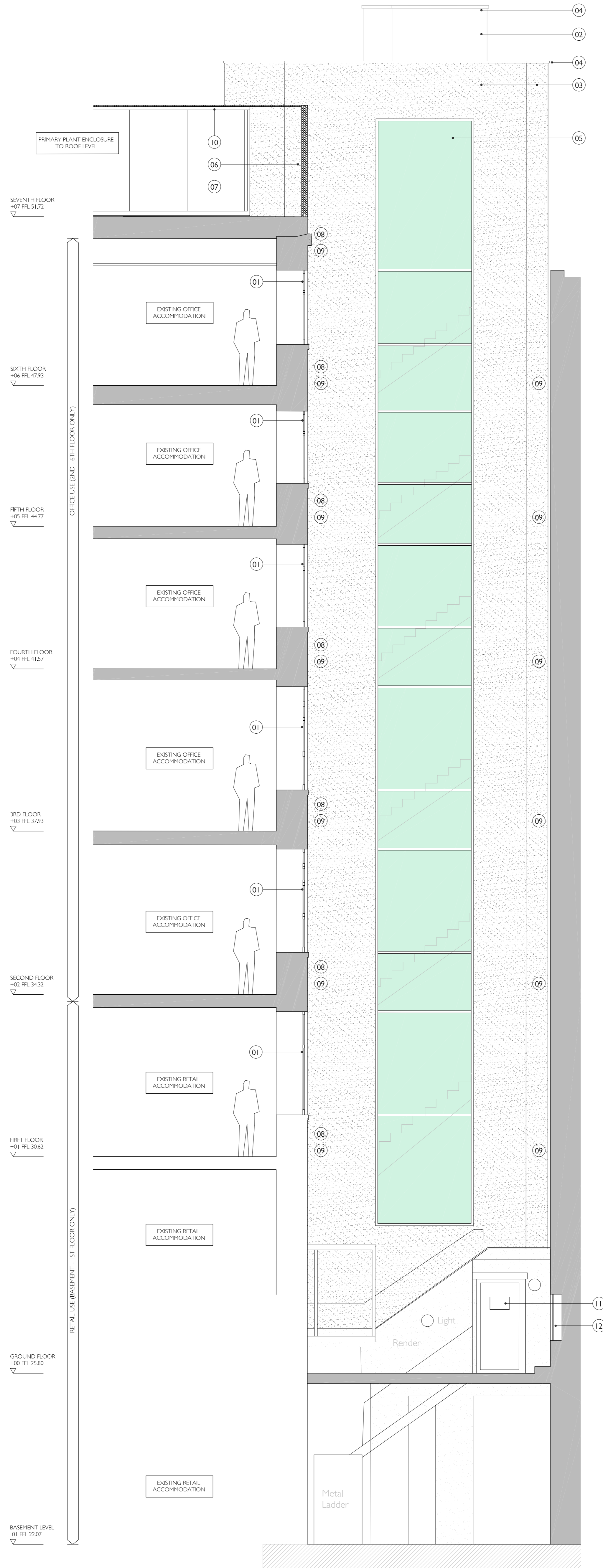


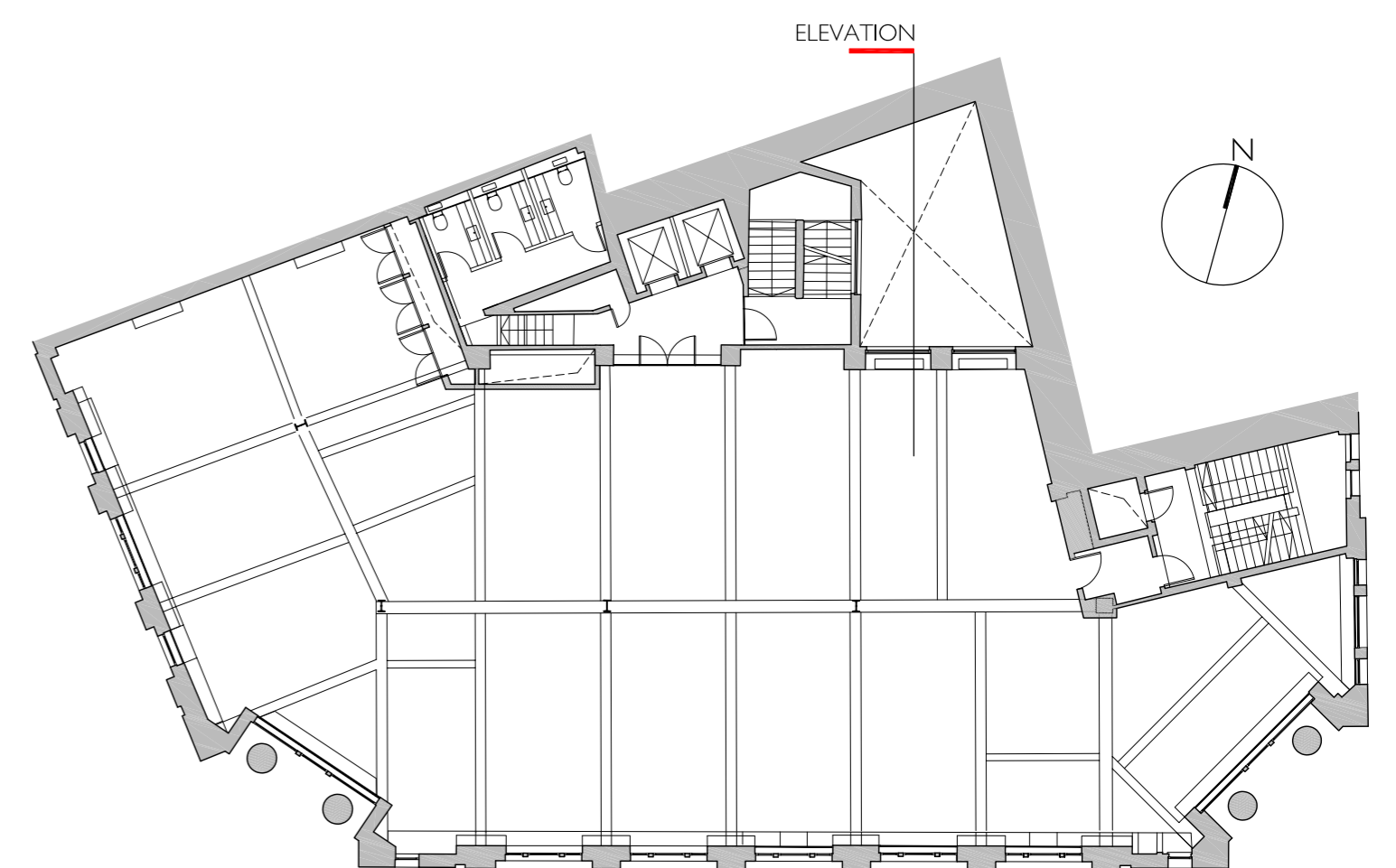
1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m



PROPOSED INTERNAL LIGHT WELL ELEVATION - WEST
[1:50@A1]

ANNOTATION KEY:

- 01 Existing windows to be refurbished throughout. Paintwork to be stripped back and re-painted in a 'bronze' colour (general note).
- 02 Applied through-colour render (white finish) to extension of existing lift/stair core serving 7th floor roof terrace.
- 03 Applied through colour render (white finish) to resemble existing, surrounding ceramic brickwork to be applied to existing stair core elevation, including new seventh floor extension.
- 04 Powder coated aluminium parapet capping detail (RAL colour tbc).
- 05 Proposed double glazed units to existing stair core (to replace existing Proflit glazed panels/glazed vents etc. Powder coated aluminium frame (RAL colour tbc).
- 06 Acoustic louvre system (elevation only) to north and east elevations of primary plant area. Powder coated metal (RAL colour tbc).
- 07 Perforated metal panels to form screening to roof level plant (2.5m above roof terrace ffl).
- 08 Relocation of existing services/external pipe work where possible to ensure the existing facade is expressed as fully as possible.
- 09 Existing ceramic brick work facade. To be refurbished/made good as part of proposed works.
- 10 Plant areas to be enclosed with open metal grid roof above (finish tbc).
- 11 Existing external door (accessing lift lobby/reception zone) to be replaced. Metal faced finish (colour tbc).
- 12 Existing window to be retained and redecorated (serving Dominion Theatre).



KEY PLAN
[1:200@A1]

GENERAL NOTES

- 1. DO NOT SCALE FROM THIS DRAWING
- 2. THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED ON THE DIMENSIONS TAKEN BY PREMIER SURVEYS.
- 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
- 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
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NORTH POINT

FILE PATH

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REVISION

* 17 06 16 DU PLANNING SUBMISSION

TREHEARNE ARCHITECTS

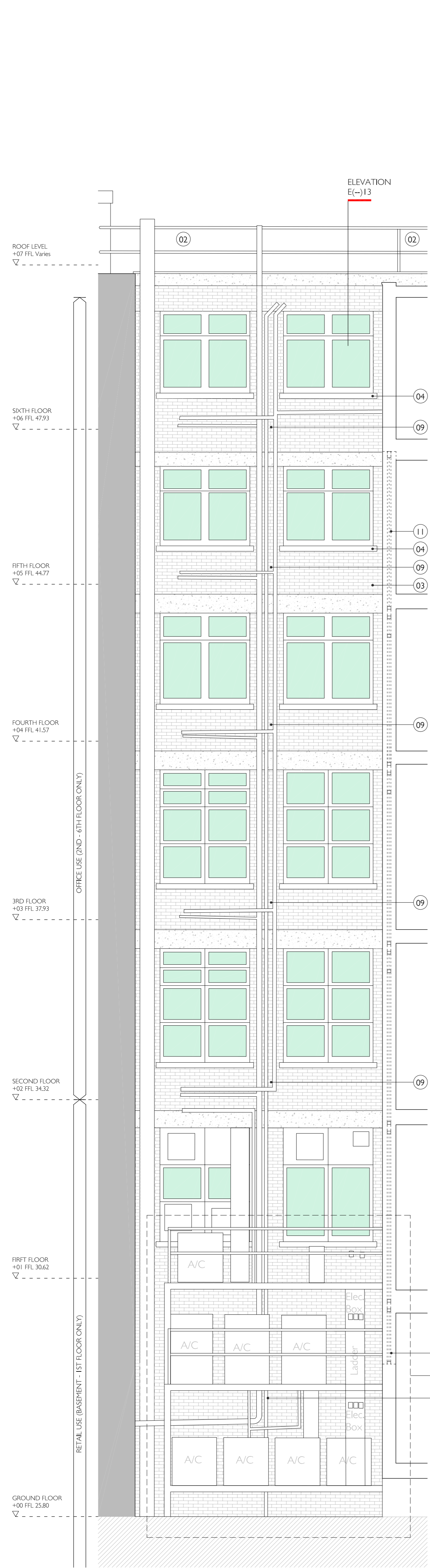
PROJECT
CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

SUBJECT
EXISTING INTERNAL LIGHT WELL
PROPOSED

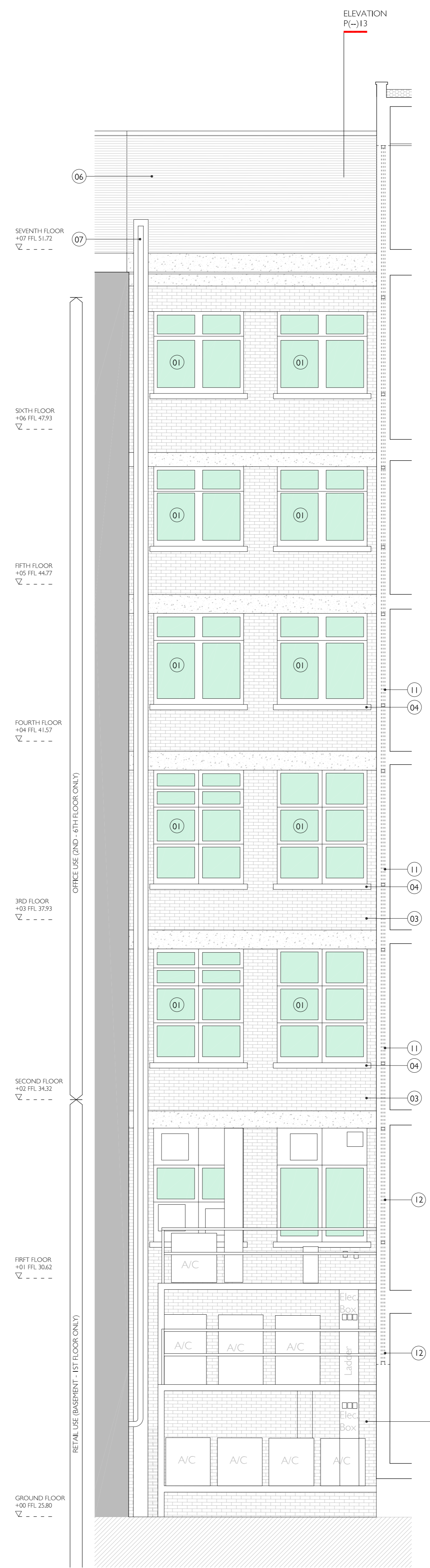
DATE: Varies@A1 DATE: 06 16 PERIOD: L1665 DRAWING NO: P(-)13 NUMBER: #

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1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m



EXISTING INTERNAL LIGHT WELL ELEVATION - SOUTH
[1:50@A1]



PROPOSED INTERNAL LIGHT WELL ELEVATION - SOUTH
[1:50@A1]

ANNOTATION KEY:

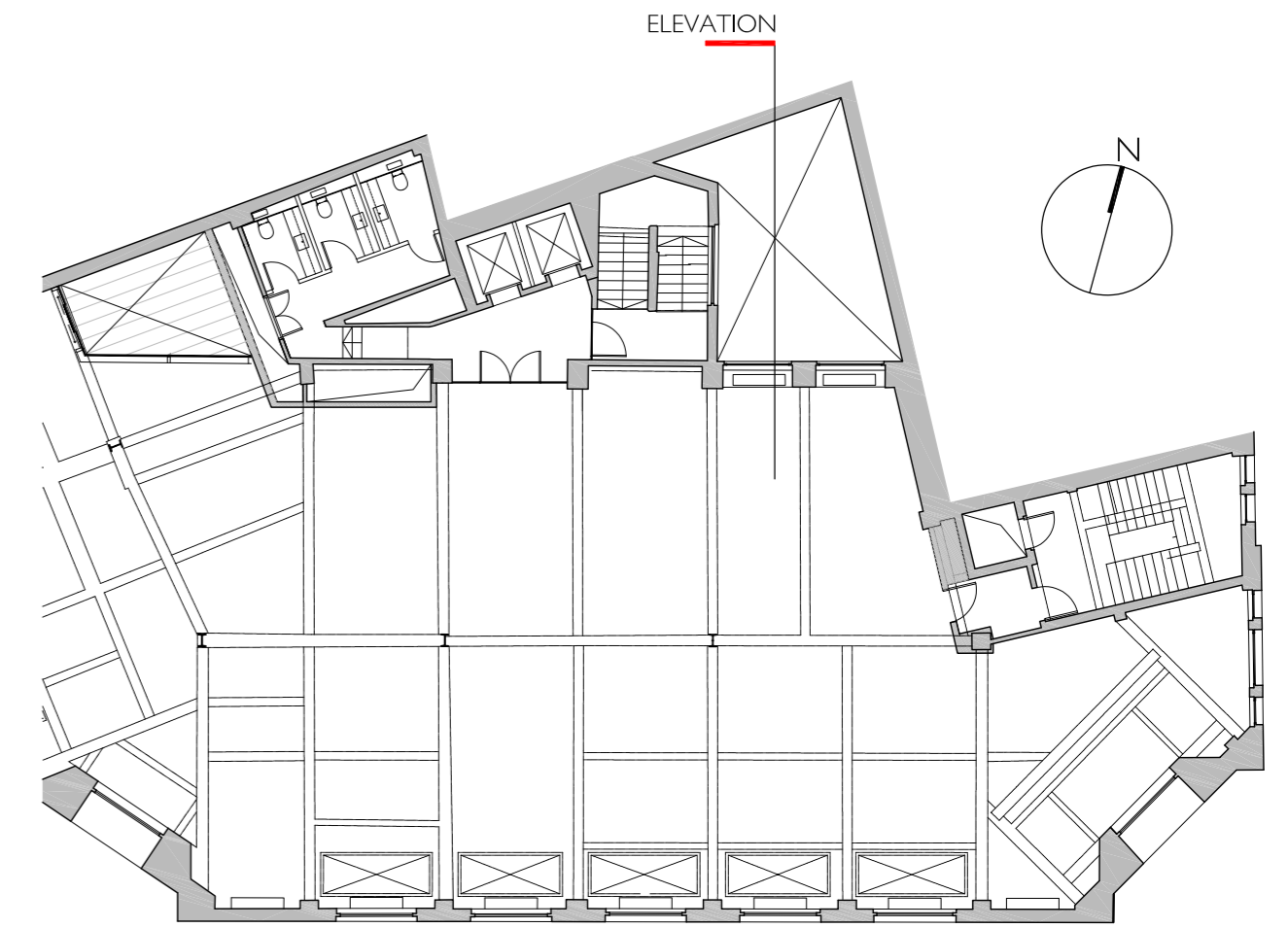
- 01 - Existing windows to be overhauled and redecorated
- 02 - Removal of existing galvanised steel railings/concrete supports at roof level
- 03 - Making good/repair existing ceramic brick work where necessary
- 04 - Existing concrete cill profiles to be sealed and re-painted
- 05 - Existing plant/services serving retail tenants to be retained. Note. Extent of services to be determined following further site investigations.
- 06 - Acoustic louvre system (elevation only) to north and east elevations of primary plant area. Powder coated metal (RAL colour tbc).
- 07 - Relocation of existing services/external pipe work where possible to ensure the existing facade is expressed as fully as possible.
- 08 - Proposed extension to existing stair core to serve accessible roof terrace as part of office redevelopment works. Refer to dwg, P(-)13 for existing & proposed elevations.
- 09 - Removal of redundant external pipe work serving all office floors.
- 10 - New section of ceramic brickwork to facade above existing concrete parapet line. Ceramic brickwork/slips to match existing.
- 11 - Existing window section to staircase (dotted line). Windows to be removed and replaced with new glazing system as part of proposed scheme.
- 12 - Proposed double glazed units to existing stair core (to replace existing Profilit glazed panels/glazed vents etc. Powder coated aluminium frame (RAL colour tbc).



SITE PHOTO OF EXISTING SOUTH ELEVATION TO LIGHT WELL (FROM GROUND FLR)



EXISTING PLANT SERVING RETAIL UNITS - GROUND FLOOR



KEY PLAN (TYPICAL FLOOR)
[1:200@A1]

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NORTH POINT

FILE PATH

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* 17 06 16 DU PRE-APP/PFIRST ISSUE					

TREHEARNE ARCHITECTS

PROJECT
CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

SUBJECT
EXISTING INTERNAL LIGHT WELL
EXISTING & PROPOSED

DATE
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DRAWN
06 16

PROJECT NO.
L1665

PROJECT NO.
P(-)14

PROJECT NO.
#

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