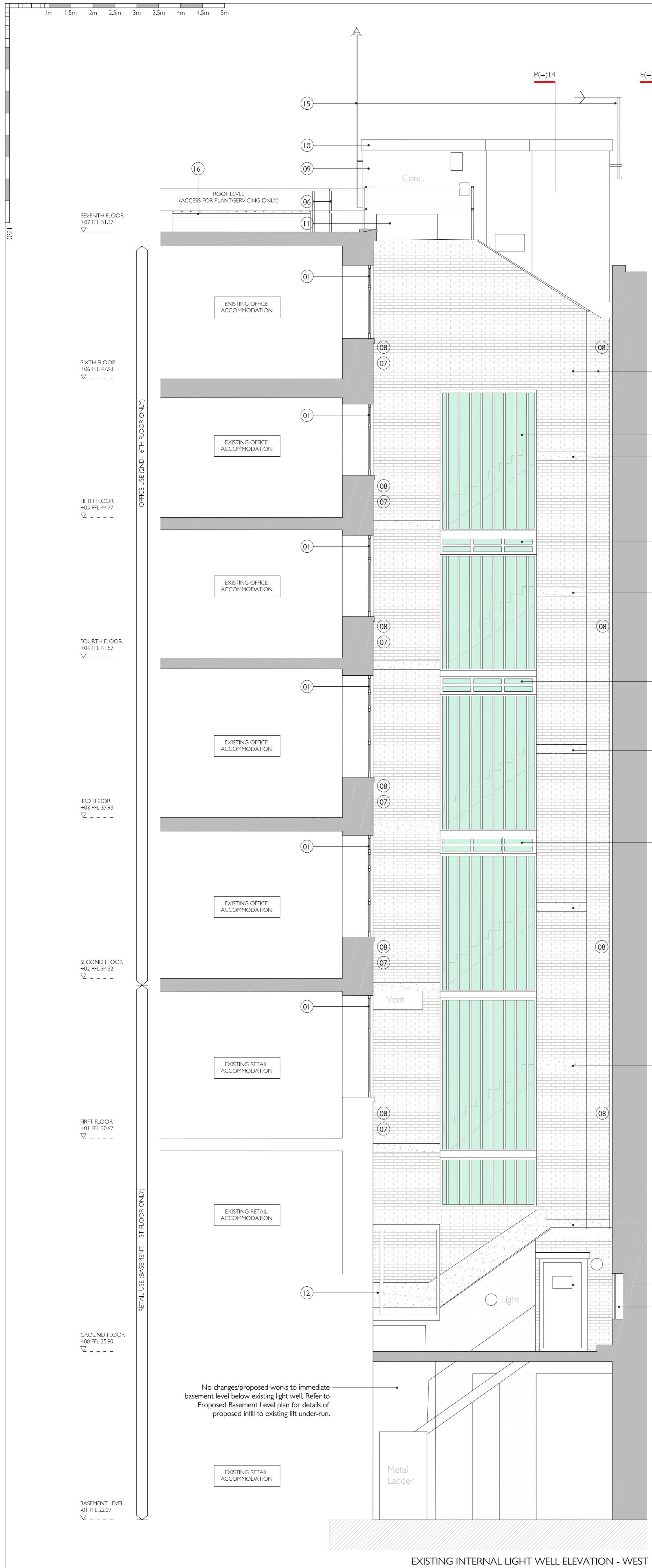


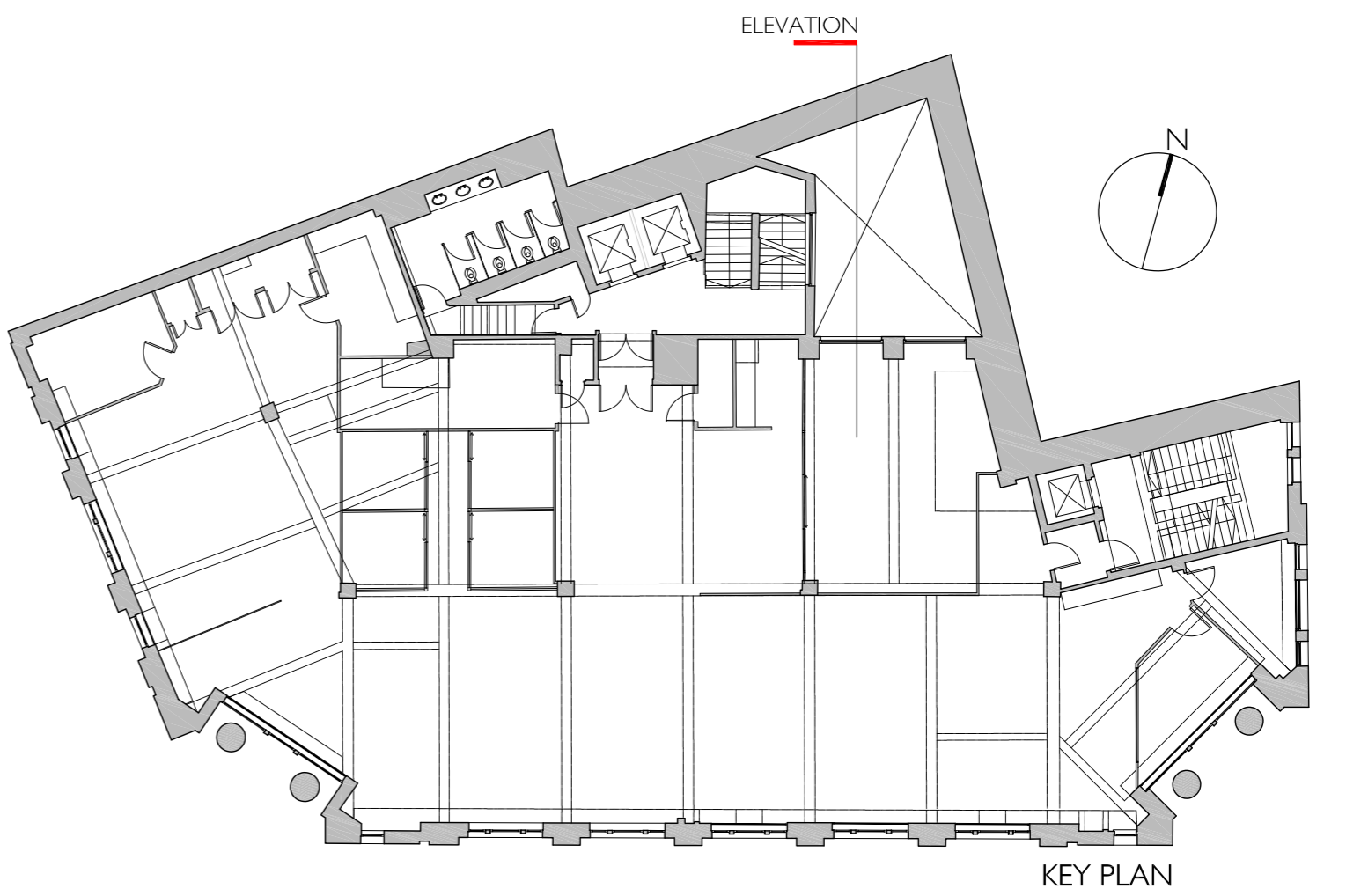
1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m



EXISTING INTERNAL LIGHT WELL ELEVATION - WEST [1506/A1]

ANNOTATION KEY:

- 01 Existing white painted windows.
- 02 Existing brickwork facade to external elevation of stair core.
- 03 Exposed concrete floor slabs staggered within existing stair core elevation
- 04 Existing Profilit glazing to stair core window elevation. Powder coated metal frame profile.
- 05 Openable louvred sections of glazing between existing glazed Profilit sections (manually operated).
- 06 Galvanised steel handrail/balustrade to roof level plant zones.
- 07 Existing services/external pipe work mounted on external walls.
- 08 Existing ceramic brick work facade.
- 09 Applied render finish to existing core at roof level (serving as lift overrun).
- 10 Existing powder coated metal profile to parapet capping.
- 11 Existing smoke hatch to stair core.
- 12 Existing plant/services serving retail tenants to be retained. Note. Extent of services to be determined following site investigations. Refer to dwg. E(-)-13 for details of existing retail plant configuration etc.
- 13 Existing external door (accessing lift lobby/reception zone).
- 14 Existing window to be retained (serving Dominion Theatre).
- 15 Existing aerials.
- 16 Existing projecting roof lights (serving 6th floor office accommodation).



ELEVATION

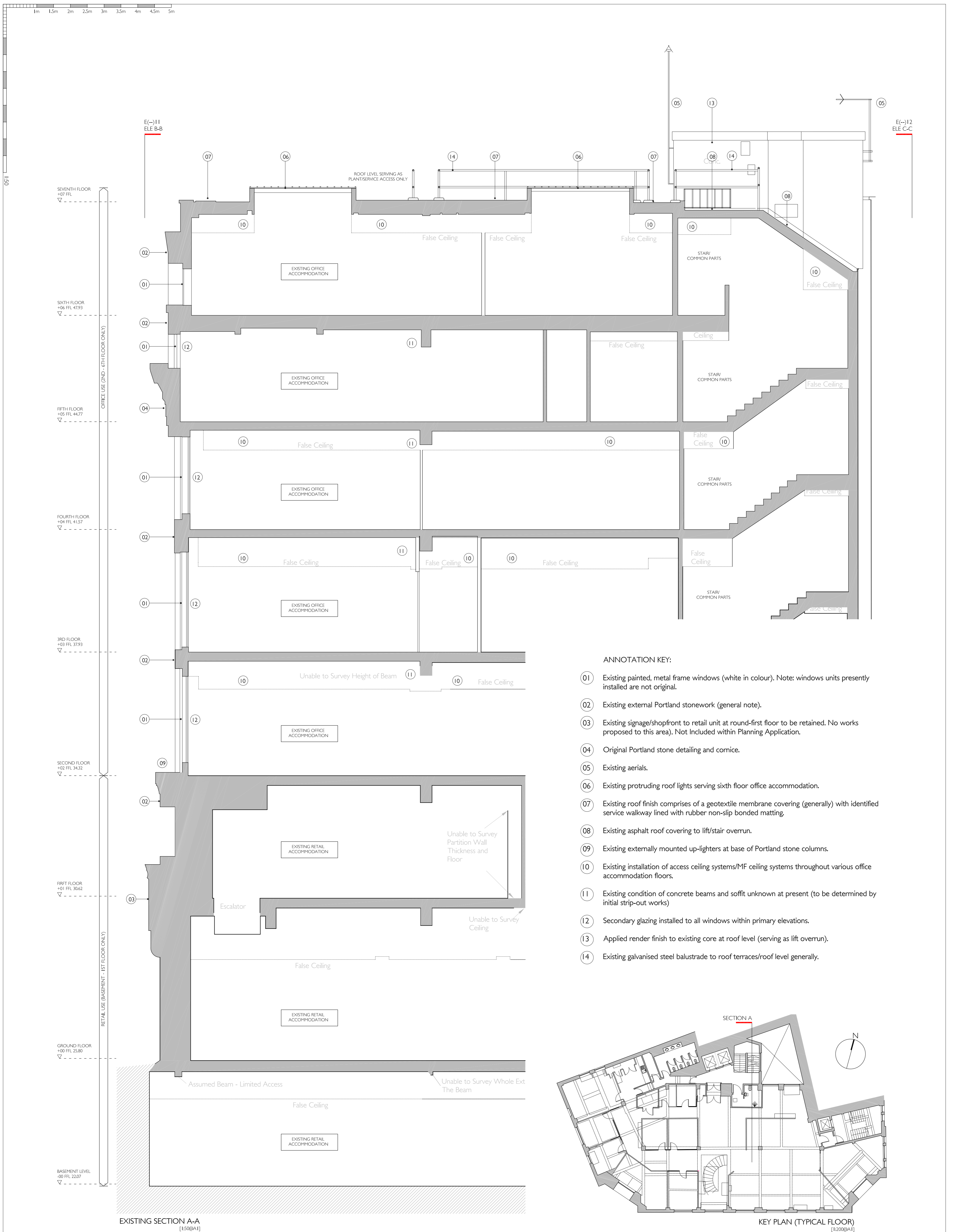
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TREHEARNE ARCHITECTS
 PROJECT:
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 SUBJECT:
 EXISTING INTERNAL LIGHT WELL ELEVATION
 EXISTING ELEVATION D-D
 DATE: 06 16
 DRAWING NO: L1665
 SHEET NO: E(-)13
 33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

1m 1.5m 2m 2.5m 3m 3.5m 4m 4.5m 5m



ANNOTATION KEY:

- 01 Existing painted, metal frame windows (white in colour). Note: windows units presently installed are not original.
- 02 Existing external Portland stonework (general note).
- 03 Existing signage/shopfront to retail unit at round-first floor to be retained. No works proposed to this area). Not Included within Planning Application.
- 04 Original Portland stone detailing and cornice.
- 05 Existing aerials.
- 06 Existing protruding roof lights serving sixth floor office accommodation.
- 07 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.
- 08 Existing asphalt roof covering to lift/stair overrun.
- 09 Existing externally mounted up-lighters at base of Portland stone columns.
- 10 Existing installation of access ceiling systems/MF ceiling systems throughout various office accommodation floors.
- 11 Existing condition of concrete beams and soffit unknown at present (to be determined by initial strip-out works)
- 12 Secondary glazing installed to all windows within primary elevations.
- 13 Applied render finish to existing core at roof level (serving as lift overrun).
- 14 Existing galvanised steel balustrade to roof terraces/roof level generally.

GENERAL NOTES

- DO NOT SCALE FROM THIS DRAWING
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PROJECT
 170616 DU PLANNING SUBMISSION

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TREHEARNE ARCHITECTS

PROJECT
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

SUBJECT
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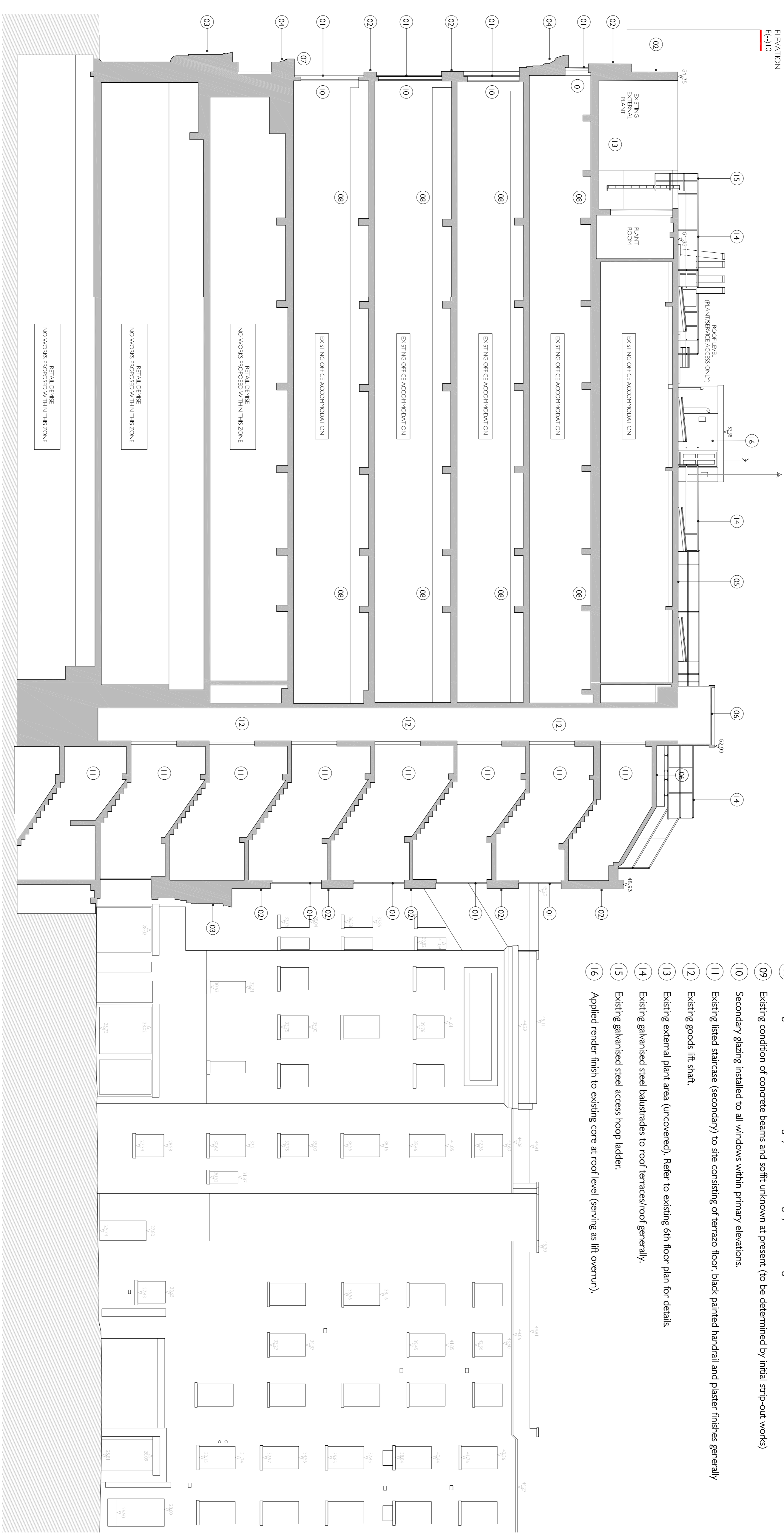
DATE
 06 16

PROJECT NO.
 L1665

DRAWING NO.
 E(-)20

33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

ELEVATION
E(-)10



- ANNOTATION KEY:**
- 01 Existing painted metal frame windows (white in colour). Note: windows units presently installed are not original.
 - 02 Existing external Portland stonework
 - 03 Existing signage/shopfront to retail unit at ground-first floor. No works proposed to this area
 - 04 Original Portland stone detailing and cornice work.
 - 05 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.
 - 06 Existing asphalt roof covering to lift/stair overrun.
 - 07 Existing externally mounted up-lighters at base of Portland stone columns.
 - 08 Existing installation of access ceiling systems/VF ceiling systems throughout various office accommodation floors.
 - 09 Existing condition of concrete beams and soffit unknown at present (to be determined by initial strip-out works)
 - 10 Secondary glazing installed to all windows within primary elevations.
 - 11 Existing listed staircase (secondary) to site consisting of terrazzo floor, black painted handrail and plaster finishes generally
 - 12 Existing goods lift shaft.
 - 13 Existing external plant area (uncovered). Refer to existing 6th floor plan for details.
 - 14 Existing galvanised steel balustrades to roof terraces/roof generally.
 - 15 Existing galvanised steel access hoop ladder.
 - 16 Applied render finish to existing core at roof level (serving as lift overrun).

TOTTENHAM COURT ROAD
[1:100 @ A1]

CORNTHIAN HOUSE (THE SITE - 279 TOTTENHAM COURT ROAD)

BANBRIDGE STREET

ROOF LEVEL
+07 FT. Varies

SIXTH FLOOR
+46 FT. 7/93

FIFTH FLOOR
+46 FT. 4/47

FOURTH FLOOR
+44 FT. 4/157

THIRD FLOOR
+43 FT. 3/93

SECOND FLOOR
+42 FT. 3/42

FIRST FLOOR
+41 FT. 3/62

GROUND FLOOR
+40 FT. 2/80

BASEMENT LEVEL
+40 FT. 2/27

SECTION C
[1:100 @ A1]

- GENERAL NOTES**
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 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE WRITTEN AGREEMENT OF THE ARCHITECT.

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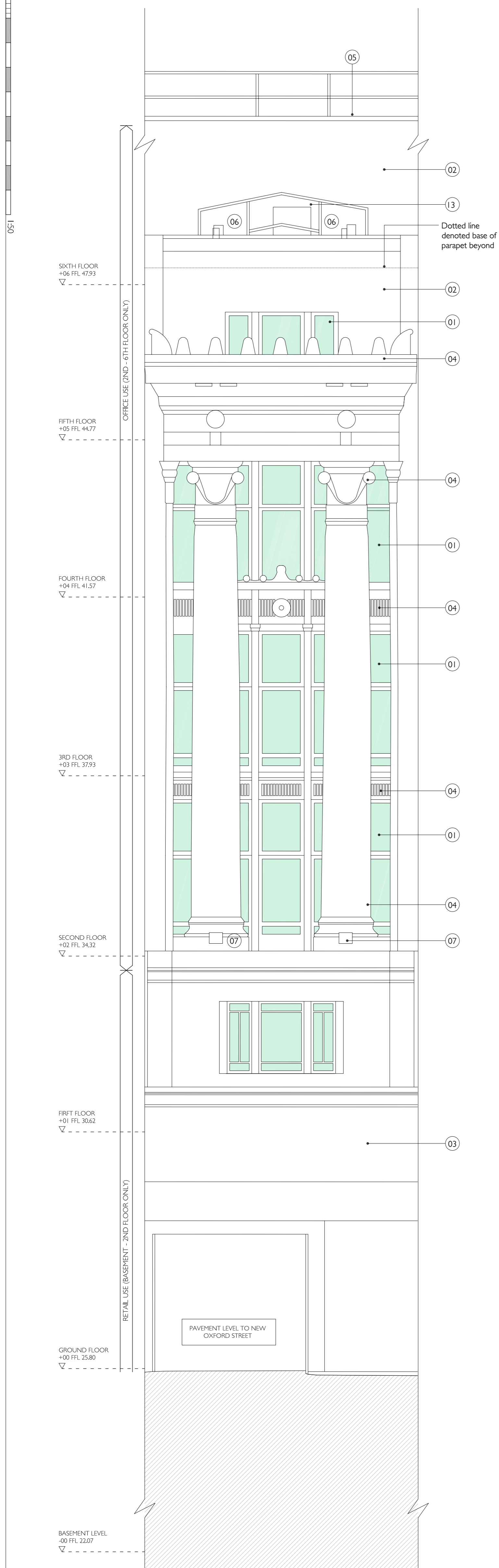
TREHEARNE ARCHITECTS
 CORNTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

SECTION C-C
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DATE: 06/16
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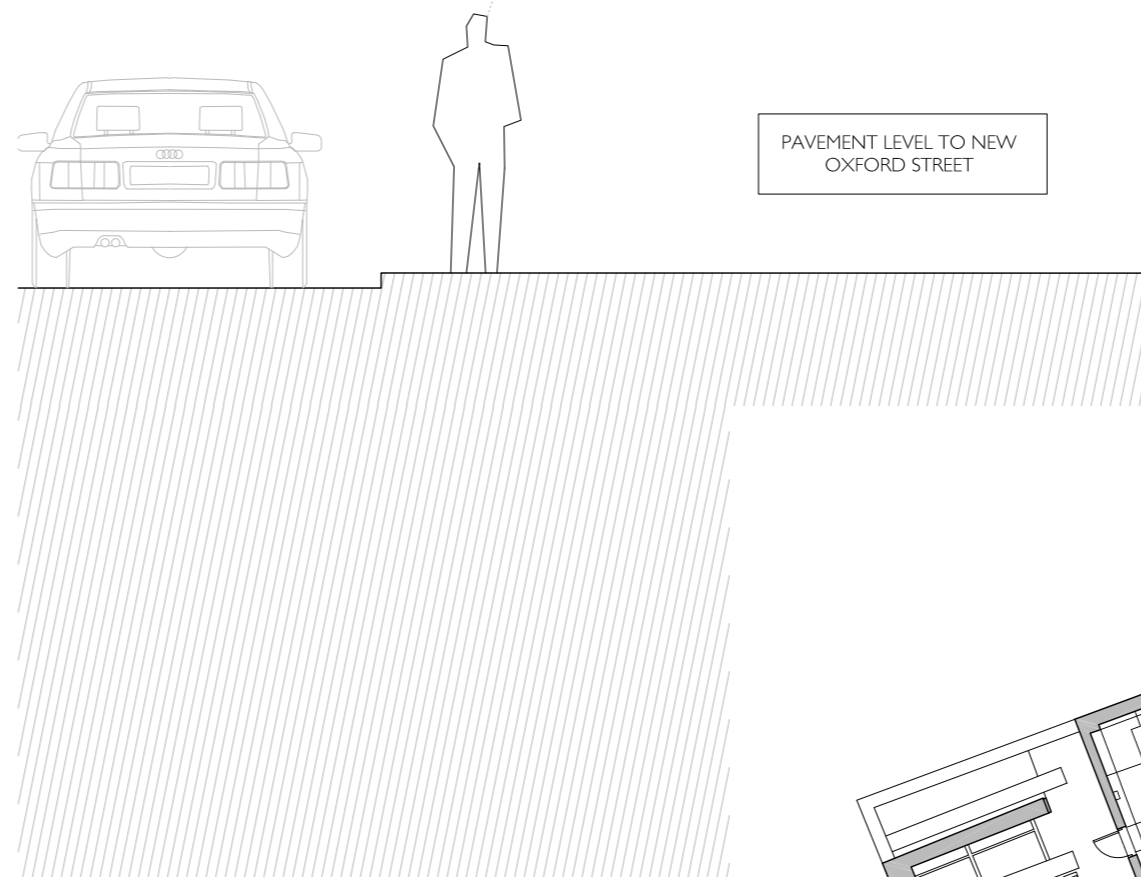
31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 www.trehearne.co.uk

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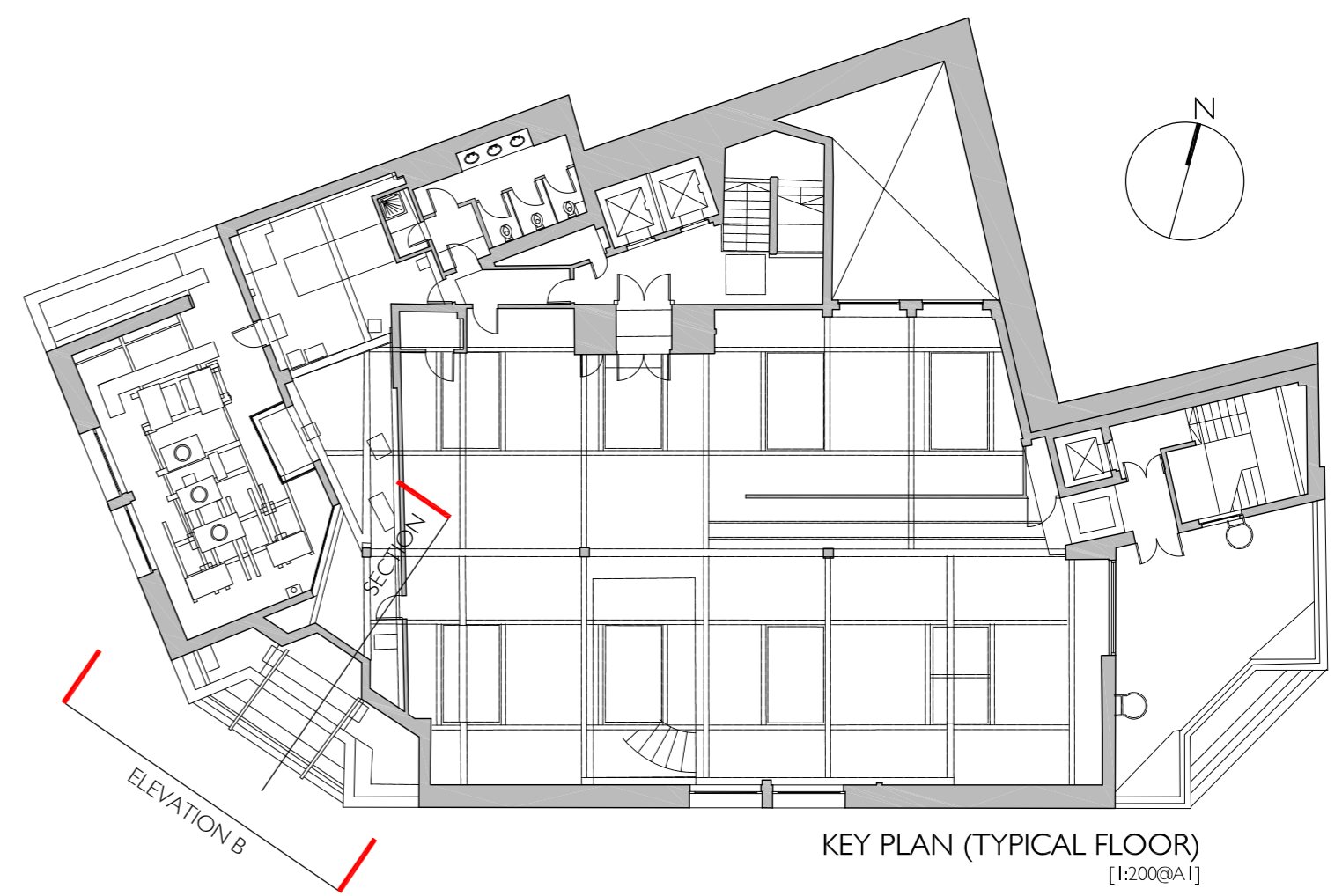


EXISTING SOUTH WEST CORNER - ELEVATION [1:50@A1]

- ANNOTATION KEY:
- 01 Existing painted, metal frame windows (white in colour). Note: windows units presently installed are not original.
 - 02 Existing external Portland stonework.
 - 03 Existing signage/shopfront to retail unit at ground-first floor. No works proposed to this area
 - 04 Original Portland stone detailing and cornice work.
 - 05 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.
 - 06 Secondary, redundant RSJ steel work remains exposed at roof level corner junctions. It is assumed that these items represent part of the bracketry supporting previously installed fixtures for signage/external branding to the site.
 - 07 Existing externally mounted up-lighters at base of Portland stone columns.
 - 08 Existing installation of access ceiling systems/MF ceiling systems throughout various office accommodation floors.
 - 09 Existing condition of concrete beams and soffit unknown at present (to be determined by initial strip-out works)
 - 10 Secondary glazing installed to all windows within primary elevations.
 - 11 Asphalt finish to lower portions of recessed parapet of a generally poor condition.
 - 12 Existing condition of floor slab incl. build up to be determined following intrusive testing/opening up works.
 - 13 Existing opening formed within Portland stone facade (poor finish to surround).



EXISTING SOUTH WEST CORNER - SECTION [1:50@A1]



KEY PLAN (TYPICAL FLOOR) [1:200@A1]

GENERAL NOTES

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PROJECT

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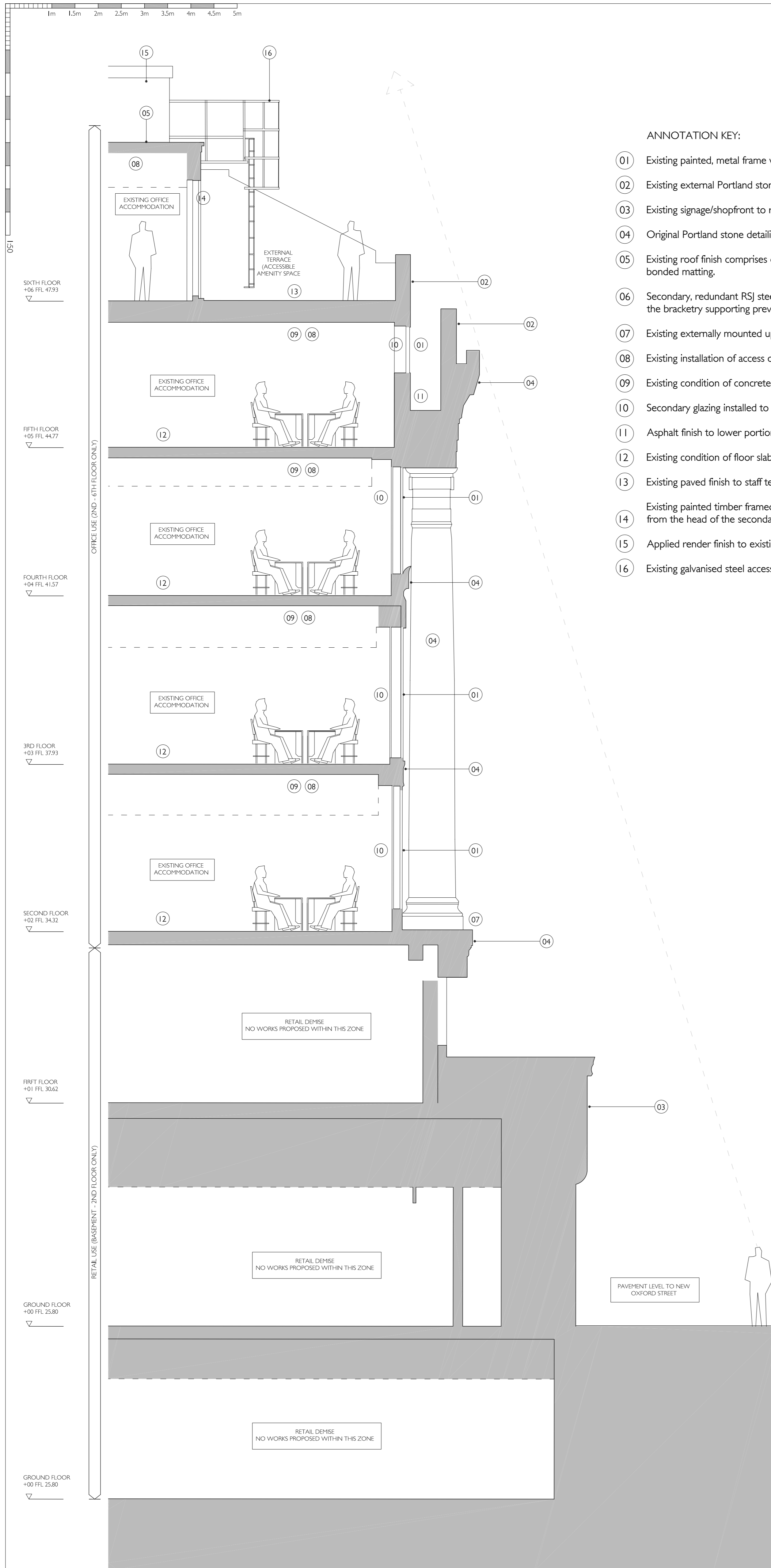
TREHEARNE ARCHITECTS

PROJECT
CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

SUBJECT
SOUTH WEST JUNCTION ELEVATION & SECTION
EXISTING

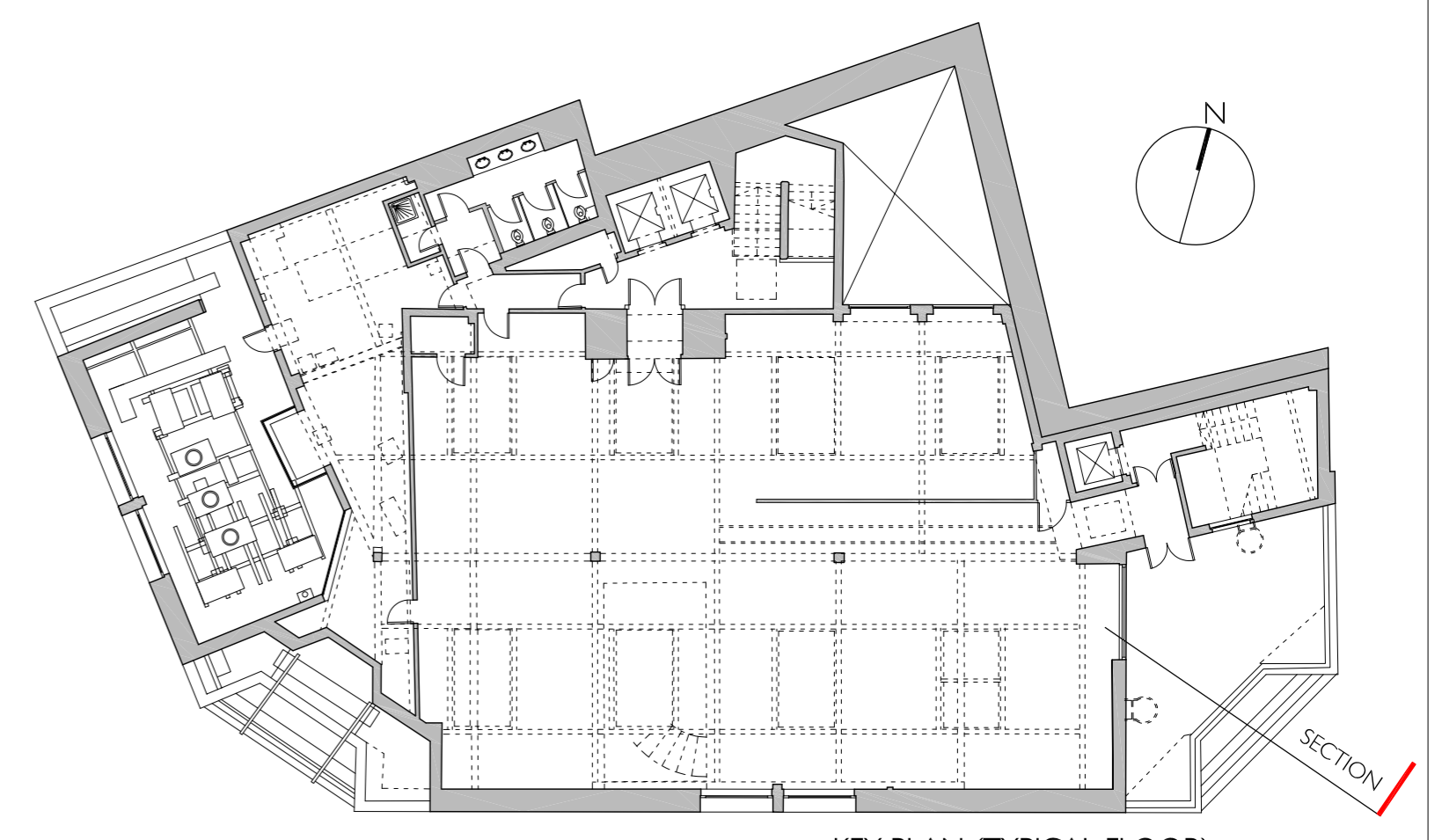
SCALE: 1:50 DATE: 06/16 PROJECT NO: L1665 DRAWING NO: E(-)23

33 HIGH HOLBORN, LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk



ANNOTATION KEY:

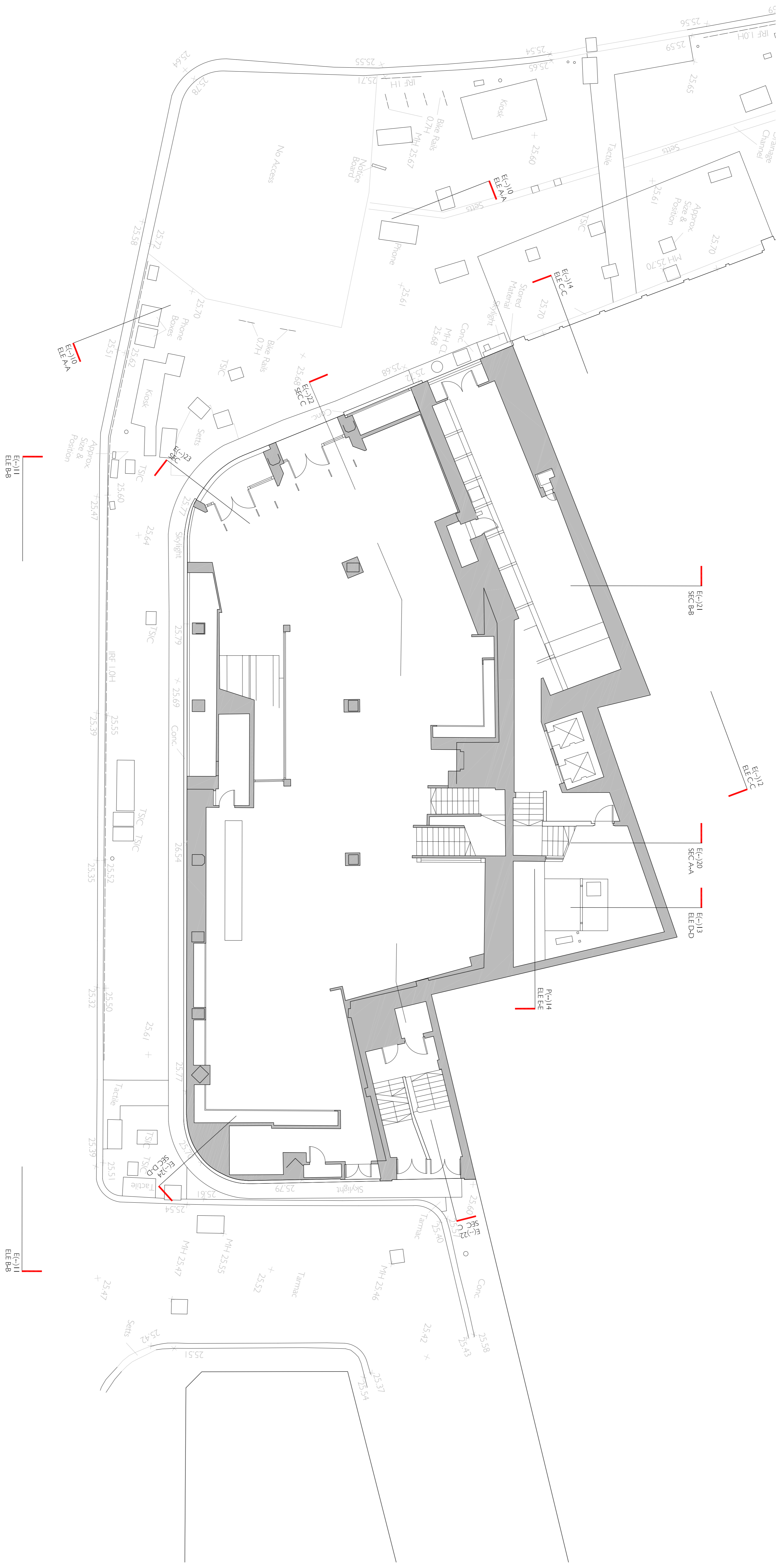
- 01 Existing painted, metal frame windows (white in colour). Note: windows units presently installed are not original.
- 02 Existing external Portland stonework.
- 03 Existing signage/shopfront to retail unit at ground-first floor to be retained. No works proposed to this area.
- 04 Original Portland stone detailing and cornice work.
- 05 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.
- 06 Secondary, redundant RSJ steel work remains exposed at roof level corner junctions. It is assumed that these items represent part of the bracketry supporting previously installed fixtures for signage/external branding to the site.
- 07 Existing externally mounted up-lighters at base of Portland stone columns.
- 08 Existing installation of access ceiling systems/MF ceiling systems throughout various office accommodation floors.
- 09 Existing condition of concrete beams and soffit unknown at present (to be determined by initial strip-out works)
- 10 Secondary glazing installed to all windows within primary elevations.
- 11 Asphalt finish to lower portions of recessed parapet of a generally poor condition.
- 12 Existing condition of floor slab incl. build up to be determined following intrusive testing/opening up works.
- 13 Existing paved finish to staff terrace at 6th floor.
- 14 Existing painted timber framed glazing (full height) facing onto external terrace. Note access to terrace is also via double doors leading from the head of the secondary escape stair (see existing 6th floor key plan below).
- 15 Applied render finish to existing goods lift/stair overrun.
- 16 Existing galvanised steel access hoop ladder.



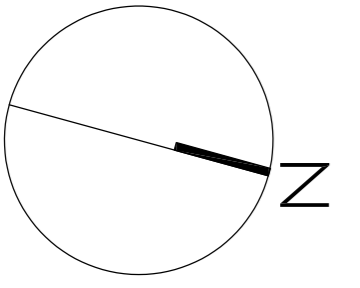
EXISTING SOUTH EAST CORNER - SECTION E
[1:50@A1]

KEY PLAN (TYPICAL FLOOR)
[1:200@A1]

<p>GENERAL NOTES</p> <ol style="list-style-type: none"> DO NOT SCALE FROM THIS DRAWING THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED ON THE DIMENSIONS TAKEN BY PREMIER SURVEYS. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT. 	<p>COORDINATOR</p>	<p>FILE PATHS</p> <p>edf1665 corinthian house, tottenham court road\drawing\series\ec-124_section_e.dwg thunderbug\1 network\project\ncv\drawings\area\plans\1_x_01</p>	<p>DATE</p> <p>17 06 16 DU PLANNING SUBMISSION</p>	<p>TREHEARNE ARCHITECTS</p> <p>PROJECT: CORINTHIAN HOUSE TOTTENHAM COURT ROAD, LONDON</p> <p>SUBJECT: SOUTH EAST JUNCTION SECTION E EXISTING</p> <p>SCALE: varies@A1 DATE: 06 16 PROJECT: L1665 DRAWING NO: E(-)24 NUMBER: #</p> <p>33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk</p>
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CORNITHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 PLAN OF ELEVATION & SECTION LOCATIONS
 EXISTING

DATE: 06/16
 DRAWN BY: L1665
 CHECKED BY: E(-)100