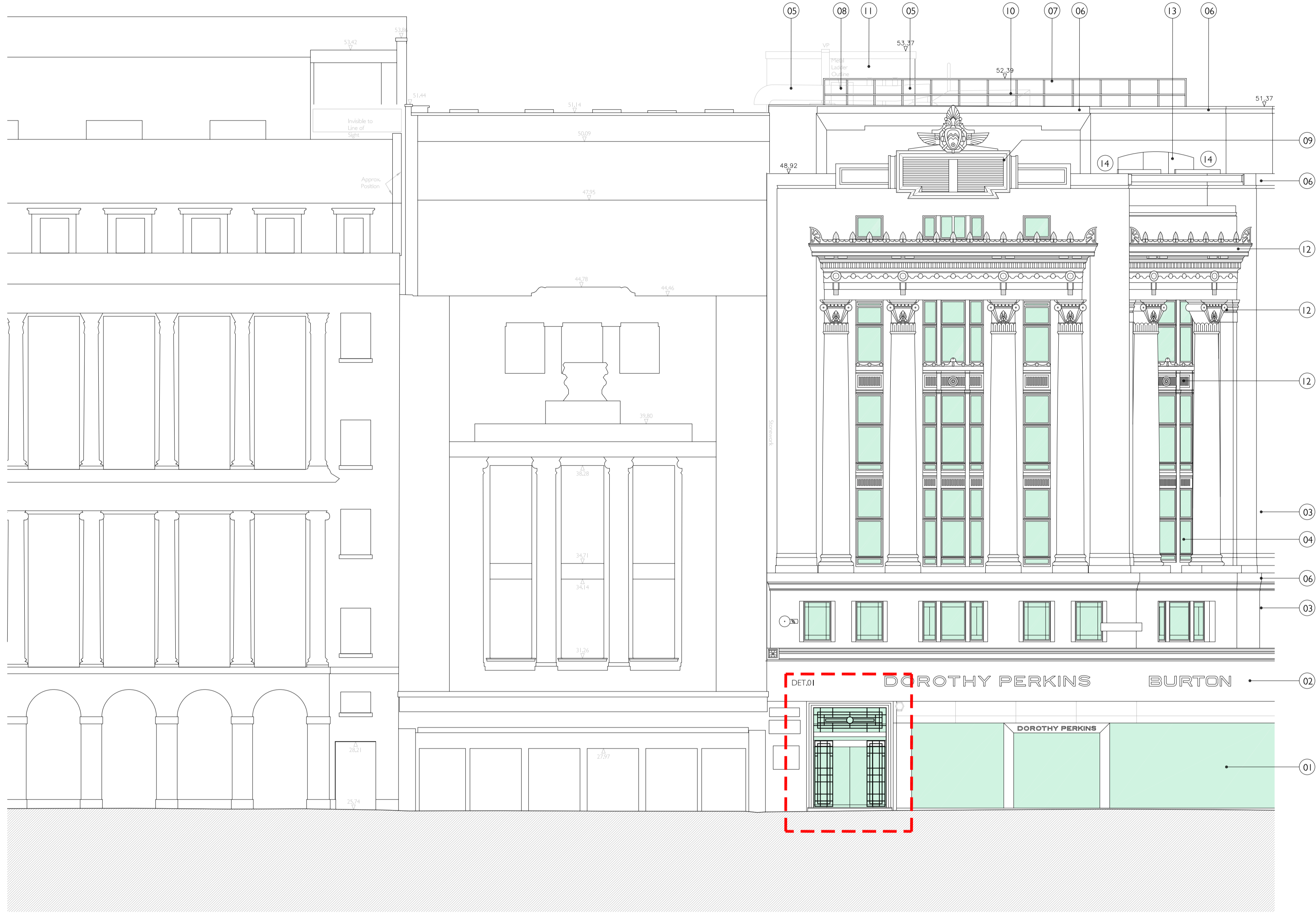


1m 2m 3m 4m 5m 6m 7m 8m 9m 10m

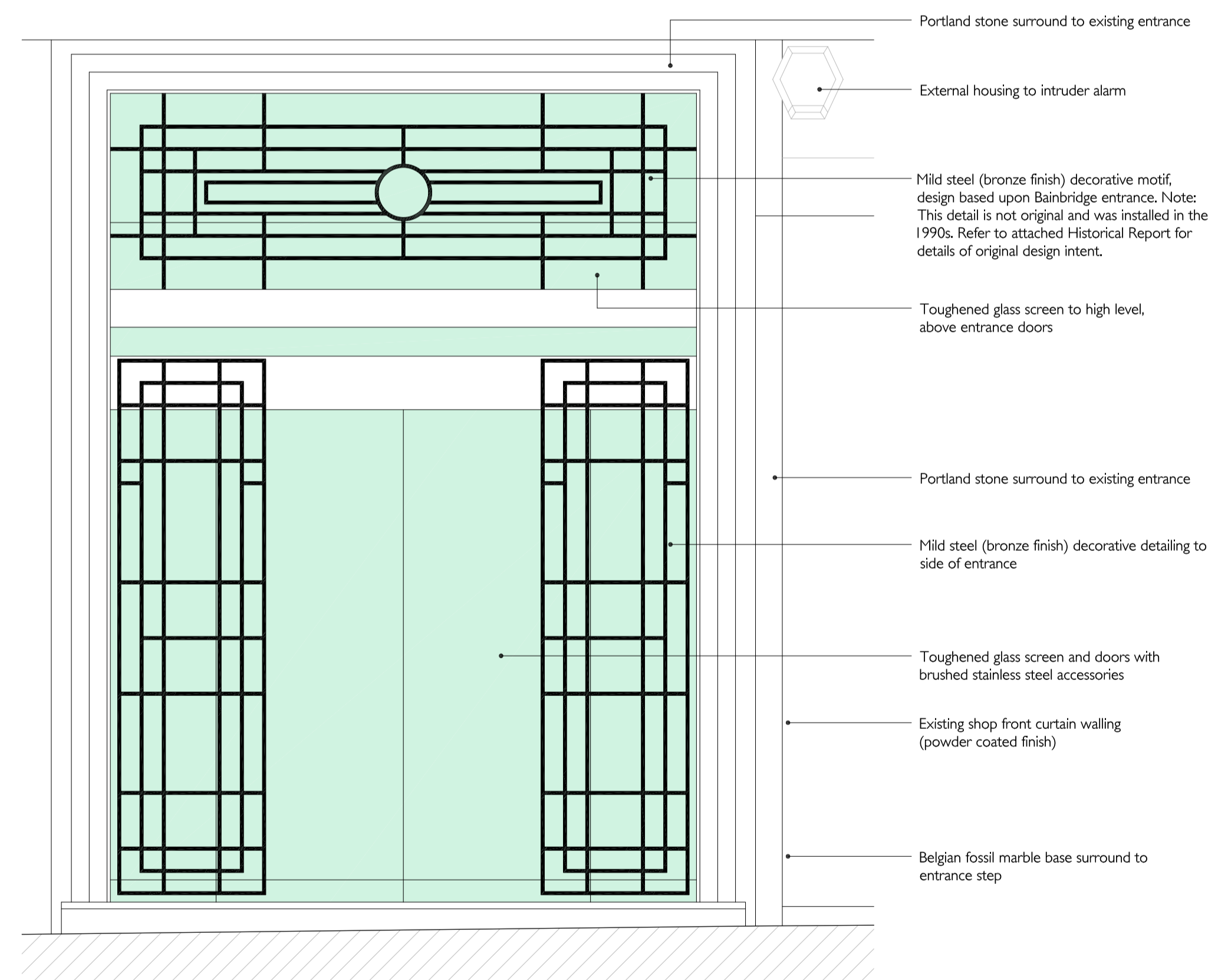


No 265 TOTTENHAM COURT ROAD No 268-269 TOTTENHAM COURT ROAD No 279 TOTTENHAM COURT ROAD

TOTTENHAM COURT ROAD ELEVATION SCALE 1:100@A1

ANNOTATION KEY:

- 01 Existing full height glazed shop front to retail unit. Not included within Planning Application.
- 02 Existing high level banded signage forming depth between ground- first floor to existing facade as part of retail unit (refer to Design & Access Statement for site photos. Not included within Planning Application.
- 03 Portland stone finish to all elevations of the site. Existing condition varies throughout.
- 04 Existing painted metal frame windows. Note: The window units between second and fifth floor levels appear to have been replaced in the mid-20th century with a metal-framed double-glazed slim-line glazed system.
- 05 Existing exposed roof level plant associated with office units.
- 06 Existing Portland stone cill profiles generally.
- 07 Existing galvanised steel balustrades to roof terraces/roof level generally.
- 08 Existing galvanised steel access hoop ladder.
- 09 Louvre grilles to existing aperture.
- 10 Existing projecting roof lights (serving 6th floor office accommodation).
- 11 Applied render finish to existing core at roof level (serving as lift overrun).
- 12 Original Portland stone detailing and cornice work.
- 13 Existing galvanised steel handrail to S.West corner of 6th floor
- 14 Secondary, redundant RSJ steel work remains exposed at roof level corner junctions. It is assumed that these items represent part of the brackery supporting previously installed fixtures for signage/external branding to the site.
- 15 Existing roof finish comprises of a geotextile membrane covering (generally) with identified service walkway lined with rubber non-slip bonded matting.



EXISTING RECEPTION ENTRANCE - DETAIL 01 SCALE 1:20@A1

NOTE: Refer to attached Historical Report produced by Donald Inshall Associates for further details of existing entrance finishes/fixtures etc.

GENERAL NOTES
 1. DO NOT SCALE FROM THIS DRAWING
 2. THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY PREMIER SURVEYS.
 3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
 4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
 5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

REGULATIONS NOTES
 1. Refer to E(-)100 for elevation layouts

KEY

NORTH POINT

FILE PATHS

REVISION
 * 17.06.16 DU PLANNING SUBMISSION

TREHEARNE ARCHITECTS

PROJECT
 CORINTHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON

SHEET
 ELEVATION A
 EXISTING

SCALE 1:100@A1 DATE 06 16 DRAWING NO. L1665 DRAWING FILE E(-)10 NUMBER 33 HIGH HOLBORN LONDON WC2A 1JB 020 7421 1790 www.trehearne.co.uk



- ANNOTATION KEY:**
- 01 Existing full height glazed shop front to retail unit. Not included within Planning Application.
 - 02 Existing high level banded signage forming depth between ground- first floor to existing facade as part of retail unit (refer to Design & Access Statement for site photos. Not included within Planning Application).
 - 03 Portland stone finish to all elevations of the site. Existing condition varies throughout. Note:
 - 04 Existing painted metal frame windows. Note: The window units between second and fifth floor levels appear to have been replaced in the mid-20th century with a metal-framed double-glazed slim-line glazed system.
 - 05 Secondary, redundant JSJ steel work remains exposed at roof level corner junctions. It is assumed that these items represent part of the bracketry supporting previously installed fixtures for signage/external branding to the site.
 - 06 Existing galvanised steel access walkway situated behind external stone parapet.
 - 07 Existing Portland stone cill profiles to be repaired and retained within proposed scheme generally.
 - 08 Existing galvanised steel balustrades to roof terraces/roof level generally.
 - 09 Existing asphalt roof covering to lift/stair overrun.
 - 10 Secondary, redundant steel work remains above stair housing. It is assumed that these items represent part of the bracketry supporting previously installed roof level plant.
 - 11 Existing galvanised steel access hoop ladder.
 - 12 External doors to accessible roof terrace (serving 6th floor office accommodation).
 - 13 Applied render finish to existing good lift/stair overrun.
 - 14 Existing projecting roof lights (serving 6th floor office accommodation).
 - 15 Applied render finish to existing core at roof level (serving as lift overrun).
 - 16 Existing powder coated metal profile to parapet capping.
 - 17 Original Portland stone detailing and cornice work.
 - 18 Existing flues.
 - 19 Existing aerials and antennae etc.

GENERAL NOTES

1. DO NOT SCALE FROM THIS DRAWING
2. THE DIMENSIONS SHOWN ON THE DRAWING ARE BASED ON SURVEY DATA PROVIDED BY THE CLIENT.
3. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
5. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

REDUCTION NOTES

1. Refer to E/-1/100 for elevation layouts

NOTES

NOTES

TREHEARNE ARCHITECTS

ARCHITECTS
CORNITHIAN HOUSE
TOTTENHAM COURT ROAD, LONDON

PROJECT
ELEVATION B
EXISTING

DATE
06/16

SCALE
1:100 @ A1

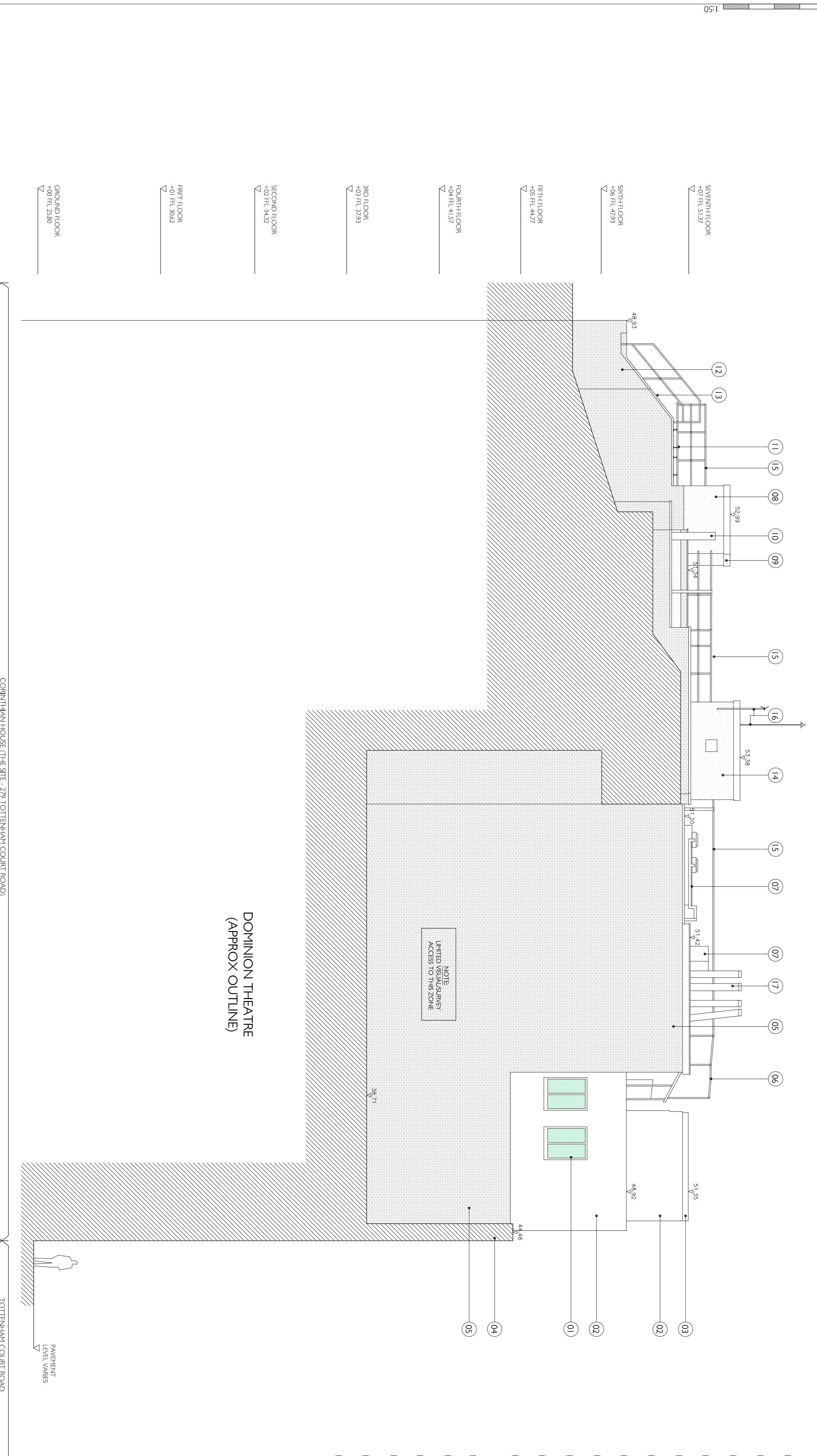
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EMAIL
info@trehearne.co.uk

WEBSITE
www.trehearne.co.uk

REGISTRATION NUMBER
1720416 DU PLANNING PERMISSION



ANNOTATION KEY:

- 01 Existing white painted framed windows.
- 02 Existing external Portland stonework.
- 03 Existing Portland stone parapet.
- 04 Existing frontage to Dominion Theatre (no works to be carried out to this area/ not included within site demise).
- 05 Existing brickwork facade to north elevation of site.
- 06 Existing galvanised metal hoop ladder providing access to roof level.
- 07 Existing roof level plant.
- 08 Applied render finish to existing good lift/stair overrun.
- 09 Existing powder coated metal profile to parapet capping.
- 10 Existing service pipe work protruding from rear light well.
- 11 Secondary, redundant steel work remains above stair housing. It is assumed that these items represent part of the bracketry supporting previously installed roof level plant.
- 12 Existing glazed, white brick finish to internal elevations of light well.
- 13 Existing asphalt roof covering to lift/stair overrun.
- 14 Applied render finish to existing core at roof level (serving as lift overrun).
- 15 Existing galvanised steel balustrades to roof terraces/roof level generally.
- 16 Existing aerais and antennae etc.
- 17 Existing flues.

ELEVATION N - REAR OF SITE
([url@ea])

GENERAL NOTES

- DO NOT SCALE FROM THIS DRAWING
- THE DIMENSIONS SHOWN ON THIS DRAWING ARE BASED ON SURVEY DATA PROVIDED BY PARTNER SURVEYS
- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
- THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.

REGULATIONS NOTES

- Refer to E1-0100 for elevation layouts

NO	REVISION	DATE	BY
1	ISSUE FOR PERMIT APPLICATION		

NO	REVISION	DATE	BY
1	ISSUE FOR PLANNING PERMISSION		

TREHEARNE ARCHITECTS
 279 CORNITHIAN HOUSE
 TOTTENHAM COURT ROAD, LONDON
 ELEVATION C
 EXISTING

DATE: 06/16
 DRAWN BY: L1665
 CHECKED BY: E(-)12

31 HIGH HOLBORN, LONDON, WC2A 1LB 020 7421 1298 www.trehearne.co.uk