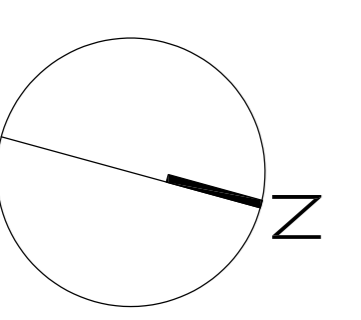


- GENERAL NOTES**
1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THE DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT'S SURVEYORS
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.



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 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

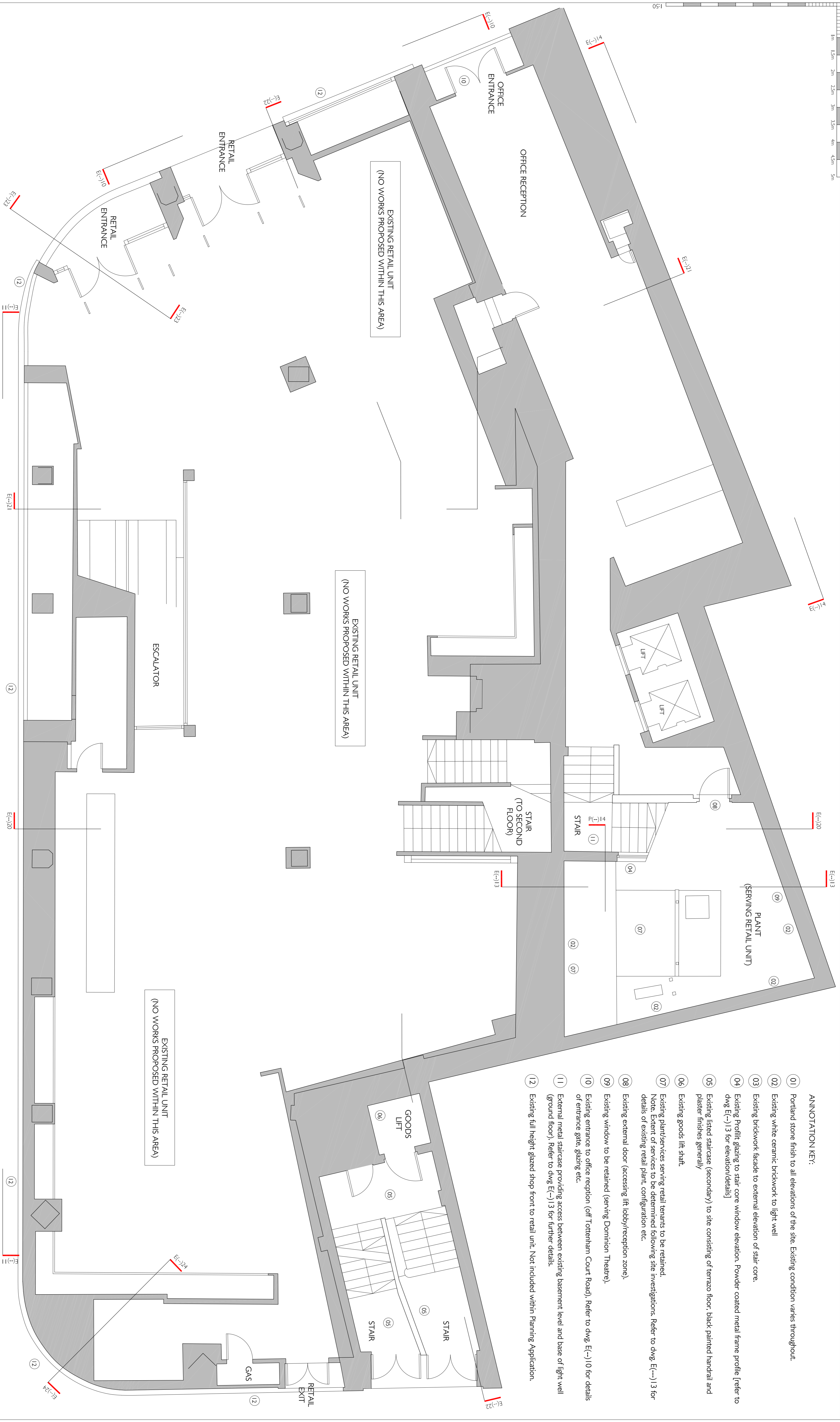
PROJECT: BASEMENT LEVEL PLAN
 EXISTING

DATE: 06/16
 DRAWING NO: L1665
 SHEET: E(-)100
 NUMBER: A

39 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1288 www.trehearne.co.uk

DATE: 20/04/16
 DRAWING NO: L1665
 SHEET: E(-)100

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT APPLICATION	20/04/16
2	ISSUED FOR PERMIT APPLICATION	20/04/16
3	ISSUED FOR PERMIT APPLICATION	20/04/16
4	ISSUED FOR PERMIT APPLICATION	20/04/16
5	ISSUED FOR PERMIT APPLICATION	20/04/16
6	ISSUED FOR PERMIT APPLICATION	20/04/16
7	ISSUED FOR PERMIT APPLICATION	20/04/16
8	ISSUED FOR PERMIT APPLICATION	20/04/16
9	ISSUED FOR PERMIT APPLICATION	20/04/16
10	ISSUED FOR PERMIT APPLICATION	20/04/16



- ANNOTATION KEY:**
- 01 Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - 02 Existing white ceramic brickwork to light well
 - 03 Existing brickwork facade to external elevation of stair core.
 - 04 Existing profile glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg Ec(-)13 for elevation/details]
 - 05 Existing listed staircase (secondary) to site consisting of terrazo floor, black painted handrail and plaster finishes generally
 - 06 Existing goods lift shaft.
 - 07 Existing plant/services serving retail tenants to be retained. Note. Extent of services to be determined following site investigations. Refer to dwg. Ec(-)13 for details of existing retail plant, configuration etc.
 - 08 Existing external door (accessing lift lobby/reception zone).
 - 09 Existing window to be retained (serving Dominion Theatre).
 - 10 Existing entrance to office reception (off Tottenham Court Road). Refer to dwg. Ec(-)10 for details of entrance gate, glazing etc.
 - 11 External metal staircase providing access between existing basement level and base of light well (ground floor). Refer to dwg Ec(-)13 for further details.
 - 12 Existing full height glazed shop front to retail unit. Not included within Planning Application.

GENERAL NOTES

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REGULATIONS NOTES

118

NOTES

NOTES

REVISIONS

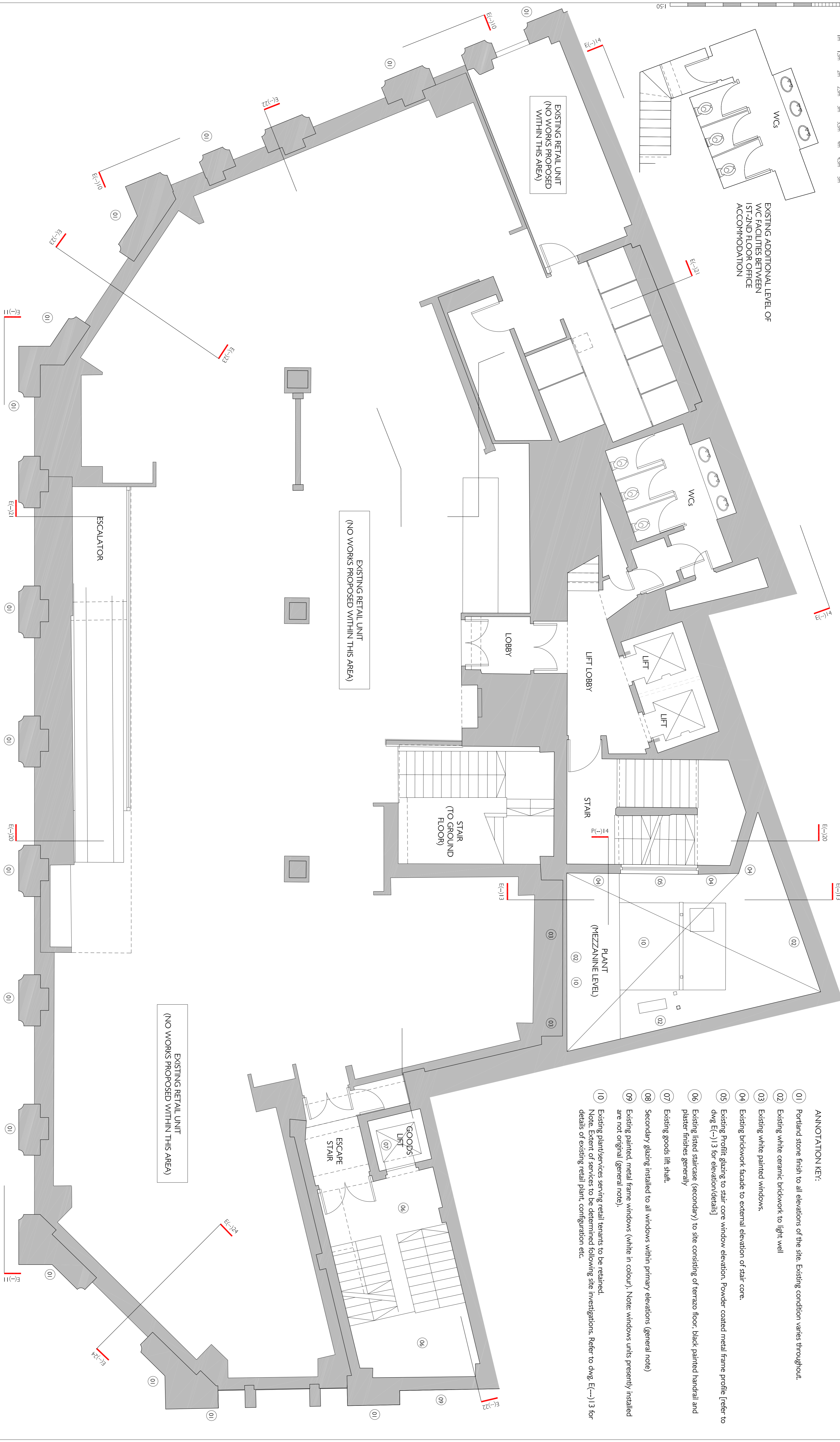
NO.	DATE	DESCRIPTION
A	13/04/16	DUPLICATE FOR FIRST ISSUE
B	17/04/16	DUPLICATE FOR PRE-APP SUBMISSION
C	17/04/16	DUPLICATE FOR PLANNING SUBMISSION

EXISTING RETAIL UNIT (NO WORKS PROPOSED WITHIN THIS AREA)

TREHEARNE ARCHITECTS
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 GROUND FLOOR PLAN
 EXISTING

DATE: 06/16
 DRAWN BY: L1665
 CHECKED BY: E(-)01
 SCALE: B

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1288 WWW.TREHEARNEARCHITECTS.COM

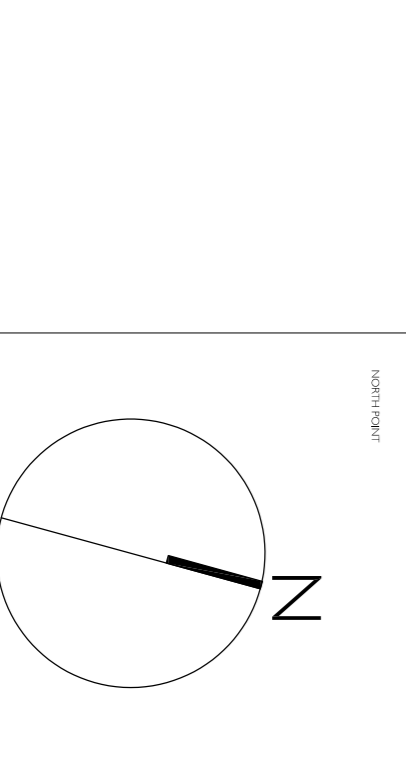


- ANNOTATION KEY:**
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 - 02 Existing white ceramic brickwork to light well
 - 03 Existing white painted windows.
 - 04 Existing brickwork facade to external elevation of stair core.
 - 05 Existing Profile glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg E(-)13 for elevation/details]
 - 06 Existing listed staircase (secondary) to site consisting of terrazzo floor, black painted handrail and plaster finishes generally
 - 07 Existing goods lift shaft.
 - 08 Secondary glazing installed to all windows within primary elevations (general note)
 - 09 Existing painted, metal frame windows (white in colour). Note: windows units presently installed are not original (general note).
 - 10 Existing plant/services serving retail tenants to be retained.
Note: Extent of services to be determined following site investigations. Refer to dwg E(-)13 for details of existing retail plant, configuration etc.

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PROVISIONAL NOTES

01



REVISIONS

NO.	DATE	DESCRIPTION
1	202416	DUPLICATE
2	130516	DUPLICATE
3	172616	DUPLICATE

NO.	DATE	DESCRIPTION
1	202416	DUPLICATE
2	130516	DUPLICATE
3	172616	DUPLICATE
4	202416	DUPLICATE
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20	202416	DUPLICATE

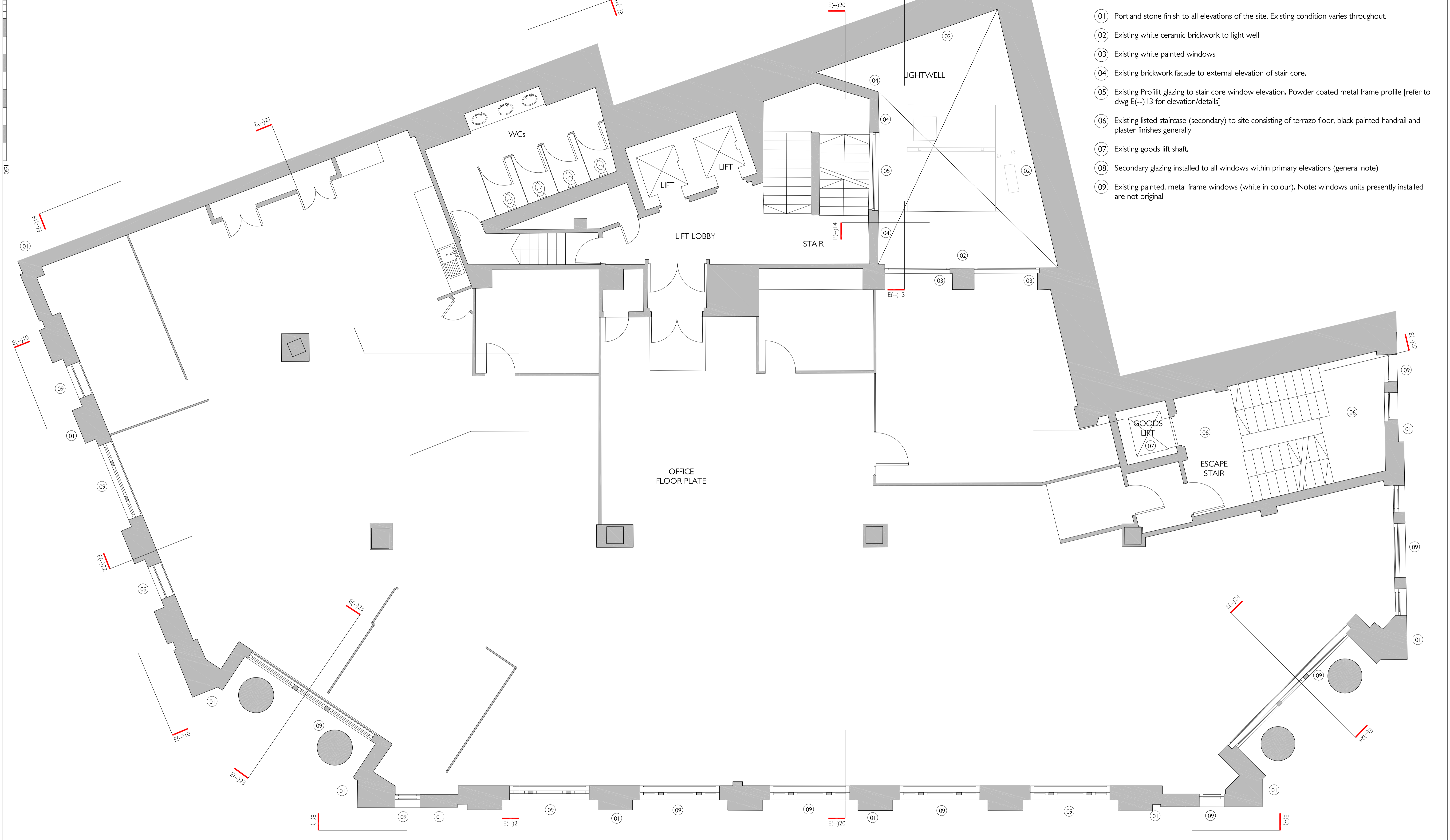
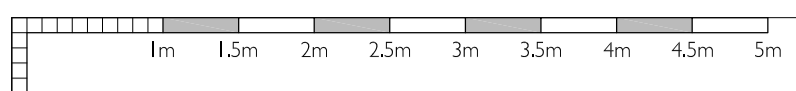
TREHEARNE ARCHITECTS

100, CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON
W14 7JF

FIRST FLOOR PLAN

DATE: 06.16
DRAWN BY: L1665
CHECKED BY: E(-)02
SCALE: B

31 HIGH HOLBORN, LONDON, WC1A 1BB 020 7421 1288 WWW.TREHEARNEARCHITECTS.COM



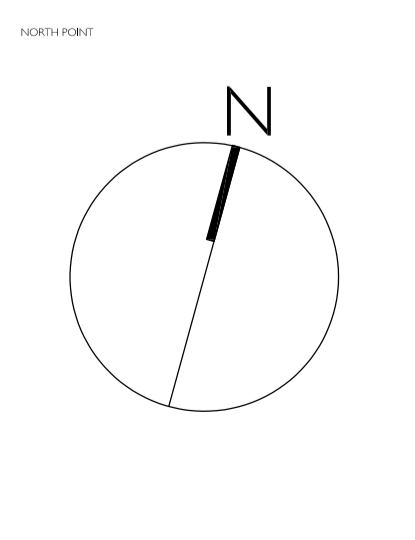
- ANNOTATION KEY:
- (01) Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - (02) Existing white ceramic brickwork to light well
 - (03) Existing white painted windows.
 - (04) Existing brickwork facade to external elevation of stair core.
 - (05) Existing Profilit glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg E(-)13 for elevation/details]
 - (06) Existing listed staircase (secondary) to site consisting of terrazo floor, black painted handrail and plaster finishes generally
 - (07) Existing goods lift shaft.
 - (08) Secondary glazing installed to all windows within primary elevations (general note)
 - (09) Existing painted, metal frame windows (white in colour). Note: windows units presently installed are not original.

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REGULATIONS NOTES

KEY



FILE PATHS

NO.	DATE	DESCRIPTION
1	20.04.16	DJ FIRST ISSUE
2	13.05.16	DJ PRE-APP SUBMISSION
3	17.05.16	DJ PLANNING SUBMISSION

REVISION

NO.	DATE	DESCRIPTION

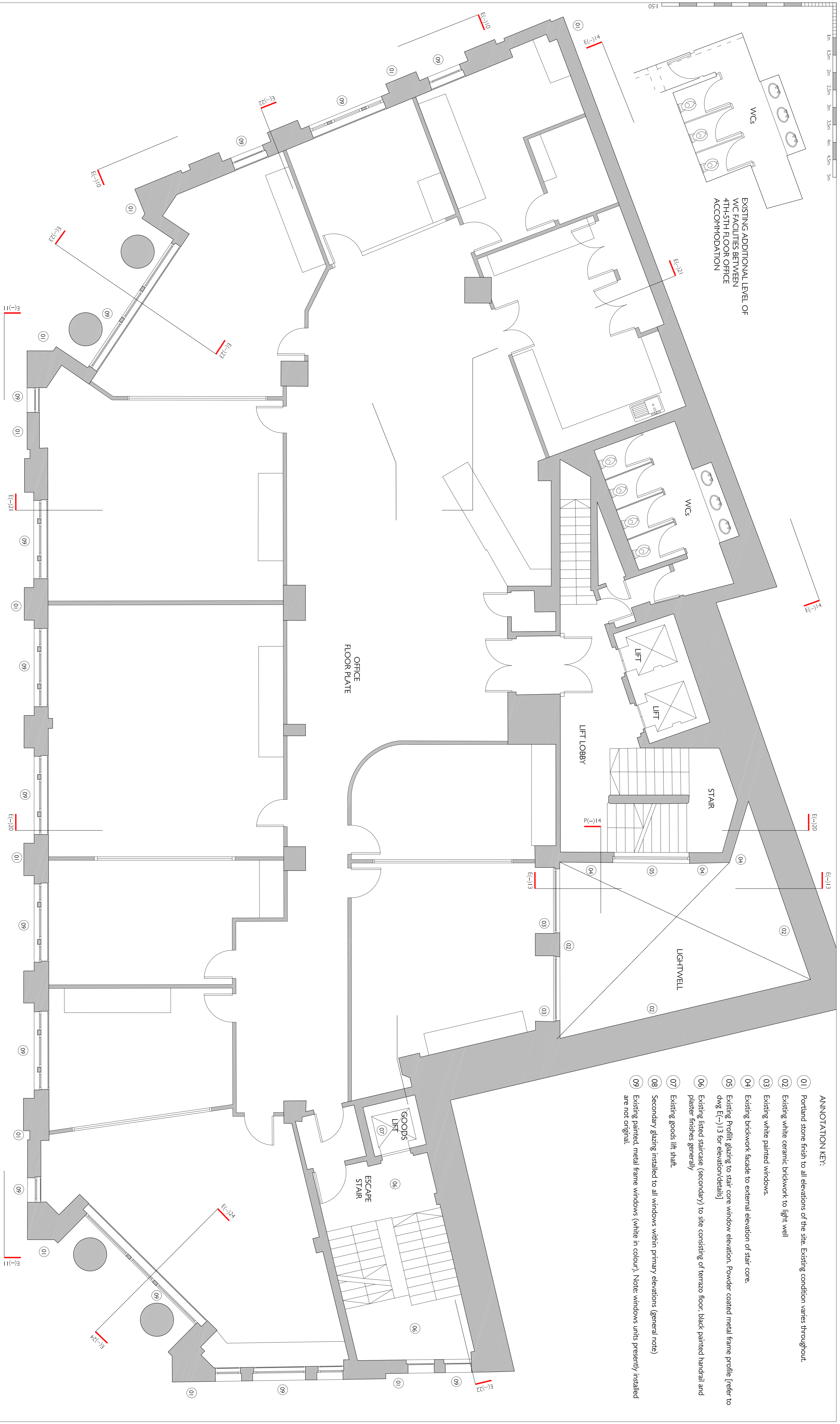
TREHEARNE ARCHITECTS

PROJECT: CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

SHEET: SECOND FLOOR PLAN
EXISTING

SCALE: 1:50@A1 DATE: 06.16 DRAWING NO: L1665 ELEVATION: E(-)03 REVISION: B

33 HIGH HOLBORN LONDON WC2A 1EB 020 7421 1799 www.trehearne.co.uk

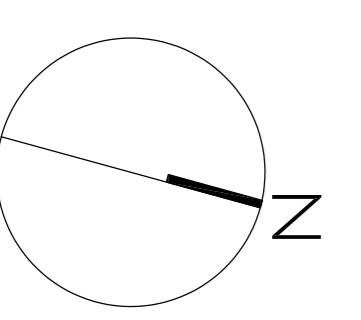


EXISTING ADDITIONAL LEVEL OF
WC FACILITIES BETWEEN
4TH-5TH FLOOR OFFICE
ACCOMMODATION

OFFICE
FLOOR PLATE

- ANNOTATION KEY:**
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 - 05 Existing Profilt glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg E(-) 13 for elevation/details]
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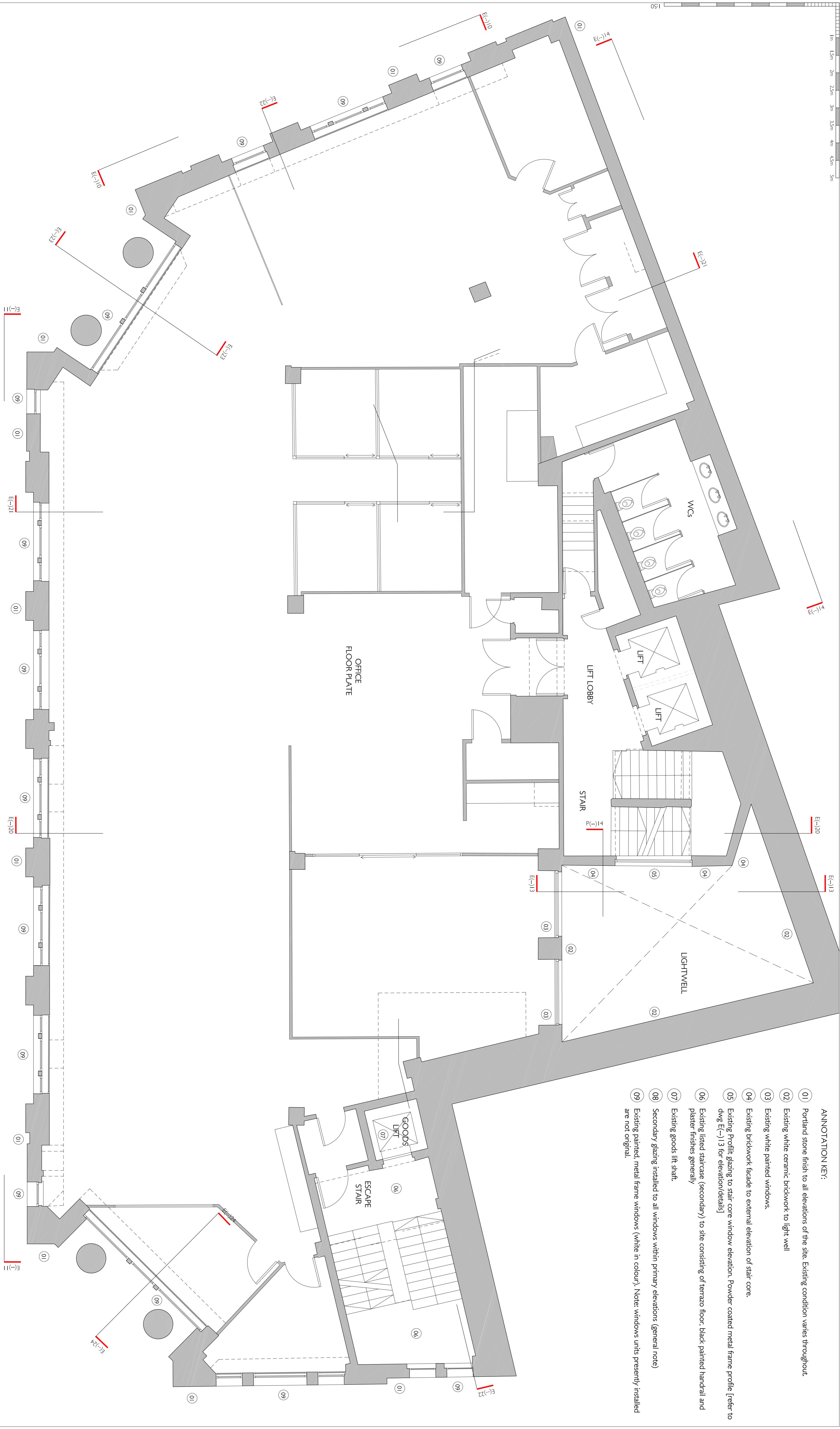
TREHEARNE ARCHITECTS
CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

THIRD FLOOR PLAN
EXISTING

PROJECT NO: 1308A1 DATE: 06.16 DRAWING NO: L1665 ELEVATION: E(-)04 SHEET NO: B

REVISIONS

NO.	DESCRIPTION
A	200616 DU FIRST ISSUE
B	130516 DU PRE-APP SUBMISSION
C	170616 DU PLANNING SUBMISSION



- ANNOTATION KEY:**
- 01 Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - 02 Existing white ceramic brickwork to light well
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 - 05 Existing Profilt glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg E(-)13 for elevation/details]
 - 06 Existing listed staircase (secondary) to site consisting of terrazo floor black painted handrail and plaster finishes generally
 - 07 Existing goods lift shaft.
 - 08 Secondary glazing installed to all windows within primary elevations (general note)
 - 09 Existing painted metal frame windows (white in colour). Note: windows units presently installed are not original.

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PROVISIONAL NOTES

01

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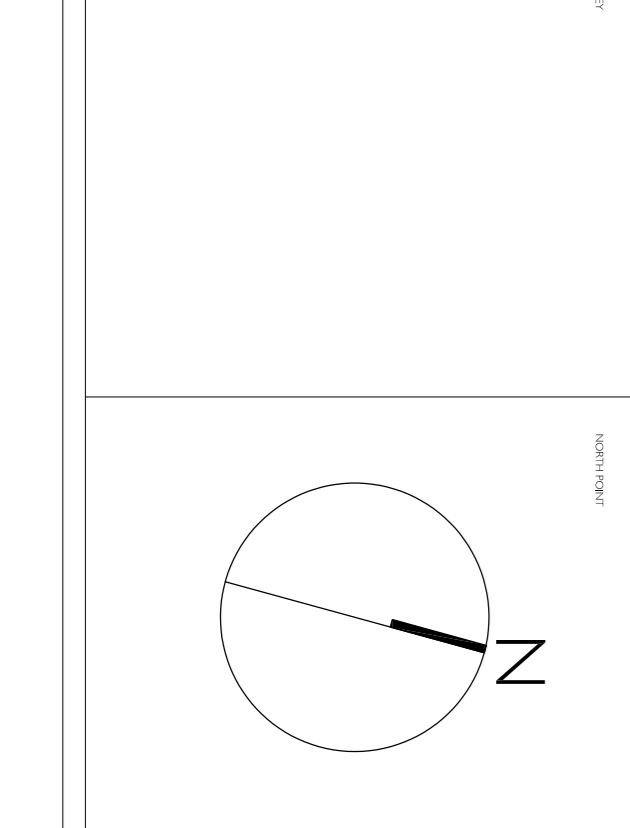
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NO.	REVISION	DATE
1	ISSUED FOR PERMIT APPLICATION	05/16
2	ISSUED FOR PERMIT APPLICATION	05/16
3	ISSUED FOR PERMIT APPLICATION	05/16
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29	ISSUED FOR PERMIT APPLICATION	05/16
30	ISSUED FOR PERMIT APPLICATION	05/16

NO.	REVISION	DATE
1	ISSUED FOR PERMIT APPLICATION	05/16
2	ISSUED FOR PERMIT APPLICATION	05/16
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30	ISSUED FOR PERMIT APPLICATION	05/16

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1308041 06 16 11665 E(-)05 B

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1288 WWW.TREHEARNEARCHITECTS.COM

FOURTH FLOOR PLAN

EXISTING



- ANNOTATION KEY:**
- 01 Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - 02 Existing white ceramic brickwork to light well
 - 03 Existing white painted windows.
 - 04 Existing brickwork facade to external elevation of stair core.
 - 05 Existing Profilt glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg EC(-)13 for elevation/details]
 - 06 Existing listed staircase (secondary) to site consisting of terrazzo floor, black painted handrail and plaster finishes generally
 - 07 Existing goods lift shaft.
 - 08 Secondary glazing installed to all windows within primary elevations (general note)
 - 09 Existing painted metal frame windows (white in colour). Note: windows units presently installed are not original.
 - 10 Existing double height, open staircase connecting 5th-6th floor office accommodation. Not original fabric i.e. part of tenant fit out works post 1990s.

GENERAL NOTES

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REGULATIONS NOTES

103

NO.	DATE	DESCRIPTION
1	2024/16	DU1 FIRST ISSUE
2	2024/16	DU2 PRE-APP SUBMISSION
3	2024/16	DU3 PLANNING SUBMISSION

NO.	DATE	DESCRIPTION
1	2024/16	DU1 FIRST ISSUE
2	2024/16	DU2 PRE-APP SUBMISSION
3	2024/16	DU3 PLANNING SUBMISSION
4	2024/16	DU4 ARCHITECTURAL DRAWINGS
5	2024/16	DU5 STRUCTURAL DRAWINGS
6	2024/16	DU6 MECHANICAL/ELECTRICAL DRAWINGS
7	2024/16	DU7 PLUMBING/DRAINAGE DRAWINGS
8	2024/16	DU8 LANDSCAPE ARCHITECTURE DRAWINGS
9	2024/16	DU9 COST ESTIMATE
10	2024/16	DU10 CONTRACT DOCUMENTS

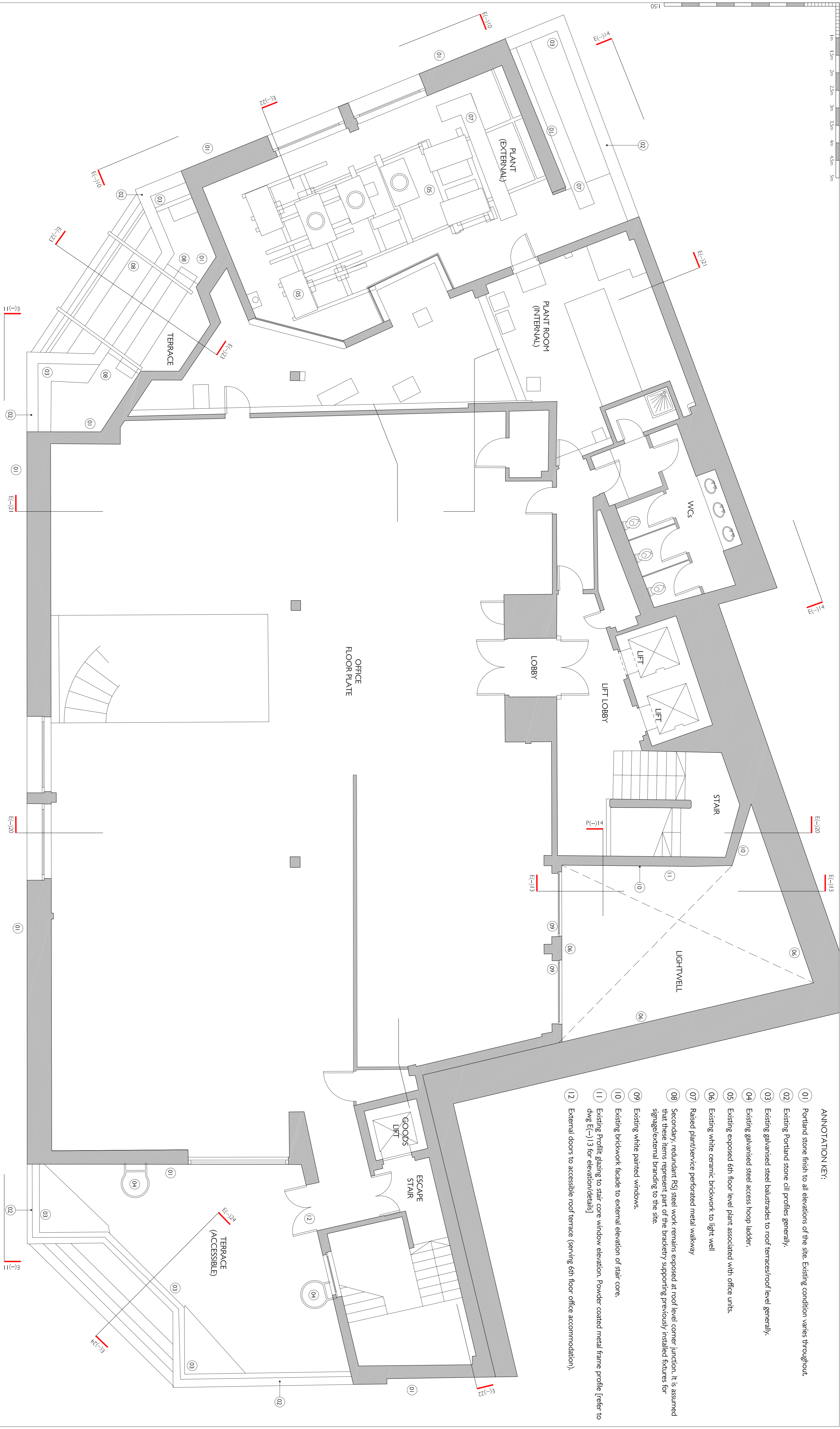
TREHEARNE ARCHITECTS

100 CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

FIFTH FLOOR PLAN
EXISTING

NO: 1308A1 DATE: 06/16 DRAWN: L1665 CHECKED: EC(-)06

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- ANNOTATION KEY:**
- 01 Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - 02 Existing Portland stone cill profiles generally.
 - 03 Existing galvanised steel balustrades to roof terraces/roof level generally.
 - 04 Existing galvanised steel access hoop ladder.
 - 05 Existing exposed 6th floor level plant associated with office units.
 - 06 Existing white ceramic brickwork to light well
 - 07 Raised plant/service perforated metal walkway
 - 08 Secondary, redundant RSJ steel work remains exposed at roof level corner junction. It is assumed that these items represent part of the brackery supporting previously installed fixtures for signage/external branding to the site.
 - 09 Existing white painted windows.
 - 10 Existing brickwork facade to external elevation of stair core.
 - 11 Existing Profile glazing to stair core window elevation. Powder coated metal frame profile [refer to dwg E(-)13 for elevation/details]
 - 12 External doors to accessible roof terrace (serving 6th floor office accommodation).

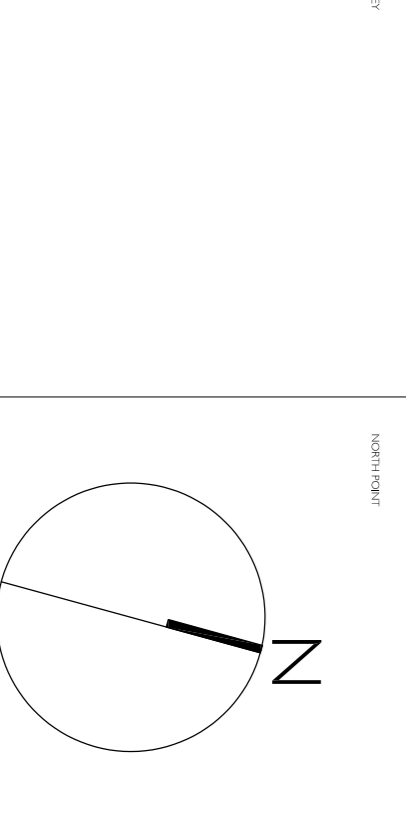
- GENERAL NOTES**
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PROVISIONAL NOTES

010

011

012



REVISIONS

NO.	DATE	DESCRIPTION
1	2024.16	DU1 FIRST ISSUE
A	13.05.16	DU1 PRE-APP SUBMISSION
B	17.06.16	DU1 PLANNING SUBMISSION

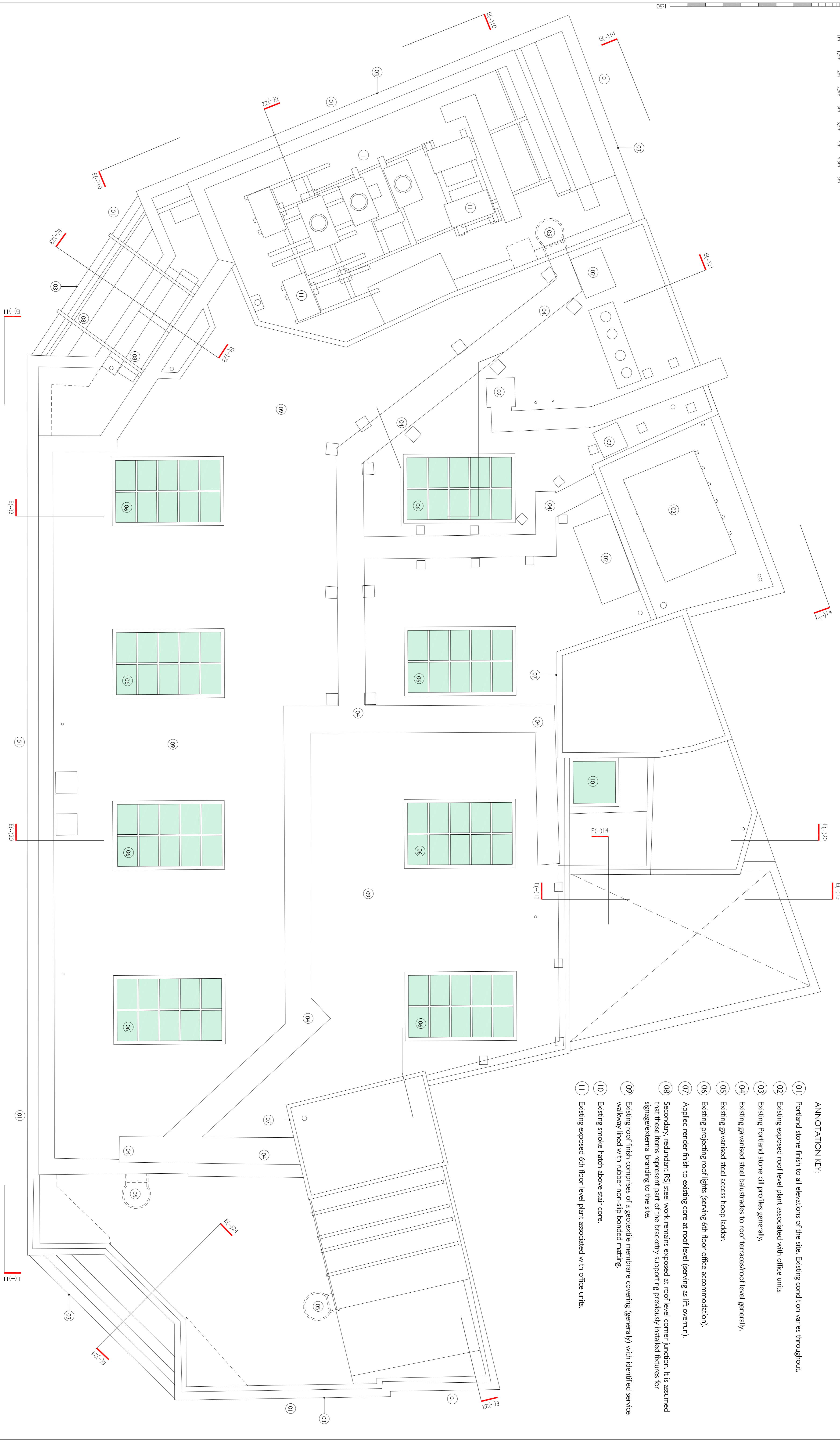
NO.	DATE	DESCRIPTION
1	13.05.16	DU1 PRE-APP SUBMISSION
2	17.06.16	DU1 PLANNING SUBMISSION
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TREHEARN ARCHITECTS

6001
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 W14 6SP
 TEL: 020 7421 1298
 WWW.TREHEARNARCHITECTS.CO.UK

SIXTH FLOOR PLAN

DATE: 06.16
 DRAWN: L1665
 CHECKED: E(-)07
 SCALE: 1:300 A1
 SHEET: B



- ANNOTATION KEY:**
- 01 Portland stone finish to all elevations of the site. Existing condition varies throughout.
 - 02 Existing exposed roof level plant associated with office units.
 - 03 Existing Portland stone cill profiles generally.
 - 04 Existing galvanised steel balustrades to roof terraces/roof level generally.
 - 05 Existing galvanised steel access hoop ladder.
 - 06 Existing projecting roof lights (serving 6th floor office accommodation).
 - 07 Applied render finish to existing core at roof level (serving as life overrun).
 - 08 Secondary, redundant RSJ steel work remains exposed at roof level (corner junction. It is assumed that these items represent part of the brackery supporting previously installed fixtures for signage/external branding to the site).
 - 09 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.
 - 10 Existing smoke hatch above stair core.
 - 11 Existing exposed 6th floor level plant associated with office units.

GENERAL NOTES

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REGULATORY NOTES

DATE

NO.

DESCRIPTION

REVISIONS

NO. DATE DESCRIPTION

* 202416 DU FIRST ISSUE

A 172616 DU PLANNING SUBMISSION

05

TREHEARNE ARCHITECTS

CORINTHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

EXISTING
ROOF PLAN

DATE: 06/16
DRAWN: L1665
CHECKED: E(-)08
SCALE: A

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