
- Natural stone floor tiles
- Portland stone
- Proposed slate roof finish on existing and new roof structure

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New furniture/jobs are to be installed to the top of the existing joists in order to level the structural Engineer's information. Low profile UPVC throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Slating slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be removed and replaced on a like-for-like basis.
7. Joists are to be inspected and strengthened where required to support increased loads. To Structural Engineer's detail.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

01 Existing skirting to be refurbished and redecorated.	22 Proposed condenser in attenuated enclosure, refer to M&E design
02 Existing window replaced with double glazed, timber framed sash window.	23 Reinstated stair to basement level, with compliant, traditionally-detailed, timber balustrade.
03 New, single glazed, timber framed window to be removed and replaced with traditionally-detailed fireplace.	24 New, single glazed, timber framed window to be removed and replaced with secondary glazing internally.
04 Non-orthogonal skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, white-painted, timber framed sash window.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, ironmongery, sash windows & E250 sash winder to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Joinery & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to be fitted through existing windows. Replacement of existing non-orthogonal dormer windows.
10 Damaged window sills reduced on Brickwork level.	31 Terrace to flat 03 with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out.
12 Existing rear envelope retained. New, copper roof, installed near existing roofline.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed lift store.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, protected lift-trimmed windows, with etched glass louvers fitted externally.	35 Slate to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New, double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New, double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed rear extension, with timber decking, new planting and wrap-around glass balustrade.	41 Etched glass partition.
21 No. proposed condenser in attenuated enclosure.	42 Paint to be removed from Brickwork and redecorated as required.

Rev A 15/10/15 Issued for planning submission

# PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed First Floor Plan

Drawing No. P\_03 Rev. A

Drawn	Approved	Signed
DI	MW	AB

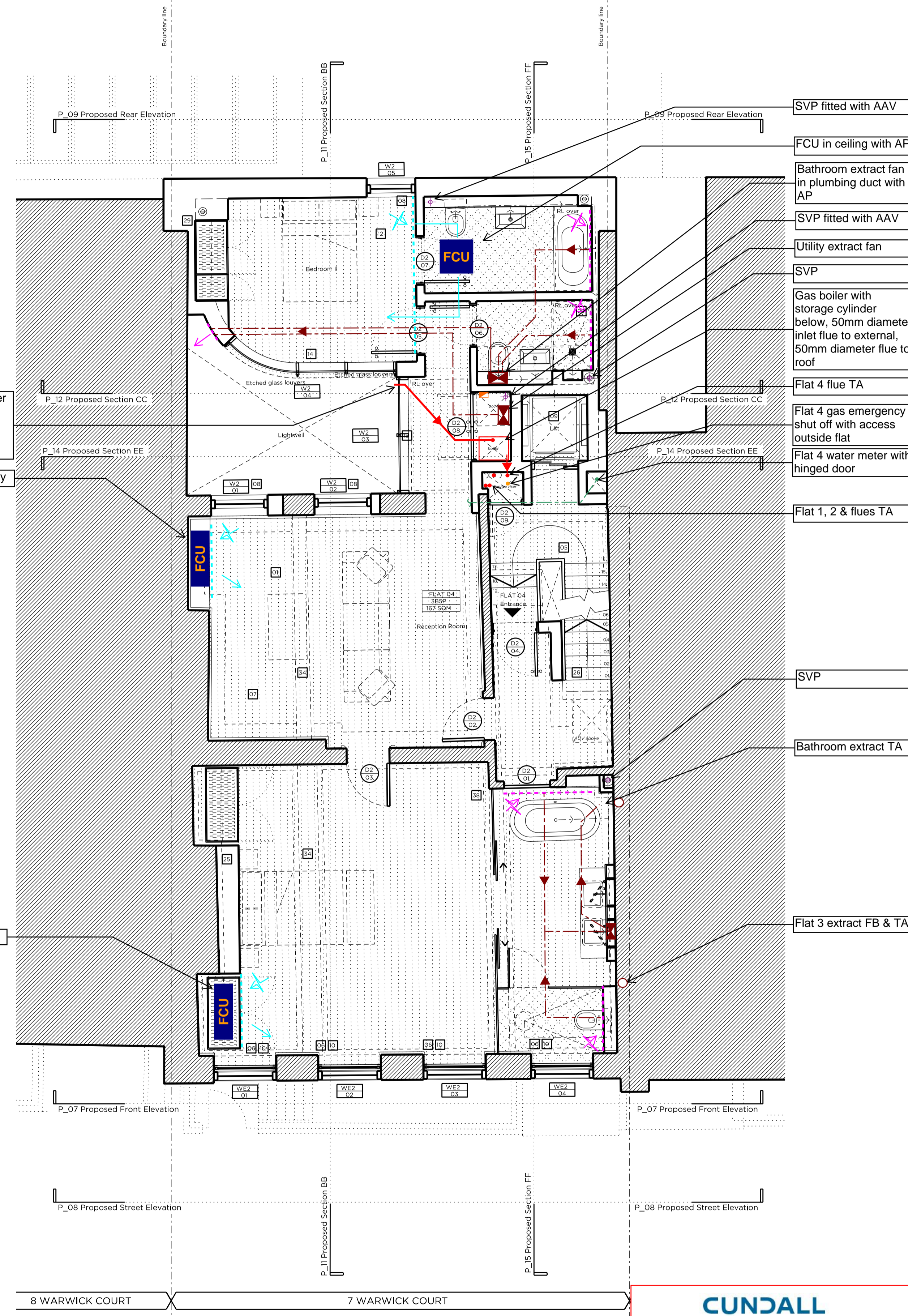
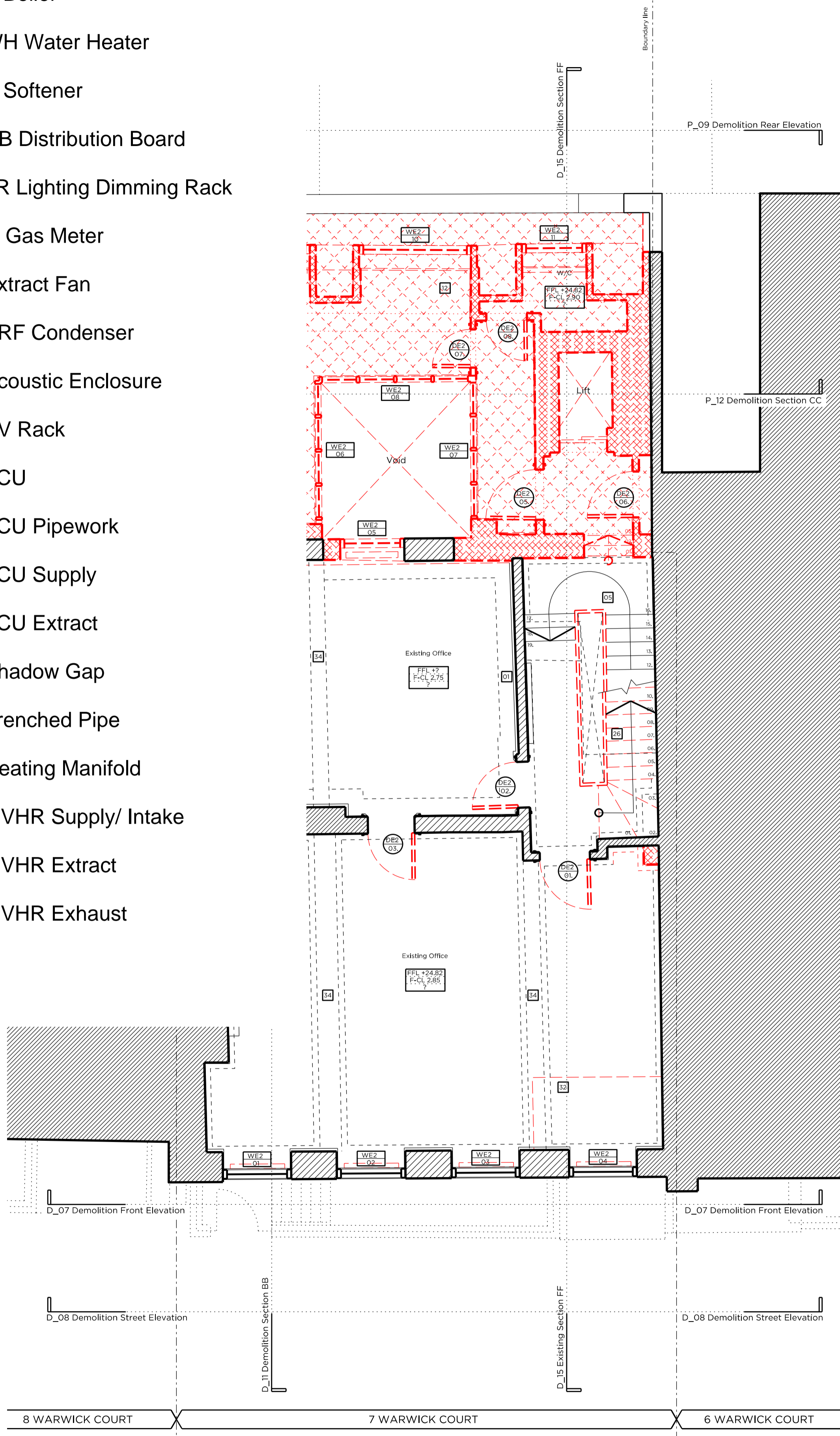
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- Legend**
- Electrical Meter
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  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Hatch denotes removal of existing concrete slab.
- Hatch denotes proposed removal of ceiling structure (in elevation)

**Proposed Finishes legend**

- Proposed straight-joint hardwood floor finish on specified floor build-up.
- Proposed floor floor finish on specified floor build-up.
- Portland stone.
- Timber decking
- Natural stone floor tiles.
- Proposed slate roof finish on existing and new roof structure.

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New finishes/joints are to be installed to the top of the existing joists in order to level with structural Engineer's information. Low profile UPJ threshold.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipe and drainage canopy to be removed and replaced with a like-for-like basin.
7. Slates are to be replaced up and strengthened where required to support increased loads. To structural Engineer's detail.
8. All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
9. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

- 01 Existing skirting to be refurbished and redecorated.
- 02 Existing window replaced with double-glazed, timber framed sash window.
- 03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.
- 04 Non-original skirting/trunking to be removed.
- 05 Traditionally detailed, compliant window substitute to replace existing.
- 06 Existing sash windows refurbished and fitted with secondary glazing internally.
- 07 New, trompon bicycles & £250 slatex voucher to be supplied to each flat.
- 08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.
- 09 Damaged window sills reduced on Brickwork level.
- 10 Lightwell to be lowered by 1000mm. New, painted metal stair to accommodate level change.
- 11 Existing rear envelope retained. New, copper roof, timber framed roof structure to be preserved and maintained.
- 12 Proposed tin stone.
- 13 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from externally.
- 14 New, fixed, double-glazed, anodised aluminium framed glazing panels.
- 15 New, double-glazed, walk-on rooflight.
- 16 New, double-glazed, conservation rooflight.
- 17 Partial demolition of existing roof. New, slate proposed, matching height and width of existing.
- 18 New, automatic-opening vent to communal stair.
- 19 Terrace to the roof of proposed new planting and wrap-around glass balustrade.
- 20 No. proposed condenser in attenuated enclosure.
- 21 Proposed condenser in attenuated enclosure.
- 22 Rake/stair to basement level, with compliant, traditionally-detailed, timber balustrade.
- 23 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
- 24 Existing fireplace to be protected and covered.
- 25 Reconfiguration of existing stair.
- 26 New dummy window.
- 27 New double-glazed, traditionally detailed French door.
- 28 Lining to party wall.
- 29 Proposed head dormer arrangement to be fitted through with existing windows. Replacement of existing non-original dormer windows.
- 30 Terrace to flat 03 with new planting and Yorkstone paving.
- 31 Existing joists to be trimmed out. Single, surviving cast-iron spade to be preserved and maintained.
- 32 Slats to be removed, retained and new membrane installed. Existing slates to be red and any new slates to match existing.
- 33 Facade refurbishment.
- 34 Existing facade to be re-rendered and redecorated.
- 35 Etched glass partition.
- 36 New Railings.
- 37 Fixed & obscure proposed windows.
- 38 Proposed Roof.
- 39 Paint to be removed from Brickwork and redecorated as required.

**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Second Floor M&E Layout

Drawing No: 1012034-SK-004\_REVA  
 Drawn By: SL Check By: IM Verified By: POH  
 Date: 04.12.2015

Rev A 15/10/15 Issued for planning submission

# PLANNING

Project No. **14029**

Client **GFZ Developments Ltd.**

Date **October 2015**

Scale **1:100 @ A3 / 1:50 @ A1**

Project **7 Warwick Court**

Drawing Title **Demolition & Proposed Second Floor Plan**

Drawing No. **P\_04** Rev. **A**

Drawn	Approved	Signed
DI	MW	AB

**Marek Wojciechowski Architects Ltd.**

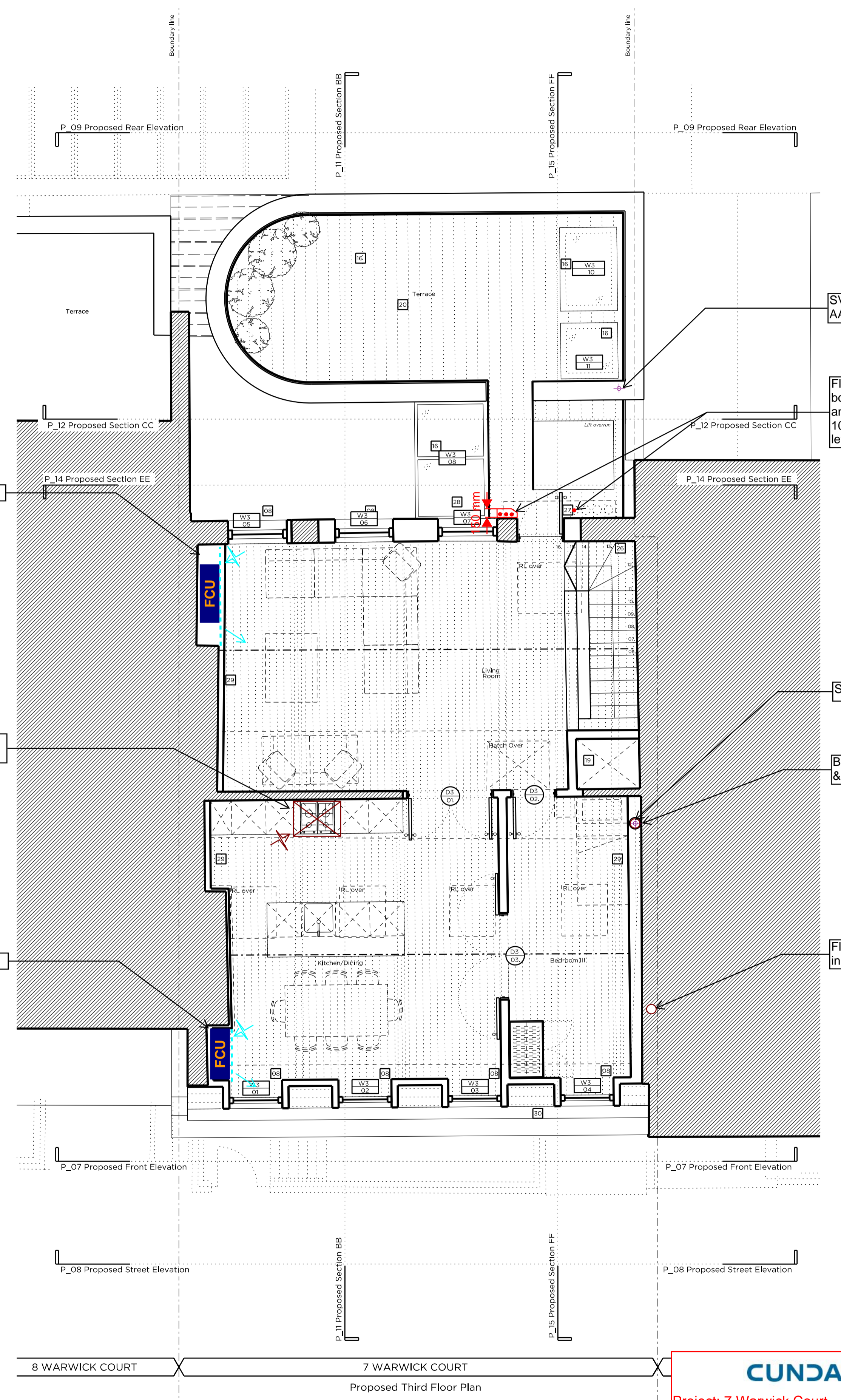
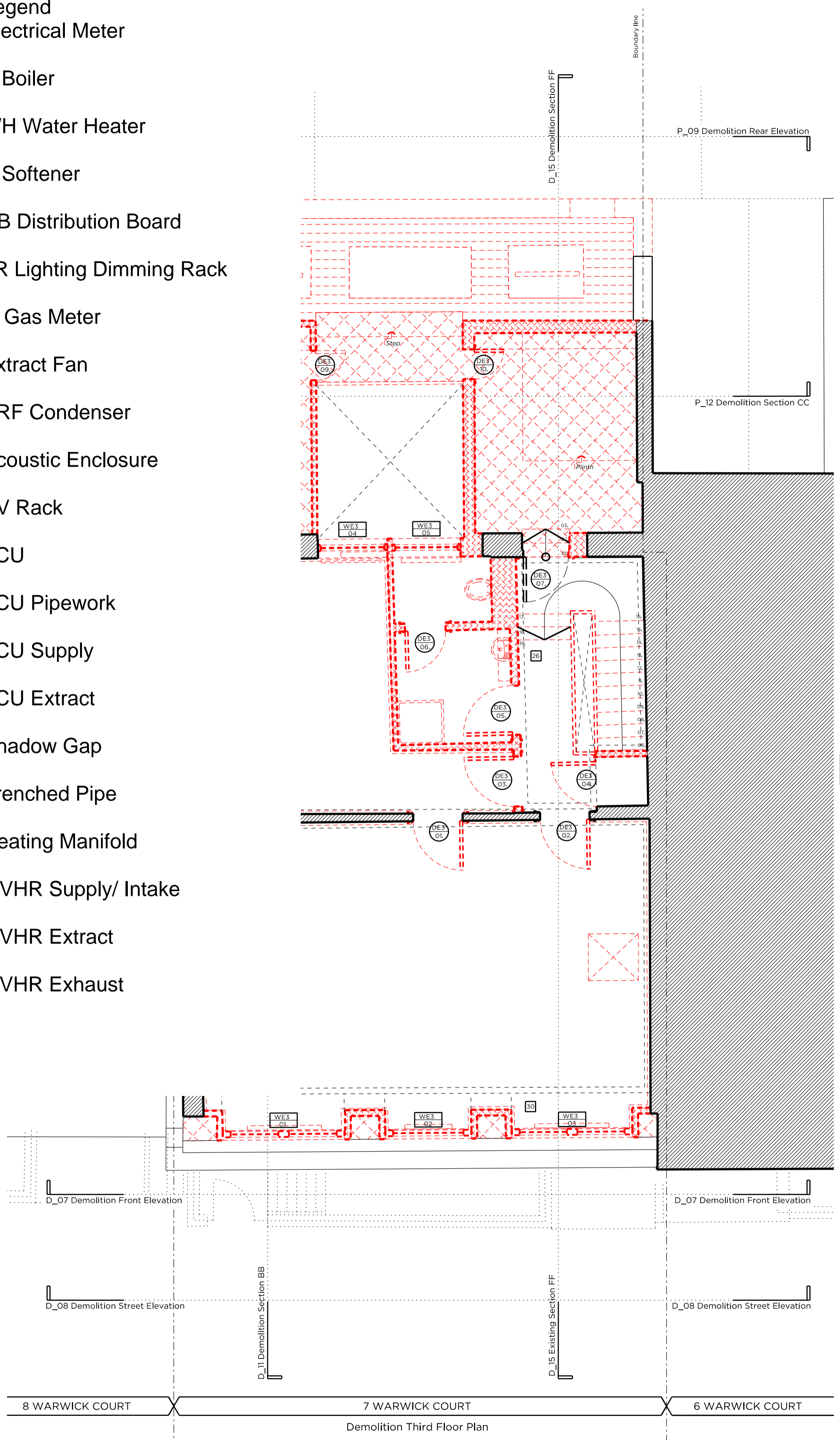
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0 0.5m 1m 2m 3m 4m 5m



- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - ← FCU Supply
  - ↗ FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/fitting (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed finishes legend**

- Proposed straight-plank hardwood floor finish on specified floor build-up
- Proposed floor floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish (in elevation) and new roof structure

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New existing floorboards to be installed. New furring/joists are to be installed to the top of the existing joists in order to level. See Structural Engineer's Information, Low profile DPM throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be replaced with new slates to match existing to replace any damaged slates. Downpipes to be removed and replaced with new downpipes. Existing canopy and dormer windows to be removed and replaced on a like-for-like basis.
7. Joists are to be inspected and strengthened where required to support increased loads. To Structural Engineer's detail.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing paneling, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

01 Existing skirting to be refurbished and redecorated.	22 Proposed condenser in attenuated enclosure, refer to M&E design
02 Existing window replaced with double glazed, timber framed sash window.	23 Raked/stair to basement level, with complete, traditionally-detailed, timber balustrade.
03 New, single glazed, timber framed fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single glazed, timber framed secondary glazing internally.
04 Non-orthogonal skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, window substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompion bicycles & £250 bicycle voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Section & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to be fitted through existing windows, replacement of existing non-orthogonal dormer windows.
10 Damaged window sills reduced on Brickover level.	31 Terrace to flat 02, with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber clad rear elevation to match existing.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers. Refer to Section & Access Statement.	35 Slate to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new slope proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Flat to be removed from Brickwork and replaced as required.

**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Third Floor M&E Layout  
 Drawing No: 1012034-SK-005\_REVA  
 Drawn By: SL Check By: POH Verified By: POH  
 Date: 04.12.2015

**PLANNING**

Project No: 14029  
 Client: GFZ Developments Ltd.  
 Date: October 2015  
 Scale: 1:100 @ A3 / 1:50 @ A1  
 Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Third Floor Plan  
 Drawing No: P\_05 Rev. A

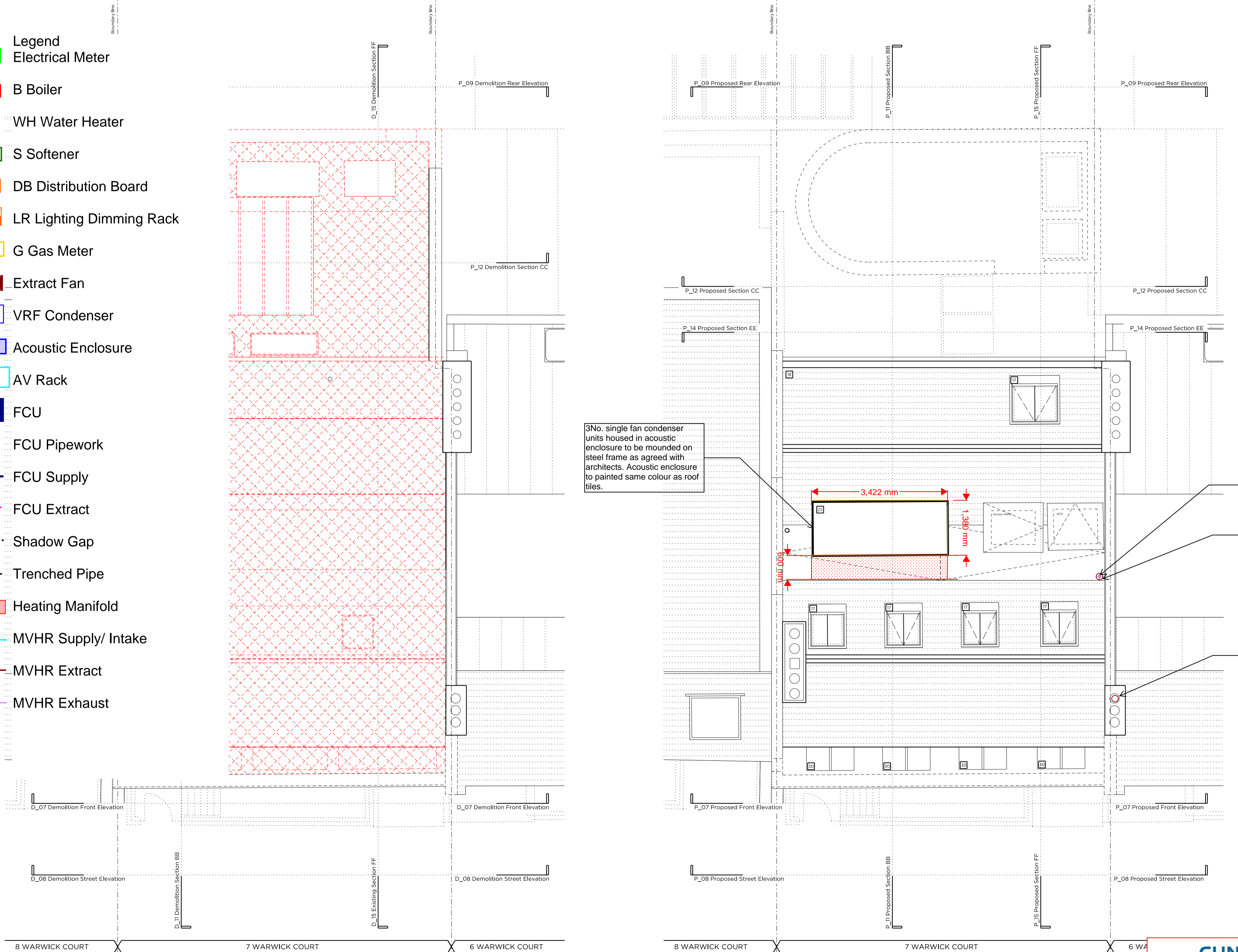
Drawn	Approved	Signed
DI	MW	AB

**Marek Wojciechowski Architects Ltd.**  
 66-68 Margaret Street W1W 8SR T. 020 7580 9336 www.mwa.co.uk

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- Legend**
- Electrical Meter
  - B Boiler
  - WH Water Heater
  - S Softener
  - DB Distribution Board
  - LR Lighting Dimming Rack
  - G Gas Meter
  - Extract Fan
  - VRF Condenser
  - Acoustic Enclosure
  - AV Rack
  - FCU FCU
  - FCU Pipework
  - FCU Supply
  - FCU Extract
  - Shadow Gap
  - Trenched Pipe
  - Heating Manifold
  - MVHR Supply/ Intake
  - MVHR Extract
  - MVHR Exhaust



Key Plan, Scale 1:250

**Demolition Key:**

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/finishes (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

**Proposed finishes legend**

- Proposed straight-timber hardwood floor finish on specified floor build-up
- Proposed tiled floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish (existing and new roof structure)

**General Notes:**

1. Refer to the Door and Window Schedules for a detailed summary of each door and window.
2. All existing floor finishes and existing ply to be carefully removed.
3. Existing floorboards to be carefully removed and reused where possible.
4. New flooring/floorboards are to be installed to the top of the existing joists in order to level see Structural Engineer's Information, Low profile UP4 throughout.
5. New drainage and concrete slab to be laid at basement level.
6. Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slates to be placed over slates to match existing to replace any damaged slates. Downpipes to fall portion of roof to be removed and replaced on a like-for-like basis.
7. Joists are to be checked up and strengthened where required to support increased loads, to Structural Engineer's details.
8. Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
9. All existing painting, mouldings and cornices to have existing paint finish removed for new paint decoration.
10. Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

**Proposed legend notes**

01 Existing skirting to be refurbished and redecorated.	22 Proposed condensers in attenuated enclosure, refer to M&E design
02 Existing window replaced with double-glazed, timber framed sash window.	23 Reinstated stair to basement level, with compliant, traditionally-detailed, balustrade.
03 Non-original fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
04 Non-original skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, timber substitute to replace existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, trompion bicycles & £250 classic voucher to be supplied to each flat.	28 New double-glazed, traditionally detailed French door.
08 New, double-glazed, timber framed sash windows. Refer to Access & Access Statement.	29 Lining to party wall.
09 New lift.	30 Proposed head dormer arrangement to flow through with existing windows, in accordance with existing non-original dormer windows.
10 Damaged window sills redressed on brickwork base.	31 Terrace to flat 03 with new planting and Yorkstone paving.
11 Lightwell to be lowered by 1100mm. New, painted metal stair to accommodate level change.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Existing rear envelope retained. New, contemporary, timber-clad rear elevation to be preserved and maintained.	33 Single, surviving cast-iron spindle to be preserved and maintained.
13 Proposed tin stone.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, double-glazed, anodised aluminium, restricted tilt, framed windows, with etched glass louvers from exteriorly.	35 Slates to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates to match existing.
15 New, fixed, double-glazed, anodised aluminium framed glazing panels.	36 Facade refurbishment.
16 New double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new high pressure, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stairs.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed new planting and wrap-around glass balustrade.	41 Proposed Roof
21 No. proposed condenser in attenuated enclosure.	42 Paint to be removed from Brickwork and redecorated as required.

Rev A 15/10/15 Issued for planning submission

PLANNING

Project No. 14029

Client: GFZ Developments Ltd.

Date: October 2015

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Demolition & Proposed Roof Plan

Drawing No. P\_06 Rev. A

Drawn: DI	Approved: MW	Signed: AB
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**CUNDALL**

Project: 7 Warwick Court  
 Project No: 1012034  
 Drawing Title: Roof M&E Layout

Drawing No: 1012034-SK-006\_REVA  
 Drawn By: SL Check By: POH Verified By: POH  
 Date: 04.12.2015

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