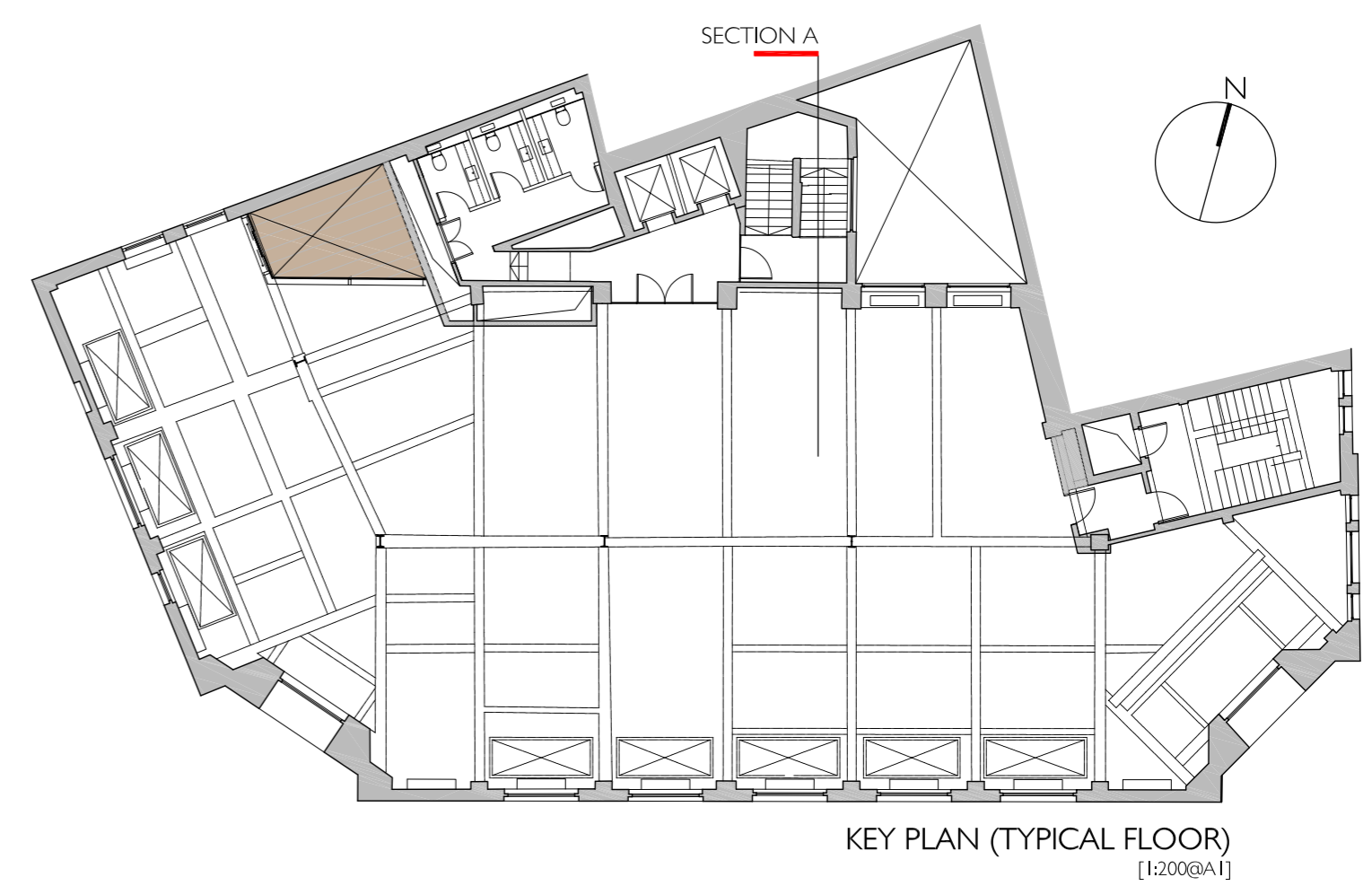


PROPOSED SECTION A-A  
[1:50@A1]



KEY PLAN (TYPICAL FLOOR)  
[1:200@A1]

- ANNOTATION KEY:
- 01 Existing windows to be refurbished throughout. Paintwork to be stripped back and re-painted in a 'bronze' colour (general note).
  - 02 Existing external Portland stonework to be repaired/cleaned to all elevations (general note) plus new pigeon deterrent applied.
  - 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area
  - 04 Original Portland stone detailing and cornice work to be repaired/reconditioned where necessary
  - 05 Proposed set-back, toughened glass balustrade to roof terrace perimeter (incl. concealed up-lighter to base of glazed panel)
  - 06 New 6th floor elevation to be faced in Portland stone to match existing facade
  - 07 Perforated metal panels to form screening to roof level plant (2.5m above roof terrace ffl)
  - 08 Applied through colour render (white finish) to extension of existing lift/stair core serving 7th floor roof terrace. PPC coping profile to head of rendered elevation (RAL colour tbc)
  - 09 Metal grille to form roof of plant enclosures (generally). Finish tbc.
  - 10 Powder coated metal coping profile to head of roof pod
  - 11 Ceramic paving floor finish to terrace (generally)
  - 12 New full height glazing to new elevation (set back behind existing facade) to provide access to existing external terrace (PPC frame/ RAL colour tbc)
  - 13 Proposed walk-on style floor lights providing natural light to existing fifth floor office accommodation (below)
  - 14 Existing columns to be exposed and intumescent painted (concrete encasement removed)
  - 15 Existing concrete soffit to be lined with light weight concrete paneling (including all down stand beams). To include lighting/service zone above.
  - 16 Proposed 'reclaim effect' parquet flooring (herringbone configuration) to all office floors
  - 17 Proposed concrete effect floor tiles to common parts incl. skirting depth.
  - 18 Proposed secondary glazed units to replace existing

GENERAL NOTES

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REVISIONS

NO.	DATE	DESCRIPTION
1	17.06.16	DU PLANNING SUBMISSION

PROJECT	17.06.16 DU PLANNING SUBMISSION
CLIENT	
ARCHITECT	
DATE	
SCALE	
PROJECT NO.	
DATE OF ISSUE	
ISSUED FOR	
BY	
CHECKED BY	
DATE OF CHECK	
PROJECT MANAGER	
PROJECT COORDINATOR	
PROJECT ASSISTANT	
PROJECT OFFICE	
PROJECT ADDRESS	
PROJECT CONTACT	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

**TREHEARNE ARCHITECTS**

PROJECT: CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

SHORT SECTION A-A  
PROPOSED

DATE: 06.16  
SCALE: L1665  
PROJECT NO: P(-)20

33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m

P(-)11  
ELE B-B

P(-)12  
ELE C-C

SEVENTH FLOOR  
+06 FFL 47.93  
▽

SIXTH FLOOR  
+05 FFL 44.77  
▽

FIFTH FLOOR  
+05 FFL 44.77  
▽

FOURTH FLOOR  
+04 FFL 41.57  
▽

3RD FLOOR  
+03 FFL 37.93  
▽

SECOND FLOOR  
+02 FFL 34.32  
▽

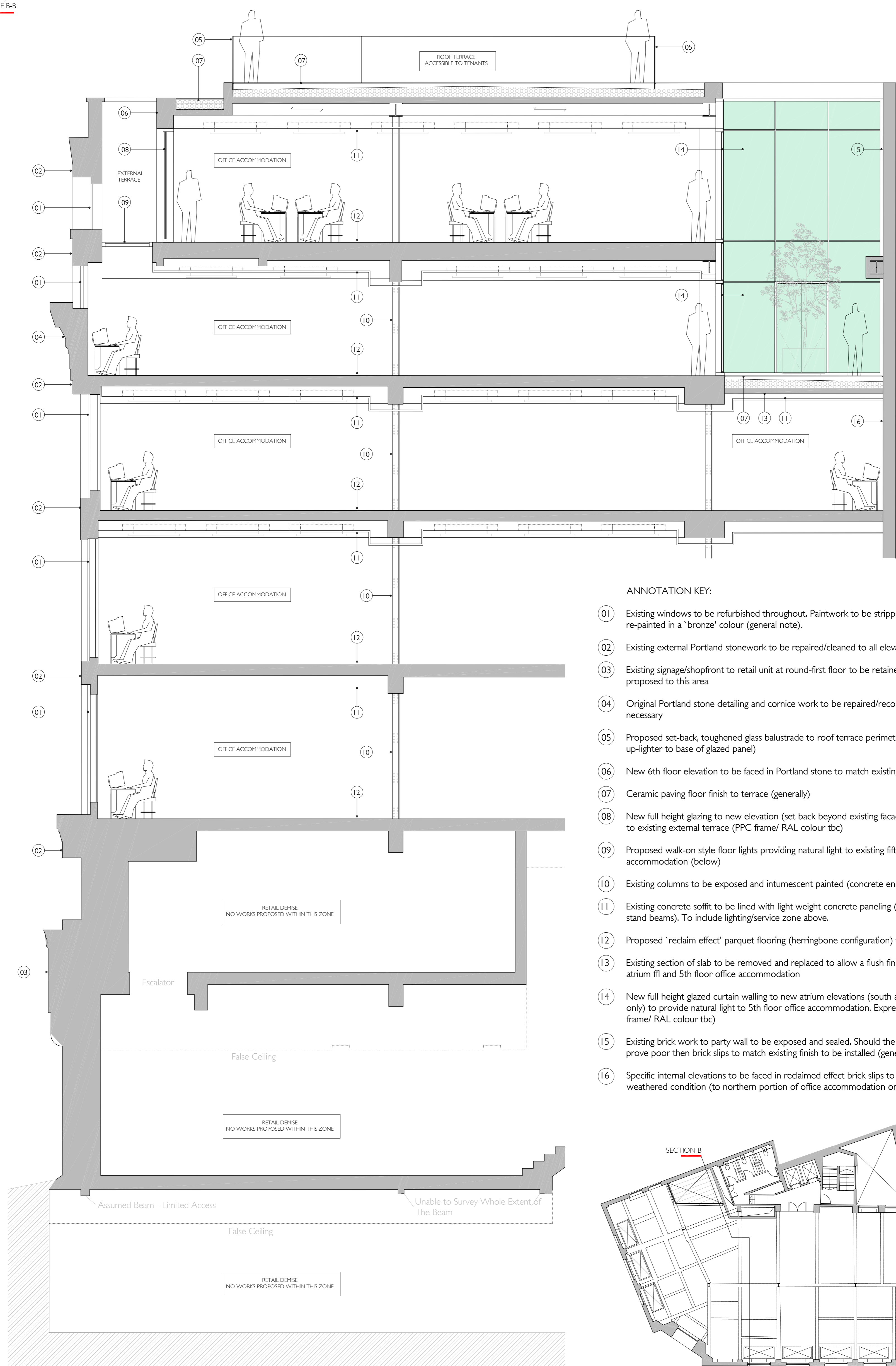
FIRST FLOOR  
+01 FFL 30.62  
▽

GROUND FLOOR  
+00 FFL 26.90  
▽

BASEMENT LEVEL  
-00 FFL 22.07  
▽

OFFICE USE (2ND - 6TH FLOOR ONLY)

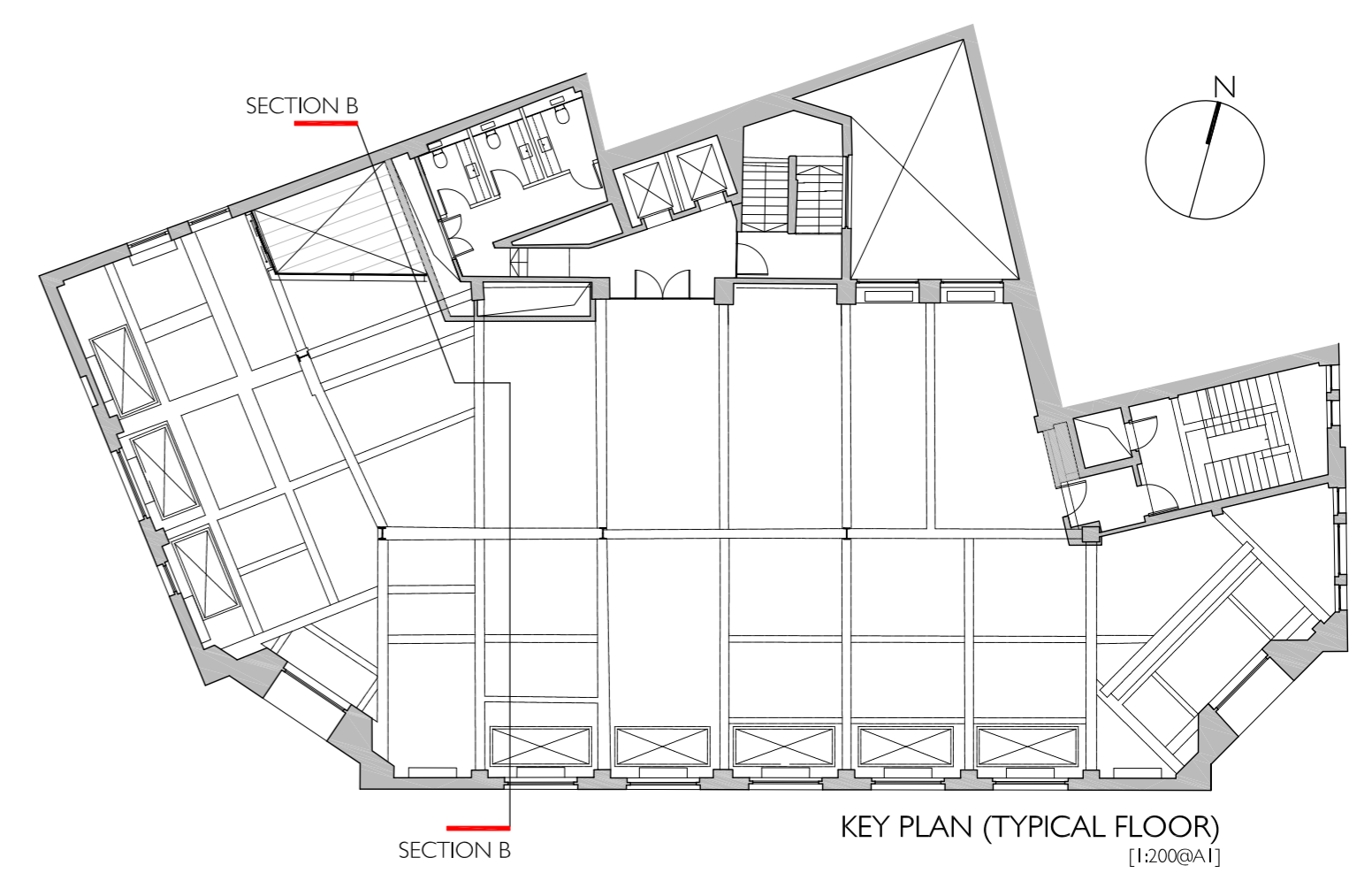
RETAIL USE (BASEMENT - 1ST FLOOR ONLY)



ANNOTATION KEY:

- 01 Existing windows to be refurbished throughout. Paintwork to be stripped back and re-painted in a 'bronze' colour (general note).
- 02 Existing external Portland stonework to be repaired/cleaned to all elevations (general note)
- 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area
- 04 Original Portland stone detailing and cornice work to be repaired/reconditioned where necessary
- 05 Proposed set-back, toughened glass balustrade to roof terrace perimeter (incl. concealed up-lighter to base of glazed panel)
- 06 New 6th floor elevation to be faced in Portland stone to match existing facade
- 07 Ceramic paving floor finish to terrace (generally)
- 08 New full height glazing to new elevation (set back beyond existing facade) to provide access to existing external terrace (PPC frame/ RAL colour tbc)
- 09 Proposed walk-on style floor lights providing natural light to existing fifth floor office accommodation (below)
- 10 Existing columns to be exposed and intumescent painted (concrete encasement removed)
- 11 Existing concrete soffit to be lined with light weight concrete paneling (including all down stand beams). To include lighting/service zone above.
- 12 Proposed 'reclaim effect' parquet flooring (herringbone configuration) to all office floors
- 13 Existing section of slab to be removed and replaced to allow a flush finish between new atrium fill and 5th floor office accommodation
- 14 New full height glazed curtain walling to new atrium elevations (south and west elevations only) to provide natural light to 5th floor office accommodation. Expressed frame (PPC frame/ RAL colour tbc)
- 15 Existing brick work to party wall to be exposed and sealed. Should the condition of this prove poor then brick slips to match existing finish to be installed (generally)
- 16 Specific internal elevations to be faced in reclaimed effect brick slips to match existing, weathered condition (to northern portion of office accommodation only - refer to plans)

PROPOSED SECTION B-B  
[1:50@A1]



GENERAL NOTES

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REVISIONS

NO.	DATE	DESCRIPTION
1	17 06 16	DU PLANNING SUBMISSION

PROJECT: CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

CLIENT: Varies@A1

DATE: 06 16

PROJECT NO: L1665

SECTION: P(-)21

33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

**TREHEARNE ARCHITECTS**

PROJECT: CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

CLIENT: Varies@A1

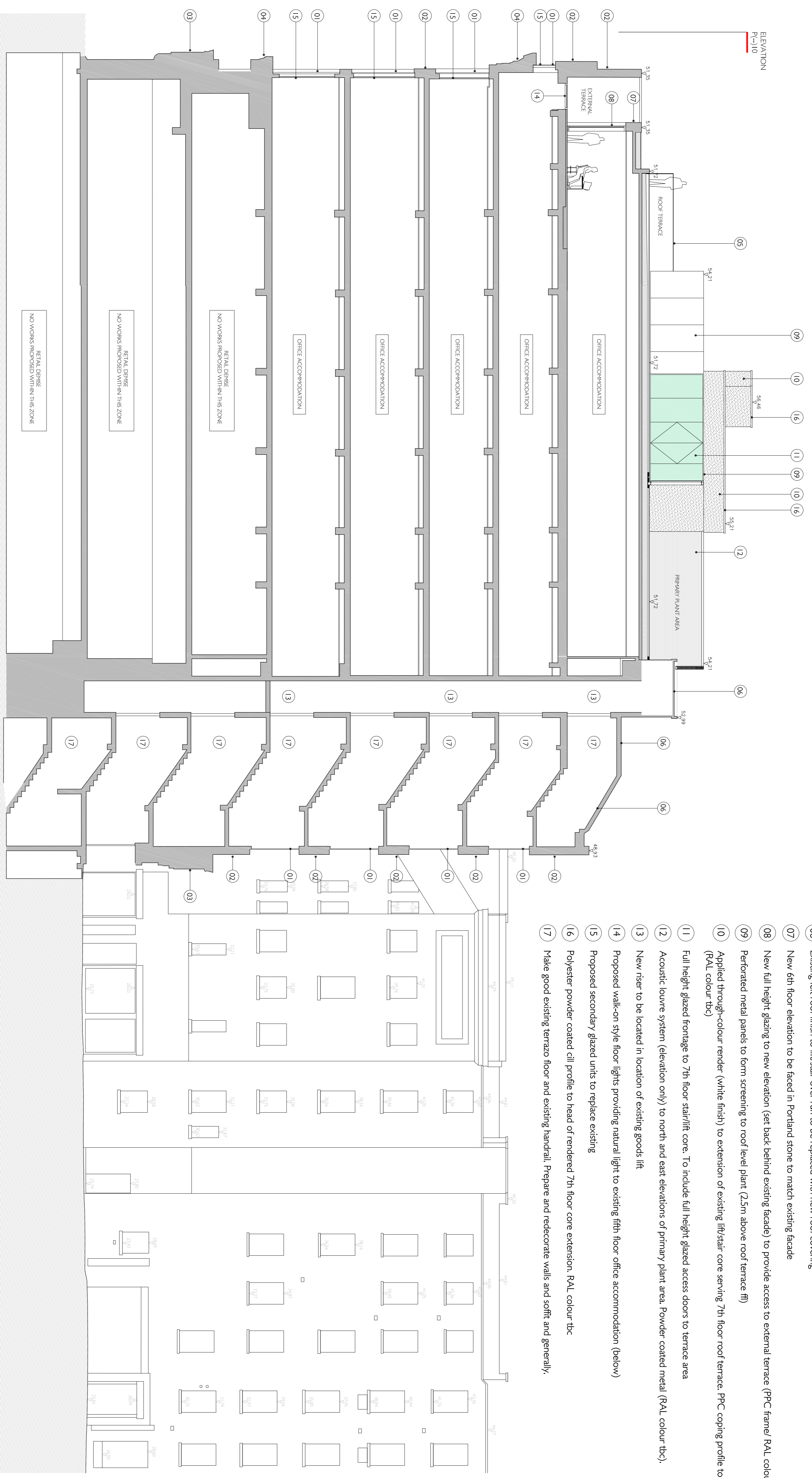
DATE: 06 16

PROJECT NO: L1665

SECTION: P(-)21

33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

ELEVATION  
P(-)10



- ANNOTATION KEY:
- 01 Existing windows to be refurbished throughout. Paintwork to be stripped back and re-painted in a 'bronze' colour (general note).
  - 02 Existing external Portland stonework to be repaired/cleaned to all elevations (general note) plus new pigeon deterrent applied.
  - 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area.
  - 04 Original Portland stone detailing and cornice work to be repaired/reconditioned where necessary.
  - 05 Proposed set-back, toughened glass balustrade to roof terrace perimeter (incl. concealed up-lighter to base of glazed panel).
  - 06 Existing felt roof finish to lift/stair over run to be replaced with new roof covering.
  - 07 New 6th floor elevation to be faced in Portland stone to match existing facade.
  - 08 New full height glazing to new elevation (set back behind existing facade) to provide access to external terrace (PFC frame/ RAL colour tbc).
  - 09 Perforated metal panels to form screening to roof level plant (2.5m above roof terrace fl).
  - 10 Applied through-colour render (white finish) to extension of existing lift/stair core serving 7th floor roof terrace. PFC coping profile to head of rendered elevation (RAL colour tbc).
  - 11 Full height glazed frontage to 7th floor stair/lift core. To include full height glazed access doors to terrace area.
  - 12 Acoustic louvre system (elevation only) to north and east elevations of primary plant area. Powder coated metal (RAL colour tbc).
  - 13 New riser to be located in location of existing goods lift.
  - 14 Proposed walk-on style floor lights providing natural light to existing fifth floor office accommodation (below).
  - 15 Proposed secondary glazed units to replace existing.
  - 16 Polyester powder coated cill profile to head of rendered 7th floor core extension. RAL colour tbc.
  - 17 Make good existing terrazzo floor and existing handrail. Prepare and redecorate walls and soffit and generally.

SECTION C  
[1:100@A1]

CORNITHIAN HOUSE (THE SITE - 279 TOTTENHAM COURT ROAD)

BANBRIDGE STREET

- SEVENTH FLOOR  
+07 RL: 51.2
- SIXTH FLOOR  
+06 RL: 49.33
- FIFTH FLOOR  
+05 RL: 44.7
- FOURTH FLOOR  
+04 RL: 41.27
- SECOND FLOOR  
+02 RL: 29.3
- FIRST FLOOR  
+01 RL: 30.2
- GROUND FLOOR  
+00 RL: 25.9
- BASEMENT LEVEL  
-01 RL: 22.9

NO WORKS PROPOSED WITHIN THIS ZONE

RETAIL OFFICE  
NO WORKS PROPOSED WITHIN THIS ZONE

RETAIL OFFICE  
NO WORKS PROPOSED WITHIN THIS ZONE

RETAIL OFFICE  
NO WORKS PROPOSED WITHIN THIS ZONE

OFFICE ACCOMMODATION

OFFICE ACCOMMODATION

OFFICE ACCOMMODATION

OFFICE ACCOMMODATION

OFFICE ACCOMMODATION

OFFICE ACCOMMODATION

- GENERAL NOTES
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**TREHEARNE ARCHITECTS**

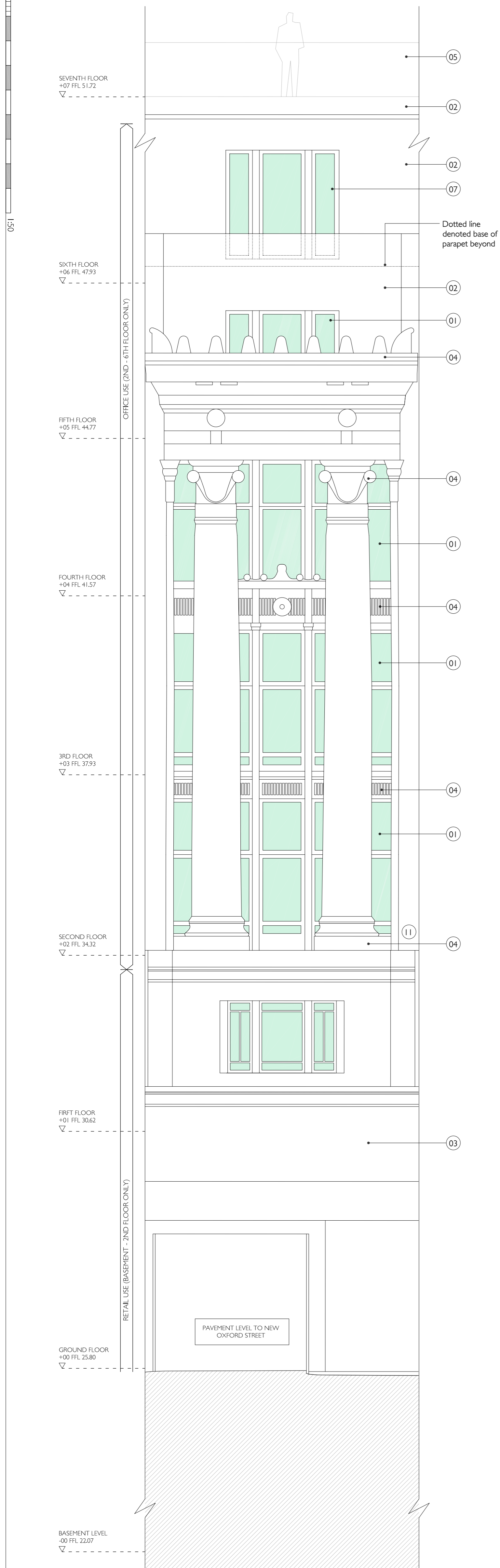
ARCHITECTS  
CORNITHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

SECTION C-C  
PROPOSED

DATE: 06.16  
DRAWN BY: L1665  
CHECKED BY: P(-)22

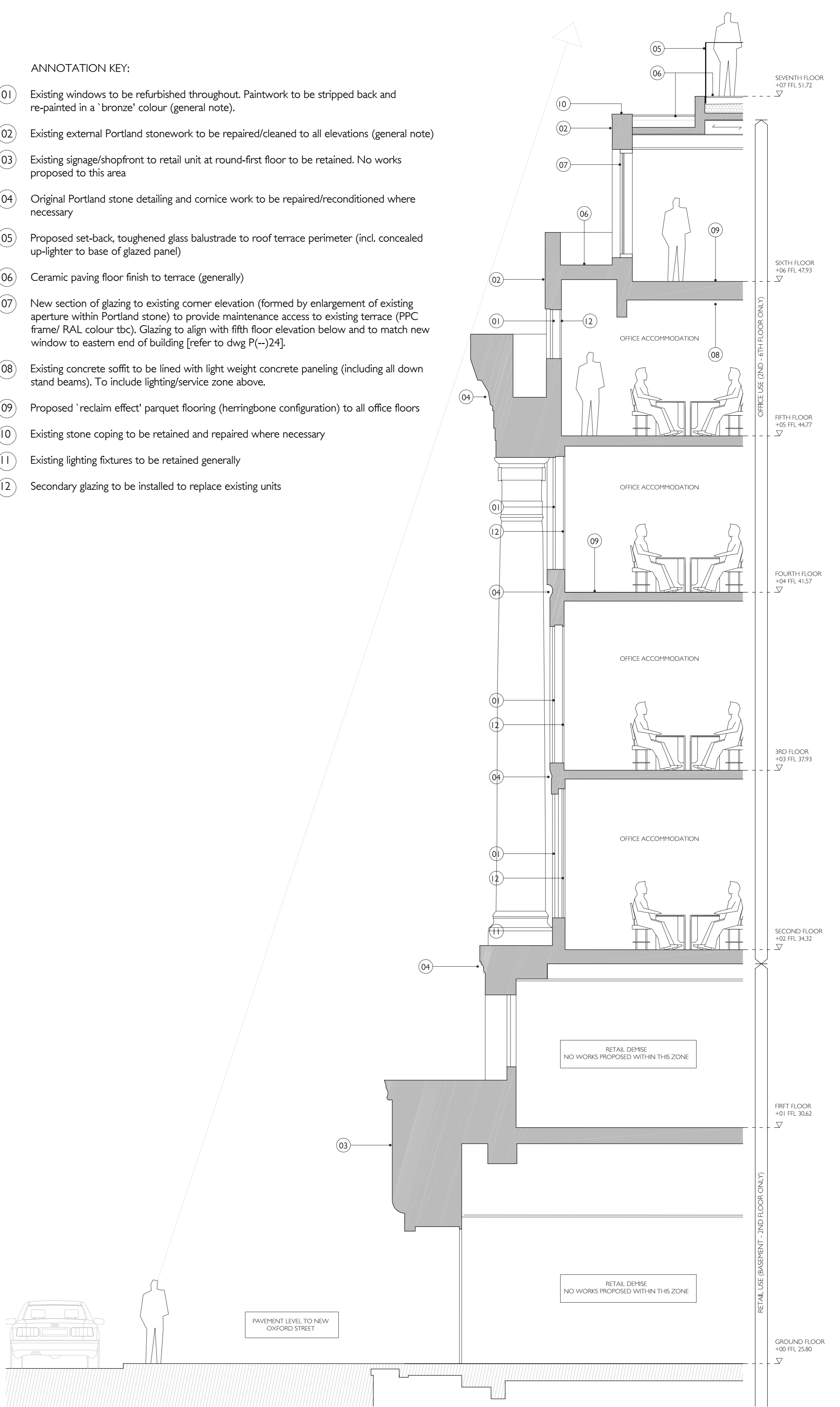
31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 WWW.TREHEARNEARCHITECTS.COM

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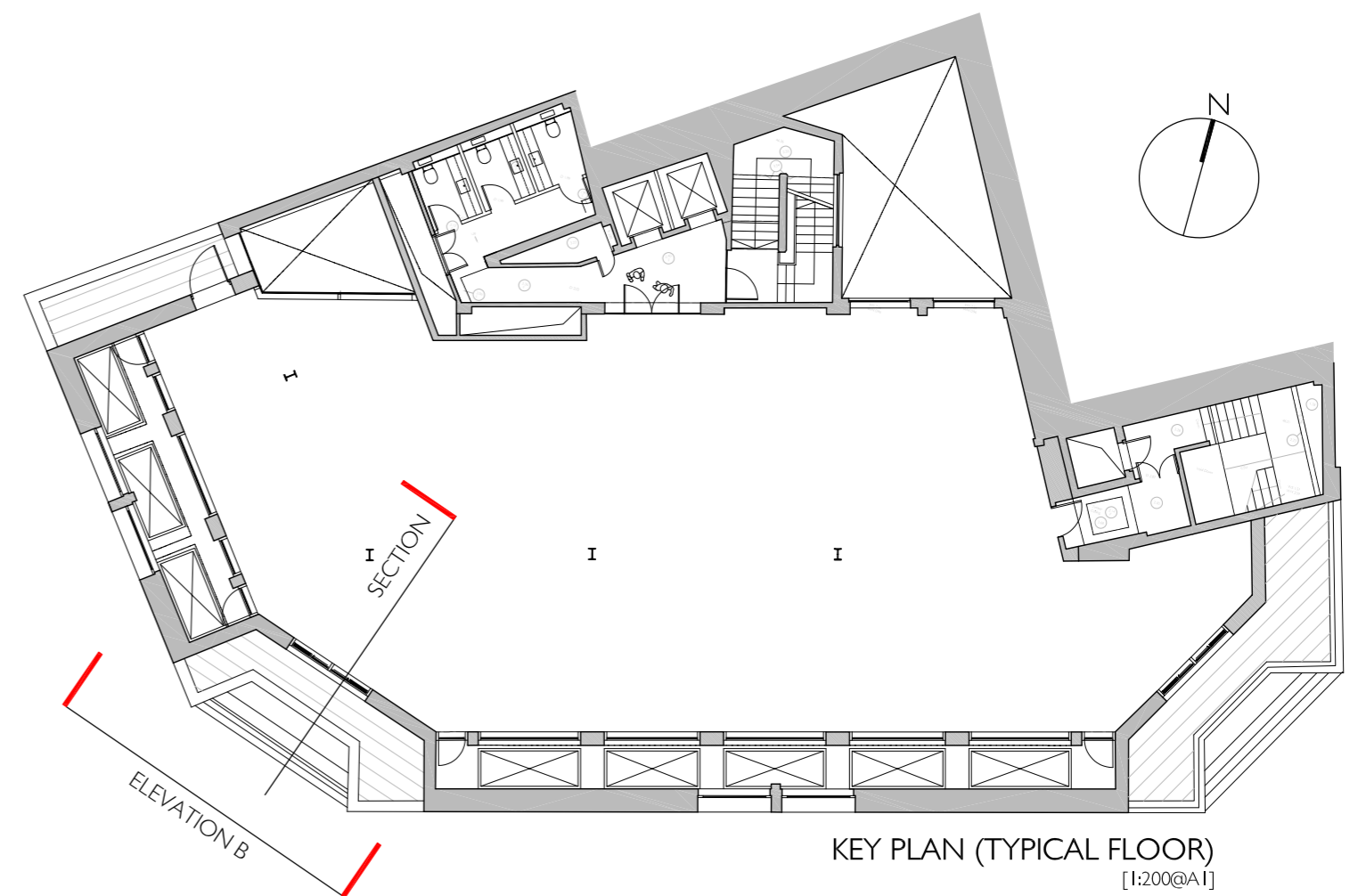


PROPOSED SOUTH WEST CORNER - ELEVATION [1:50@A1]

- ANNOTATION KEY:
- 01 Existing windows to be refurbished throughout. Paintwork to be stripped back and re-painted in a 'bronze' colour (general note).
  - 02 Existing external Portland stonework to be repaired/cleaned to all elevations (general note)
  - 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area
  - 04 Original Portland stone detailing and cornice work to be repaired/reconditioned where necessary
  - 05 Proposed set-back, toughened glass balustrade to roof terrace perimeter (incl. concealed up-lighter to base of glazed panel)
  - 06 Ceramic paving floor finish to terrace (generally)
  - 07 New section of glazing to existing corner elevation (formed by enlargement of existing aperture within Portland stone) to provide maintenance access to existing terrace (PPC frame/ RAL colour tbc). Glazing to align with fifth floor elevation below and to match new window to eastern end of building [refer to dwg P(-)24].
  - 08 Existing concrete soffit to be lined with light weight concrete paneling (including all down stand beams). To include lighting/service zone above.
  - 09 Proposed 'reclaim effect' parquet flooring (herringbone configuration) to all office floors
  - 10 Existing stone coping to be retained and repaired where necessary
  - 11 Existing lighting fixtures to be retained generally
  - 12 Secondary glazing to be installed to replace existing units



PROPOSED SOUTH WEST CORNER - SECTION [1:50@A1]



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PROJECT

FILE NAME

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DATE

17 06 16 DU PLANNING SUBMISSION

TREHEARNE ARCHITECTS

PROJECT

CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

SUBJECT

SOUTH WEST JUNCTION ELEVATION & SECTION  
PROPOSED

DATE

Varies@A1 06 16

PROJECT

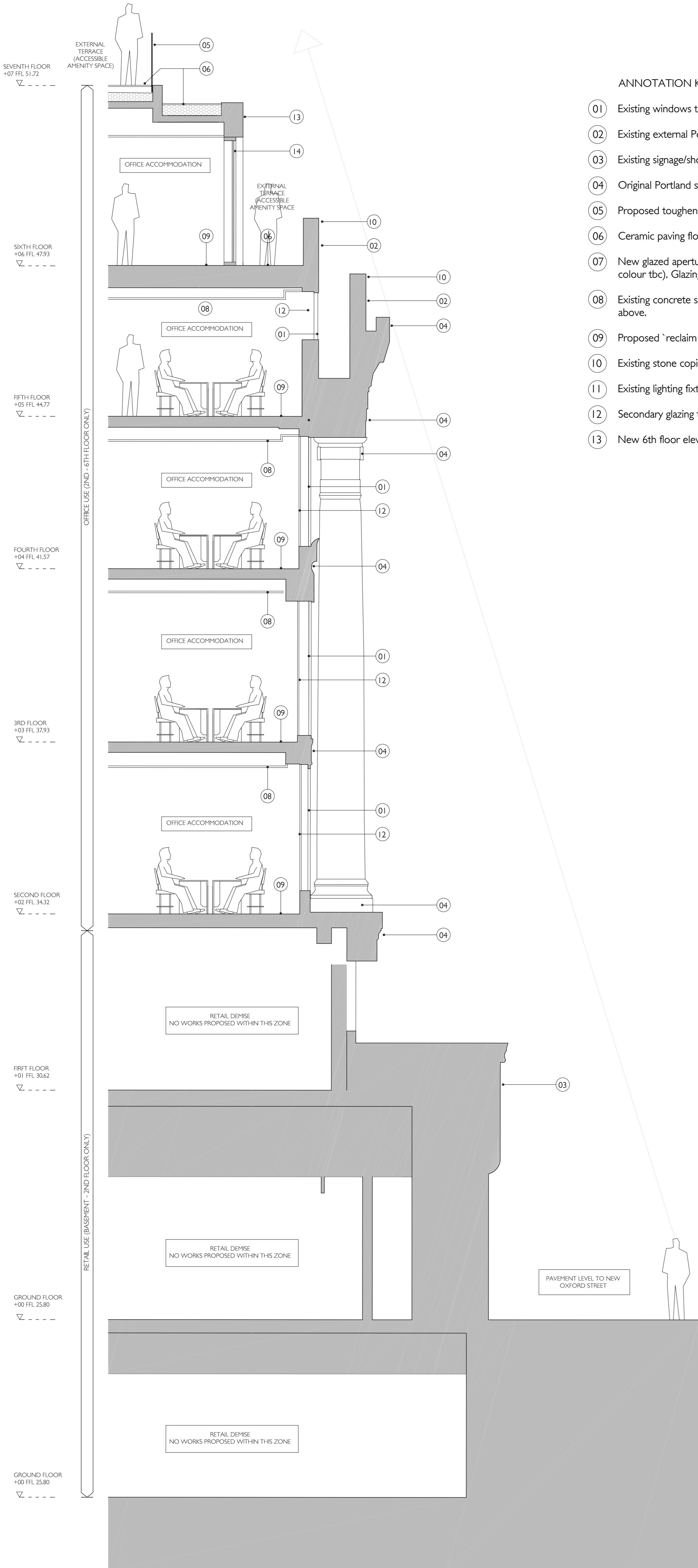
L1665

DRAWING NO.

P(-)23

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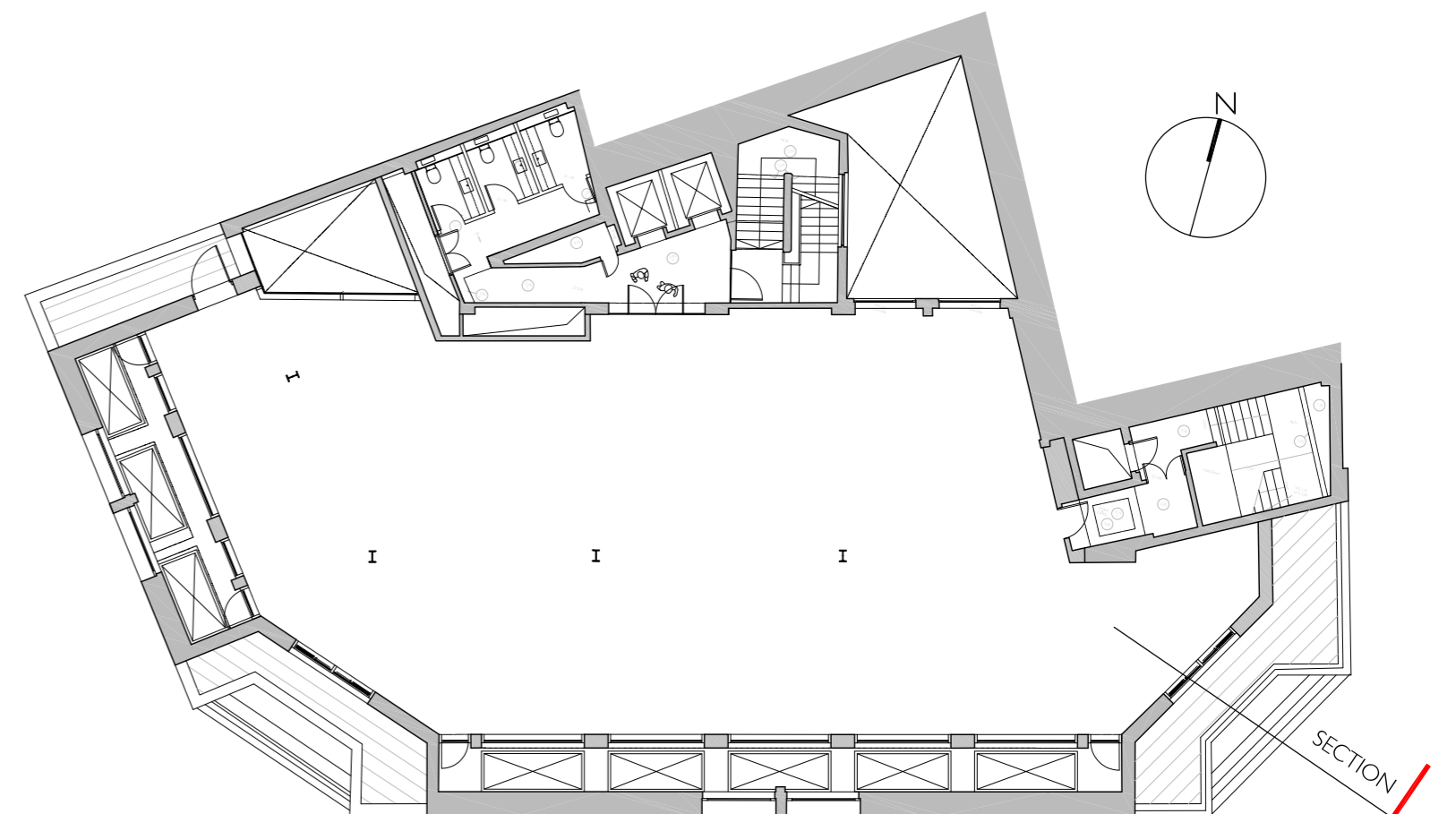
1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m



ANNOTATION KEY:

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- 02 Existing external Portland stonework to be repaired/cleaned to all elevations (general note) plus new pigeon deterrent applied.
- 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area
- 04 Original Portland stone detailing and cornice work to be repaired/reconditioned where necessary
- 05 Proposed toughened glass balustrade to roof terrace perimeter (incl. concealed up-lighter to base of glazed panel)
- 06 Ceramic paving floor finish to terrace (generally)
- 07 New glazed aperture in newly formed eastern end of building at 6th floor level providing access to existing terrace (PPC frame/ RAL colour tbc). Glazing zone to align with fifth floor elevation below and match the window to western end of building [refer to dwg P(--)-23].
- 08 Existing concrete soffit to be lined with light weight concrete paneling (including all down stand beams). To include lighting/service zone above.
- 09 Proposed 'reclaim effect' parquet flooring (herringbone configuration) to all office floors
- 10 Existing stone coping to be retained and repaired where necessary
- 11 Existing lighting fixtures to be retained generally
- 12 Secondary glazing to be installed to replace existing units
- 13 New 6th floor elevation to be faced in Portland stone to match existing facade

PROPOSED SOUTH EAST CORNER - SECTION E  
[1:50@A1]



KEY PLAN (TYPICAL FLOOR)  
[1:200@A1]

**GENERAL NOTES**

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**NOTES**

01/17/06 16 DU PLANNING SUBMISSION

**FILE PATHS**

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* 17 06 16 DU PLANNING SUBMISSION				

**TREHEARNE ARCHITECTS**

PROJECT:  
CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

SUBJECT:  
SOUTH EAST JUNCTION SECTION E  
PROPOSED

DATE:  
Varies@A1

DATE:  
06 16

PROJECT NO:  
LI665

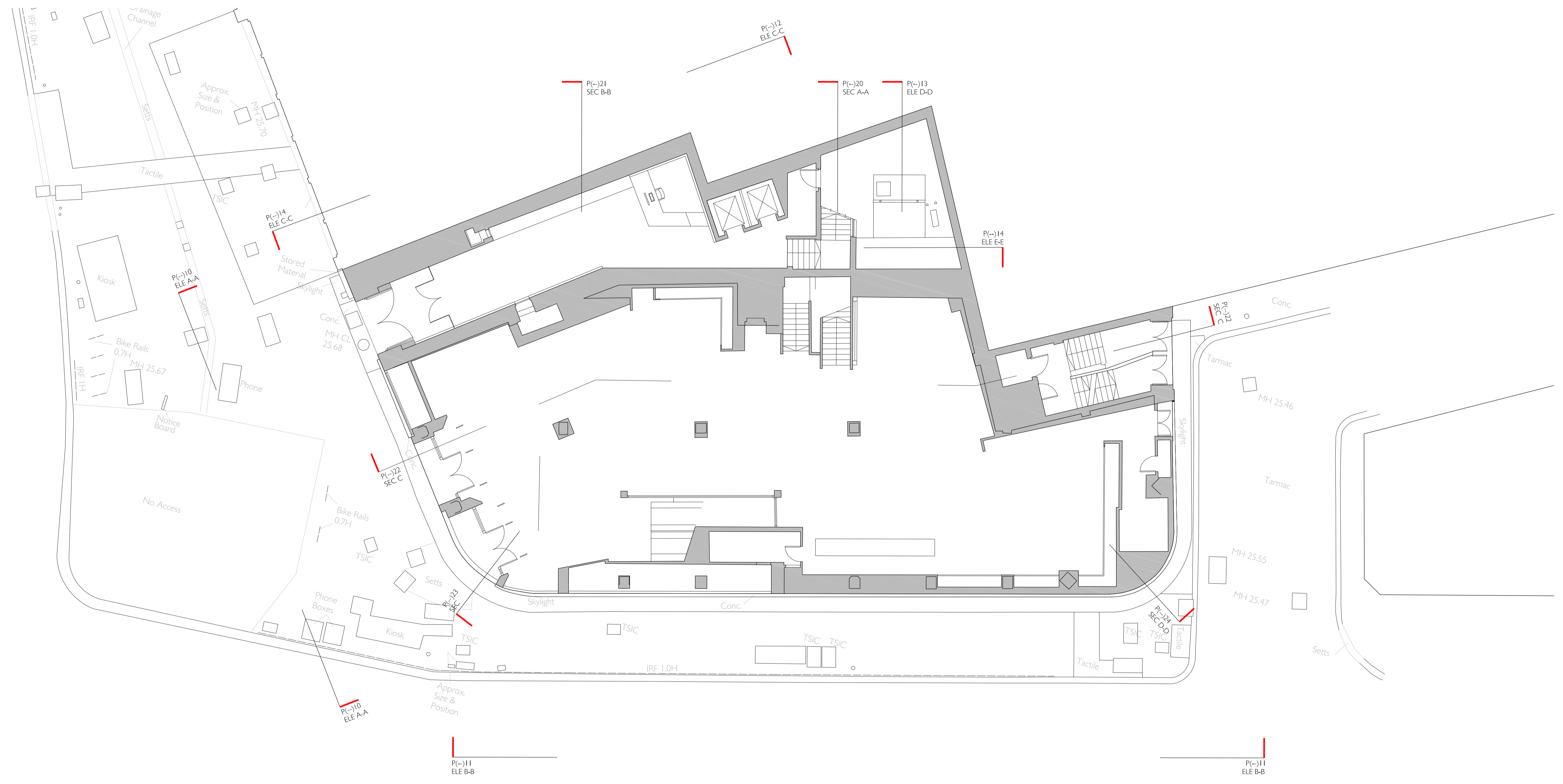
DRAWING NO:  
P(-)24

REVISION:  
#

33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

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1:100



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REGULATIONS NOTES

KEY

NORTH POINT

FILE PATHS

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NO.	DATE	DESCRIPTION
1	17.06.16	DJ - FIRST ISSUE

**TREHEARNE ARCHITECTS**

PROJECT  
CORINTHIAN HOUSE  
TOTTENHAM COURT ROAD, LONDON

DRAWING  
PLAN OF ELEVATION & SECTION LOCATIONS  
PROPOSED

SCALE  
1:100@A1

DATE  
06 16

JOB NO.  
L1665

DRAWING NO.  
P(-)100

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