



Donmar Warehouse
Listed Building Consent for Ground Floor Party Wall

July 2016

**Haworth
Tompkins**

TEAM

Client

Donmar Warehouse
3 Dryden Street
London
WC2E 9NA

Tel: 020 7240 4882

Architects

Haworth Tompkins Ltd
33 Greenwood Place
London
NW5 1LB

Contact: Tom Wilson

Tel: 020 7250 3225

Project Manager

Vincent Wang
180 Piccadilly
London
W1J 9HF

Contact: Vincent Wang

Tel: 020 7917 9568

Services Engineers

Skelly and Couch Ltd
6 - 9 Union Wharf
23 Wenlock Road
London
N1 7SB

Contact: Steve White

Tel: 020 7424 7770

Structural Engineers

Price and Myers
37 Alfred Place
London
WC1E 7DP

Contact: Paul Batty

Tel: 020 7631 5128

Theatre Consultants

Charcoalblue LLP
17 Short Street
Bankside
London
SE1 8JL

Contact: Graeme McGinty

Tel: 020 7928 0000

Fire Consultants

The Fire Surgey Ltd
1st Floor, Halton House
20-23 Holborn
London
EC1N 2JD

Contact: Matt Ryan

Tel: 020 7199 7729

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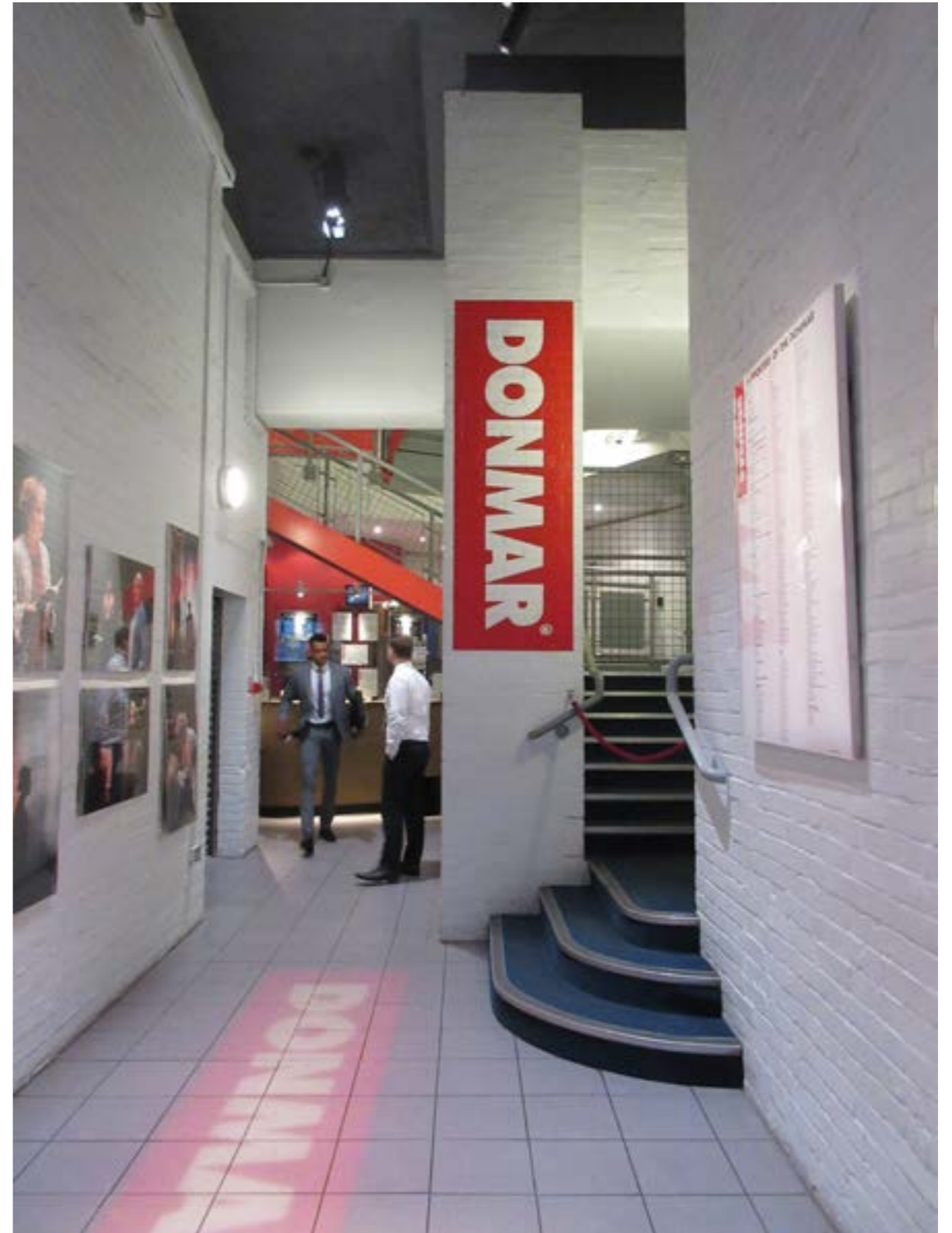
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INTRODUCTION

The Donmar Warehouse is renowned as one of the UK's leading producing theatres with an international reputation for artistic excellence. As a 252 seat not-for-profit theatre, it seeks to shine a new light on classics and Shakespeare, present innovative revivals of contemporary British, Irish and American drama, and bring the best of new writing to its stage.

The Donmar has a mission to extend its reach and broaden its audience as widely as possible, regularly taking its productions into the West End, to New York and beyond. The Donmar believes in the power of theatre to change lives and empower young people. An extensive education programme works with schools and communities across London and beyond, fostering a new generation of theatre goers.

This application is for the demolition of an existing brick party wall within the ground floor foyer of the Donmar Warehouse Theatre, within the Seven Dials area of Covent Garden. At the time of writing, a new party wall is being constructed within the adjacent Thomas Neal Centre approximately 2.3m to the west of the existing party wall. This new wall has already been granted the required statutory approvals and does not form part of this application (refer to Planning Context section for details). The demolition of the existing wall will provide much needed additional foyer space to the theatre, creating a more open and generous entrance space.



View of foyer, wall to be demolished is seen on the left hand side of the image

HISTORIC CONTEXT

Originally a brewery vat room with hop storage and stabling underneath, the building the theatre now occupies was an 1870s extension of the Woodyard Brewery founded in 1740 which eventually closed in 1905. From 1960, the building provided technical and rehearsal facilities for theatres in the West End for 15 years. The London Festival Ballet, the RSC and the Beatles, amongst other companies all made use of the Donmar facilities during this period. In 1977, it was converted to the Donmar Warehouse Theatre and enjoyed considerable success as a producing theatre. In 1992, the theatre underwent reconstruction and expansion as part of the wider commercial development of the adjoining Neal's Yard development.

Today, the Donmar Warehouse is renowned as one of the UK's leading producing theatres with an international reputation for artistic excellence. As a 252 seat not-for-profit theatre, it seeks to shine a new light on classics and Shakespeare, present innovative revivals of contemporary British, Irish and American drama, and bring the best of new writing to its stage.

The Donmar has a mission to extend its reach and broaden its audience as widely as possible, regularly taking its productions into the West End, to New York and beyond. The Donmar believes in the power of theatre to change lives and empower young people. An extensive education programme works with schools and communities across London and beyond, fostering a new generation of theatre goers.

Over its lifetime, the building has undergone incremental change as uses and functions have changed and developed. The adjacent retail area within the Thomas Neal Centre is currently undergoing significant refurbishment. Throughout this change however, the mid 19th century stock brick street frontage has largely maintained its original character and architectural features which include: the splayed corner and return to Neal Street, brick banding above ground floor level, and segmented headed windows and doorways. Internally, notable structure includes brick barrel vaults supported by cast-iron columns.



Main entrance from Earlham Street

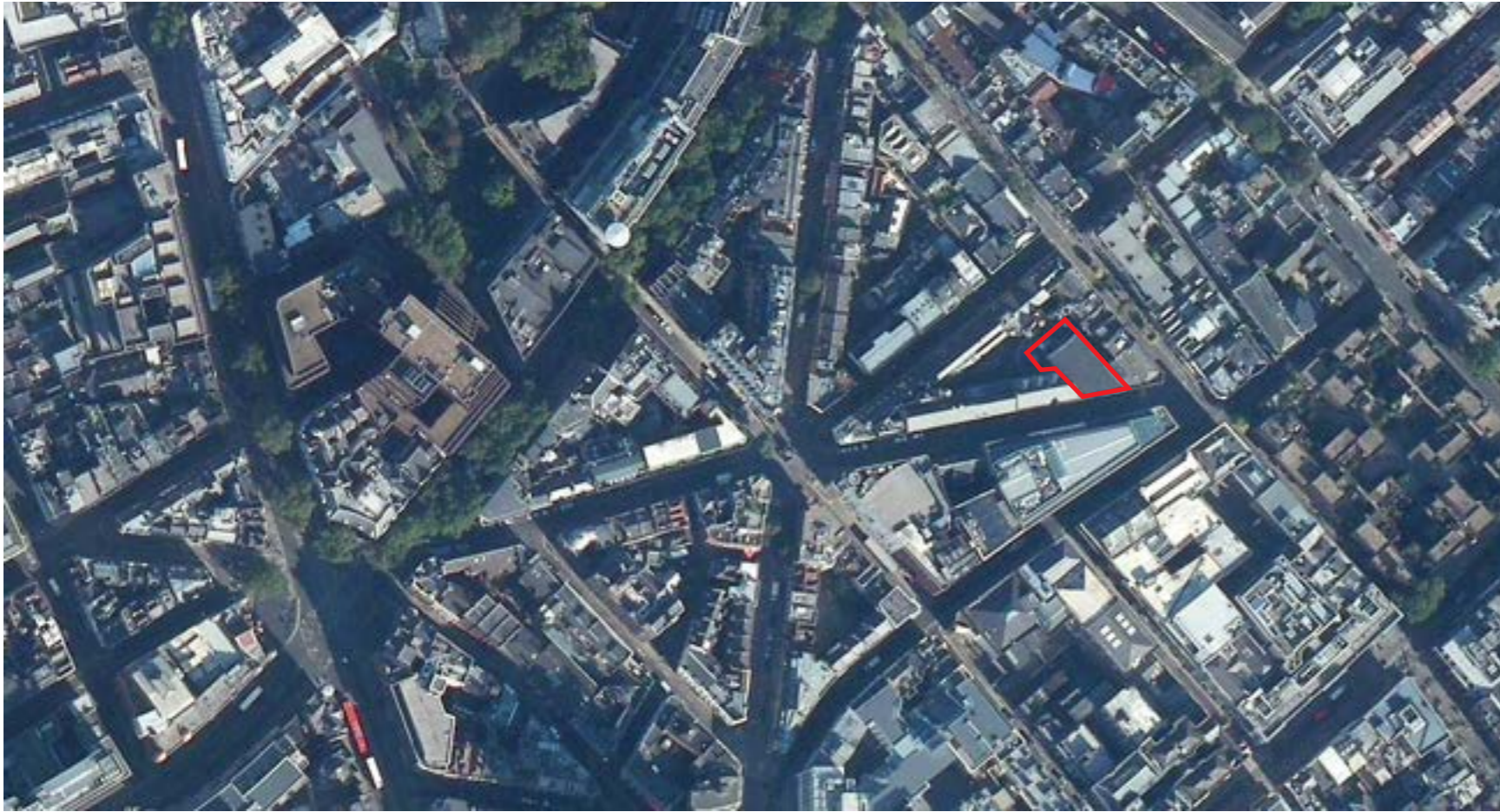


Production image of City of Angels (2014, Olivier Award winner of Best Musical Revival)

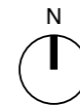


Education Workshop

PLANNING CONTEXT



Aerial view

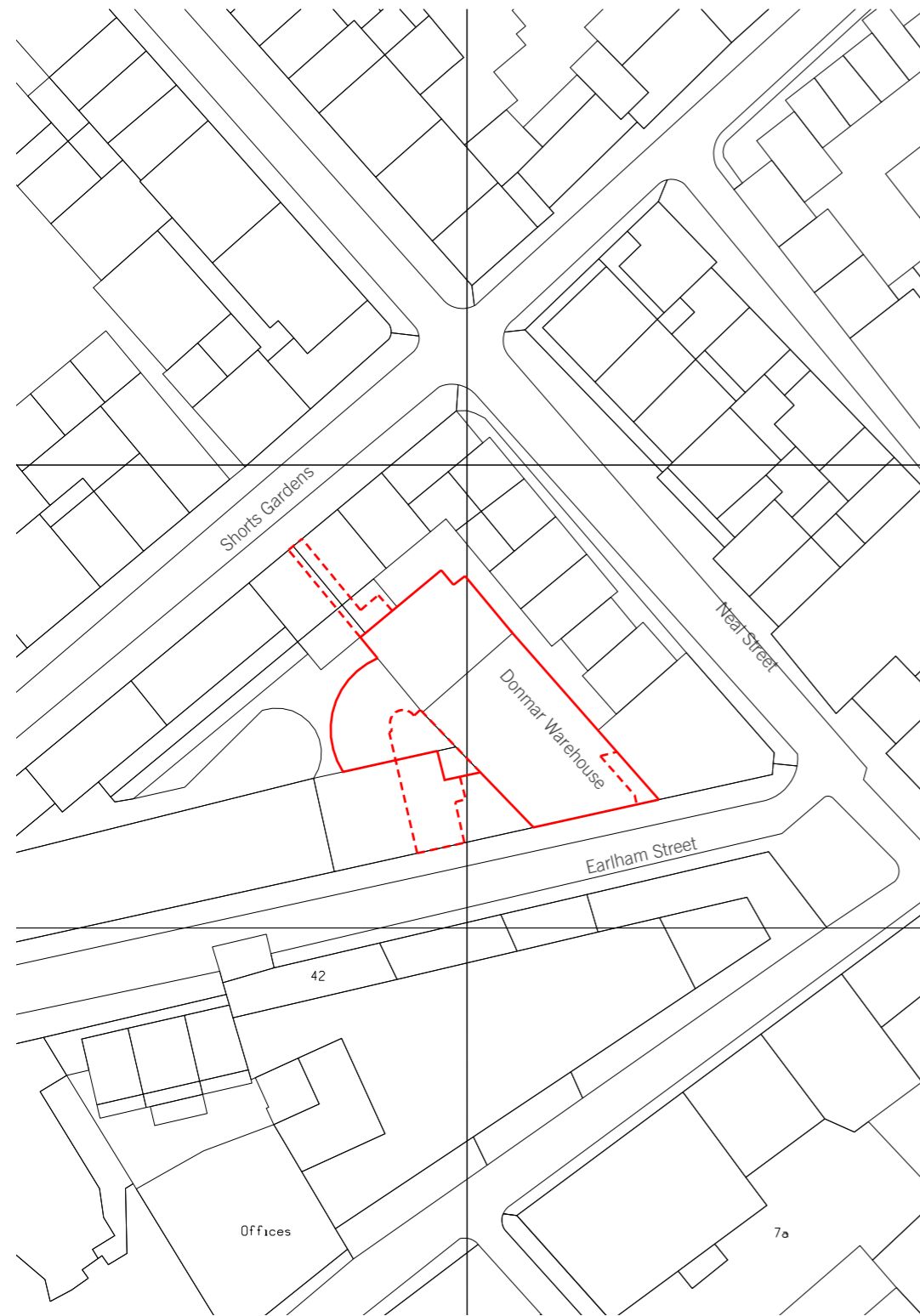


The Donmar Warehouse is located within the Thomas Neal Centre, a Grade 2 listed warehouse building (listing no. 1342094) that is now used for retail, office and residential space, as well as the theatre. It was first listed in 1973, and the most up to date amendment at the time of writing is recorded as 11th Jan 1999. In addition to this, the building is within the Seven Dials (Covent Garden) Conservation area, designation date 01.11.1971.

The Theatre demise occupies a different footprint at ground floor and upper floors. This is indicated on the site plan opposite (the dotted red line indicates the footprint of the theatre's demise at ground floor).

Some works to the ground floor foyer of the theatre have been previously granted Planning permission under reference 2010/2716/P, subsequently renewed under reference 2013/0599/P, and Listed Building Consent under reference 2010/2742/L, subsequently renewed under reference 2013/0600/L. These permissions grant the change of use at ground floor from retail to additional theatre space, and also grant permission for the new party wall. They do not however appear to explicitly grant permission for the demolition of the existing party wall.

The demolition of the existing party wall, would form an early phase in more involved work to the Donmar currently under design development. This development would include refurbishment and layout changes to improve both the public front of house areas, as well as the back of house facilities, technical upgrade of auditorium and refurbishment of finishes, seating and balcony fronts, refurbishment of lift, new plant equipment and rooftop plant enclosure, new dormer roof over stage to improve technical access over stage area. A formal Pre-application submission has been submitted to Camden Planning, and we look forward to commencing discussions regarding these works imminently.



Site Plan 1:500



View down Earlham Street showing entrance to the Donmar Warehouse

PROPOSALS



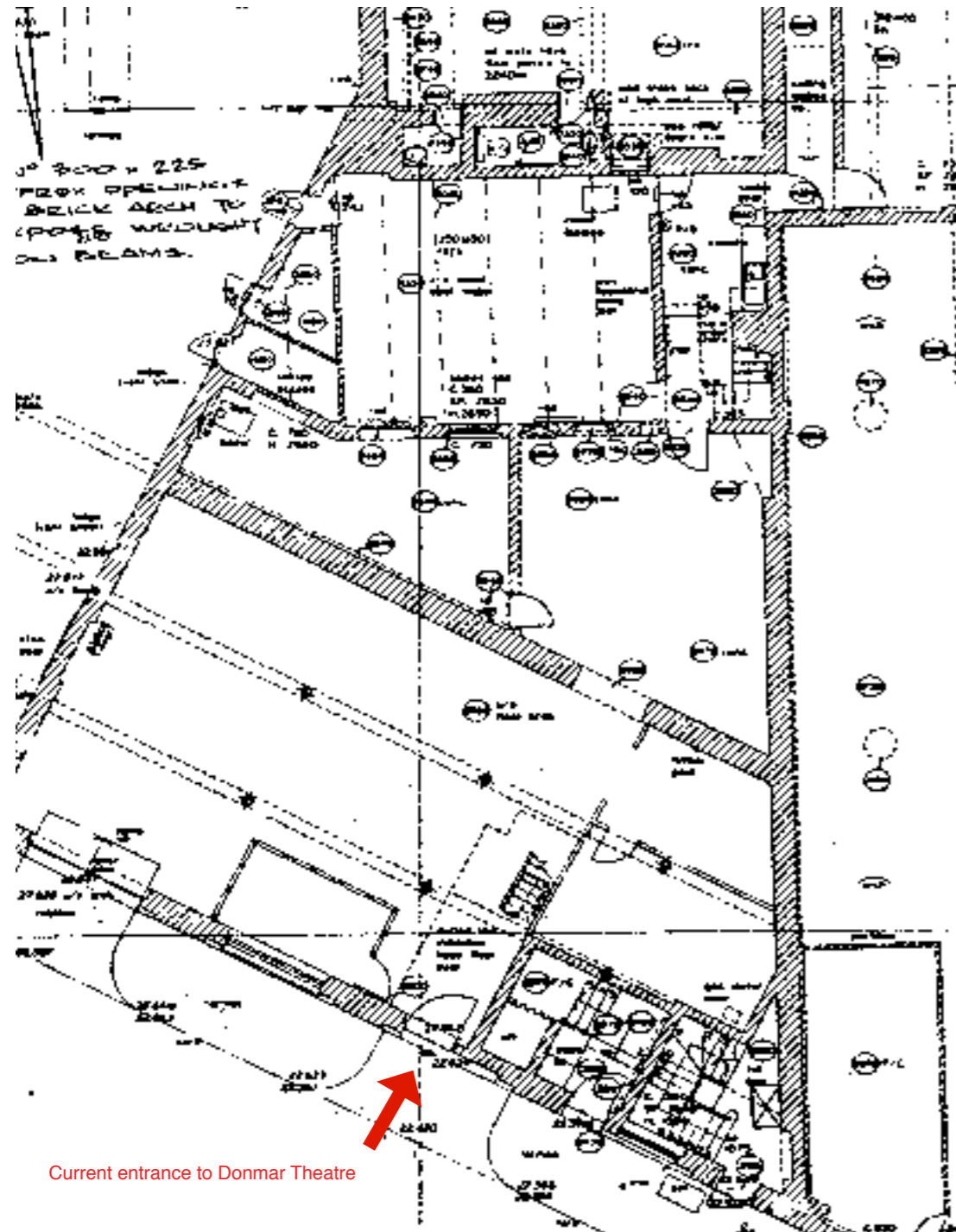
Donmar Warehouse entrance foyer

The existing party wall will be carefully removed, with adequate protection set in place to ensure other elements and building fabric are not damaged during the works. The junction to the brick arch soffit and existing steel beams will be made good following the removal of the wall, as will the junction with the existing floor slab. The area of floor that will now be within the Donmar's demise will be levelled with the existing tiled floor of the foyer, and sealed with an appropriate floor coating. The longer term proposals (not part of this application) will seek to provide a new floor covering throughout the foyer in due course.

The new party wall currently under construction (not part of this application) is being constructed as a 9" brick wall. The brick has been selected to match the existing external brickwork and we understand this has already been approved by the appropriate statutory departments.

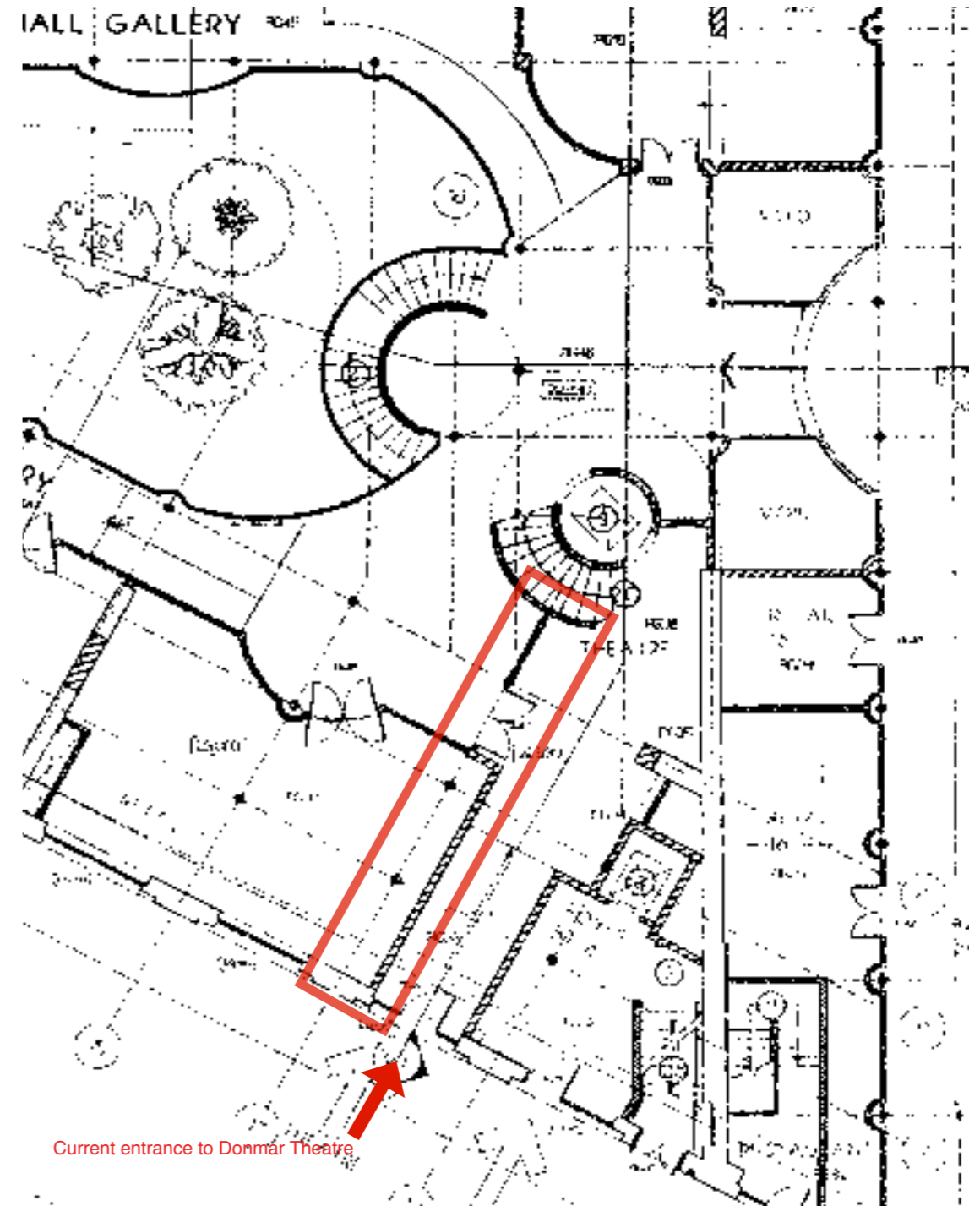
We have carried out a detailed review of survey drawings prepared prior to the establishment of the Donmar Theatre on Earlham Street. Survey drawings from 1987 (see detail opposite) indicated show that the wall did not exist at this time. Proposed drawings for the theatre dated 1989 indicate the introduction of this wall (see detail opposite). These drawings were prepared for the reconstruction of the Theatre that took place in 1992, as part of the wider commercial development of the adjoining Neal's Yard development.

Given the date of the original listing of the building (1972) and that the wall in question was not constructed until 1992, we feel that the wall's removal does not present a risk to the important historic fabric of the building. Its removal will facilitate a more generous, open and welcoming entrance foyer to the Donmar Theatre, ultimately resulting in an enhanced audience experience.



Current entrance to Donmar Theatre

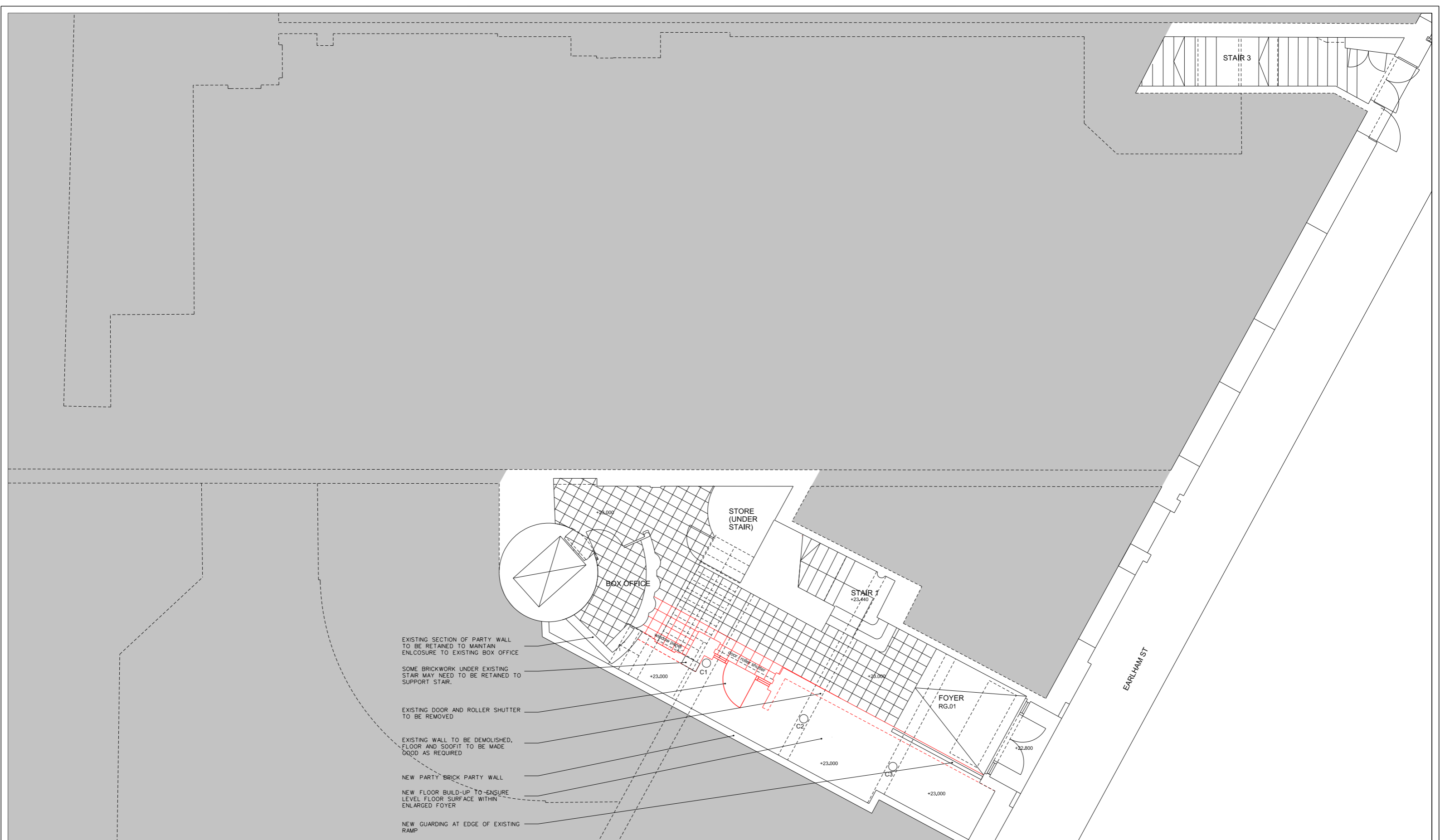
Detail from measured survey drawing from 1987 indicating the wall in question did not exist at that time



Current entrance to Donmar Theatre

Detail from proposed plan for ground floor Donmar Theatre foyer from 1989, indicating the party wall as highlighted

ARCHITECTURAL DRAWINGS



- EXISTING SECTION OF PARTY WALL TO BE RETAINED TO MAINTAIN ENCLOSURE TO EXISTING BOX OFFICE
- SOME BRICKWORK UNDER EXISTING STAIR MAY NEED TO BE RETAINED TO SUPPORT STAIR.
- EXISTING DOOR AND ROLLER SHUTTER TO BE REMOVED
- EXISTING WALL TO BE DEMOLISHED, FLOOR AND SOOFIT TO BE MADE GOOD AS REQUIRED
- NEW PARTY BRICK PARTY WALL
- NEW FLOOR BUILD-UP TO ENSURE LEVEL FLOOR SURFACE WITHIN ENLARGED FOYER
- NEW GUARDING AT EDGE OF EXISTING RAMP

DO NOT SCALE

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS.

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS.

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NOTES

TO BE READ IN CONJUNCTION WITH GA PLANS, SECTIONS AND ELEVATIONS.

ELEMENTS IN RED ARE FOR DEMOLITION

REV	DATE	DESCRIPTION
-	04.07.16	NEW DRAWING

33 Greenwood Place
London NW5 1LB
T +44 (0)20 7250 3225
W www.haworthtompkins.com

Haworth Tompkins

JOB 1445: DONMAR WAREHOUSE

DRG GROUND FLOOR PLAN
DEMOLITION PLAN

DRG No 1445-HT-LBC-001 REV -

SCALE 1:50@A1, 1:100@A3 DATE 04.07.16

DRAWN BY INSPECTED BY

DRAWING STATUS LBC

**Haworth
Tompkins**

T + 44 (0) 20 7250 3225
F + 44 (0) 20 7267 1391
info@haworthtompkins.com
www.haworthtompkins.com

Haworth Tompkins Limited
33 Greenwood Place
London NW5 1LB